

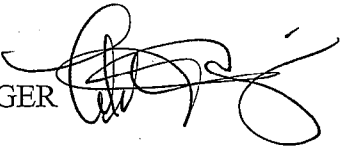


MEETING DATE: 04/18/05
ITEM NO. 12

COUNCIL AGENDA REPORT

DATE: April 13, 2005

TO: MAYOR AND TOWN COUNCIL

FROM: DEBRA J. FIGONE, TOWN MANAGER 

SUBJECT: DISCUSS AND CONSIDER ADOPTION OF THE FOLLOWING: (A) COMMERCIAL DESIGN GUIDELINES; (B) TOWN CODE AMENDMENT REGARDING CONDITIONAL USE MODIFICATION; (C) POLICY ON MODIFICATION OF USE; AND (D) POLICY ON MINOR MODIFICATIONS TO COMMERCIAL BUILDINGS. FILE #A-05-01. APPLICANT: TOWN OF LOS GATOS

RECOMMENDATION:

1. Open the public hearing;
2. Close the public hearing;
3. Make the required finding that the Zoning Code Amendment is consistent with the General Plan (no motion required);
4. Move to waive the reading of the ordinance (no motion required);
5. Direct the Clerk Administrator to read the title of the ordinance (requires motion approved by majority of council);
6. Direct the Clerk Administrator to publish the ordinance within 15 days after adoption (no motion or vote required);
7. Introduce the Ordinance (Attachment 1) to effectuate Zoning Code Amendment A-05-01 (requires motion approved by majority of council);
8. Adopt the Resolution adopting the Policy on Conditional Use Modification (requires motion approved by majority of council);
9. Adopt the Resolution approving the Policy on Minor Alterations to Commercial Buildings (requires motion approved by majority of council);
10. Adopt the Resolution approving the Commercial Design Guidelines (requires motion approved by majority of council).


PREPARED BY: Bud N. Lortz, Director of Community Development

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Reviewed by: PS Assistant Town Manager OK Town Attorney _____ Clerk _____ Finance
 ✓ Community Development

Revised: 4/13/05 12:03 pm

Reformatted: 5/30/02

PAGE 2
MAYOR AND TOWN COUNCIL
SUBJECT: COMMERCIAL DESIGN GUIDELINES
April 13, 2005

BACKGROUND:

The preparation of the draft *Commercial Design Guidelines* began in September 2003. Staff and the Consulting Architect met with the General Plan Committee (GPC) one to two times a month to develop the draft document that was released for public review on January 31, 2005. In addition to the GPC meetings, special meetings were held with auto dealers and the Historic Preservation Committee to receive input on relative sections of the draft document. The draft document includes sections specific to historic districts and buildings and auto dealerships. Staff prepared the attached commercial regulations based on direction received from the Town Council and GPC.

Copies of the draft document were sent to surrounding cities and Santa Clara County, the Chamber of Commerce, auto dealers, interested business and commercial property owners, and local design professionals who work on commercial projects. In addition, it was posted on the Town's web-site and copies were placed at the Community Development and Town Clerk public counters and the Town library. The public review period ended on February 28, 2005 and no written comments were received. Staff has received a positive response from numerous design professionals.

DISCUSSION:

The preparation of the Commercial Design Guidelines (CDG's) represents an update and consolidation of a number of existing documents that regulate the design aspects of commercial development. The draft CDG's has incorporated criteria from the following commercial design guidelines and standards presented in the following documents:

- Central Business District Streetscape and Improvement Guidelines
- Commercial Design Guidelines for the Central Business District
- Development standards for the C-2 Zone
- Design Standards for the Rear of Commercial Buildings Located Adjacent to Lot #4 Elm Street to Grays Lane
- Los Gatos Boulevard Design Standards
- Los Gatos Boulevard Plan

Upon adoption of the CDG's all of these documents will be rescinded with the exception of the Central Business District Streetscape and Improvement Guidelines and the Los Gatos Boulevard Plan.

Zoning Ordinance Amendment

A Zoning Ordinance amendment is proposed to address modifications of use relative to commercial addition/remodel projects for commercial uses that are regulated by a conditional use permit (CUP) (see Attachment 1). Staff has also drafted an accompanying resolution that establishes policy providing flexibility about how existing businesses can adapt and change without requiring a

modification to the CUP (see Attachment 2). This is particularly important for businesses that want to do a small expansion and/or remodel project and which does not result in an intensification of use. Business owners are encouraged to make building and site improvements and an expedited approval process would provide an incentive for this to occur. Approval of these types of projects that are not considered an intensification of use could be reviewed and approved by the DRC after holding a public hearing and considering public input. The Director of Community Development or the DRC have the discretion to refer a minor project to the Planning Commission based on public input or design considerations.

Minor Alterations to Commercial Buildings

In conjunction with the development of the CDG's, staff developed a draft Council policy that defines minor commercial projects. The Town's Development Review Committee (DRC) currently has approval authority for minor commercial projects. However, there is no definition of what constitutes "minor" so a policy was drafted to assist in the administration of the Zoning Ordinance (see Attachment 3). The policy includes examples of minor commercial projects that may be approved by the DRC after holding a public hearing and considering public input. The DRC and Director of Community Development have the discretion to forward any application to the Planning Commission as appropriate based on public input and/or design considerations.

GENERAL PLAN COMMITTEE

- As previously mentioned, the GPC provided direction and input throughout the development of the attached commercial regulations. On January 12, 2005 the GPC accepted the draft CDG's and forwarded it to the Commission and Council with a recommendation for approval.
- The GPC reviewed the draft policy on Minor Modifications to Commercial Buildings on January 12 and 26, 2005. The Committee recommended that the draft policy be adopted as finalized at its January 26, 2005 meeting (see GPC minutes, Exhibit G to Attachment 8).
- The General Plan Committee reviewed the Zoning Ordinance amendment and accompanying policy, and recommended approval of both items (see GPC minutes, Exhibits G and H to Attachment 8).

REVIEW BY RETAIL ECONOMIST

The CDG's were reviewed by an retail economist to determine if any provisions of the document appear to have a high probability of creating a significant negative economic impact to businesses or commercial property owners in the Town. Attachment 5 is a letter from Economic Research Associates stating that the CDG's is a well thought out document that will serve to enhance the Town's economic development and quality of life objectives. The analysis also indicates that, in the

short term, commercial investment in Los Gatos will be more expensive due to the costs associated with use of design professionals, requirement for high quality materials, setback, height and bulk limits, and requirements for landscaping, screening or other design features. No specific guidelines were singled out as being problematic.

PLANNING COMMISSION ACTION:

On March 23, 2005 the Planning Commission considered the four draft documents. The Commission unanimously agreed to forward the Commercial Design Guidelines and supporting documents to the Council with a recommendation for approval. Attachment 7 is the Planning Commission minutes. In order to reduce costs on outside tasks and because the discussion was brief, staff transcribed the minutes from the Commission meeting. The minutes include individual comments from Commissioners.

Commissioner Talesfore suggested changing guideline 1.5.12 on page 14 to clarify the intent. Staff and the Consulting Architect developed the following alternative wording:

1.5.12(b) Thoughtful consideration should be given to the selection of color hues. Consider muted tones of pinks, blues, yellows, tans, greys and other hues rather than just selecting non-distinctive beiges and browns.

Prior to the March 23 meeting Commissioner Trevithick suggested alternative text for the introduction (see Exhibit I to Attachment 8). The Commission did not discuss the suggested text change, and did not address it in their motion. If the Council wishes to accept the revised wording, staff should be directed to make the change before printing and releasing the final document. Staff has no objection to the suggested changes to the introduction section of the CDG's.

PUBLIC COMMENTS:

Following the public review period and preparation of this report, Len Pacheco submitted written comments on the CDG's (see Attachment 6). The comments were offered by Mr. Pacheco as a design professional, not in his capacity as a member of the Historic Preservation Committee. Staff's response to Mr. Pacheco's suggestions are as follows:

- It would be problematic to include locations of Town buildings in all photo captions. Buildings that represent good examples have been identified where appropriate. The specific example cited by Mr. Pacheco can be identified.
- The next five items (located on pages 6, 9, 10, 13 & 15) can be incorporated into the CDG's.

- The list of prohibited signs on page 55 was taken directly from the Sign Ordinance. Guideline 6.2.4 on page 58 specifies that interior illuminated can signs are not allowed, so this addresses use of metal boxed, plastic faced signs (can signs).
- Guideline 6.1.5 on page 56 states that no more than two font types should be used on signs. Mr. Pacheco suggests that three font types may be appropriate in some cases. Since 6.1.5 is a guideline, staff would have the ability to approve a sign with three different fonts if it was determined to be appropriate. Multiple tenant listings are strongly discouraged, and are not typically approved for shopping center signs.
- 3-D lettered signs are already shown as a good example in the sign section (see pages 58 and 59). Guideline 6.2.4(b) allows interior illuminated letters in certain areas. Guideline 6.2.4(d) (first bullet) allows individual letters and graphics.
- Specific criteria should be added on awnings: Awnings are addressed by guideline 1.5.1(f) on page 10 and section 3.3.8 on page 28. Criteria can be added to this section to discourage striped awnings, and to address operable awnings. Awning signs are addressed on page 60.
- Appropriate color palettes are not covered: Section 1.5.12 on page 14 includes criteria on colors. The revised wording for guideline 1.5.12(b) also addresses desirable colors.
- Use of green alleyways between buildings should be included: Pass-through pedestrian walkways are addressed in section 3.2.3 on page 24.
- Small landscaped public activity or rest stops are not covered: These would be considered on a case-by-case basis. The Los Gatos Boulevard Plan includes discussion on nodes.
- Bus stops are located in the public right-of-way, not on private property, and are covered by VTA's Community Design and Transportation Manual.
- Newsracks are predominately located in the public right-of-way and not on private property. The Town has an ordinance to address newsracks. The ordinance is currently under review for inclusion of modular newsracks.

CONCLUSION:

It is recommended that the Council Introduce the Ordinance for the Zoning Ordinance Amendment (Attachment 1), adopt the Resolution (Attachment 2) approving the Policy on Conditional Use Modification, adopt the Resolution (Attachment 3) approving the Policy on Minor Modifications to Commercial Buildings, and adopt the Resolution (Attachment 4) approving the Commercial Design Guidelines.

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MAYOR AND TOWN COUNCIL
SUBJECT: COMMERCIAL DESIGN GUIDELINES
April 13, 2005

ENVIRONMENTAL ASSESSMENT:

An Environmental Impact Report (EIR) was prepared for the 2000 General Plan update pursuant to the State Environmental Guidelines as adopted by the Town. The Commercial Design Guidelines is an implementation of the General Plan and no additional analysis is needed as the document is simply establishing review criteria. Commercial projects will be evaluated for CEQA compliance and against the Commercial Design Guidelines at the time individual applications are filed. It has been determined that the Zoning Code Amendment could not have a significant impact on the environment, therefore, it is not subject to the California Environmental Quality Act Section 15061(b)(3).

FISCAL IMPACT:

None

Attachments:

1. Draft Zoning Ordinance Amendment (two pages)
2. Draft Policy: Conditional Use Modification (two pages)
3. Draft Policy: Minor Alterations to Commercial Buildings (two pages)
4. Draft Resolution (two pages) with Exhibit A, Commercial Design Guidelines
5. Memorandum from Bill Lee, Economics Research Associates (two pages), received March 23, 2005
6. Comments from Len Pacheco (one page), received April 13, 2005
7. Planning Commission Minutes of March 23, 2005 (four pages)
8. Report to the Planning Commission for agenda of March 23, 2005 with Exhibits A-I.

Distribution:

Planning Commission

BNL:SD:mdc

ORDINANCE -

ORDINANCE OF THE TOWN OF LOS GATOS AMENDING TOWN CODE SECTION 29.20.200 (CONDITIONAL USE MODIFICATION)

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS
FOLLOWS:

SECTION I

Town Code Chapter 29.20.200 shall be amended as follows:

Sec. 29.20.200. Conditional use modification.

A use authorized by conditional use permit shall not be modified unless a modification to the permit is approved. The following changes in use are modifications:

- (1) Intensification of use. ~~(By way of example, intensifications of use are evidenced by additions to seating capacity or gross floor area, increases in peak hour trips for mixed use, multitenant commercial or industrial or multifamily development projects if the trips exceed the traffic generation factor assigned to the project at the time of approval, increase of five (5) or more peak hour trips, increases in parking required, other than the requirement of increases because of ordinance amendment, use of additional land, or commencement of new activities.)~~ *Changes of use that will result in an increase of five (5) or more peak hour trips.*
- (2) ~~Any change that is a substantial departure from plans which were the basis of the conditional use permit approval.~~ *Commencement of new activities that could have a material adverse impact on the surrounding area.*
- (3) *Any change that is a substantial departure from plans which were the basis of the conditional use permit approval.*

SECTION II

In the event that any part of this ordinance is held to be invalid, the invalid part or parts shall be severed from the remaining portions which shall remain in full force and effect.

SECTION III

This ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on _____, 2005 and adopted by the following vote as an ordinance of the Town of Los Gatos at a regular meeting of the Town Council of the Town of Los Gatos on _____, 2005.

This ordinance takes effect 30 days after it is adopted.

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

CLERK ADMINISTRATOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

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RESOLUTION 2005 -

RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS ADOPTING GUIDELINES FOR MODIFICATION OF USE

This resolution establishes the criteria that will be used to evaluate a modification of use pursuant to Zoning Ordinance Section 29.20.200.

RESOLVED:

A conditional use permit (CUP) is intended to allow the establishment of those uses that have unique characteristics or special form such that their effect on the surrounding environment must be evaluated for a particular location. The CUP process allows for review of the location, design, configuration of improvements and potential impact on the surrounding area. Once a CUP has been granted it runs with the land. Modifications to a property with a valid CUP may be considered when an application has been filed for Architecture & Site approval or a building permit has been requested, providing there is no material adverse impact or substantial departure from the plans that were the basis for the CUP.

1. The following are examples of changes that would be considered a material adverse impact on the surrounding area:
 - a. Requirement for environmental review under the California Environmental Quality Act (CEQA)
 - b. Conflicts with General Plan goals and/or policies
 - c. An increase in outdoor noise levels that would exceed the limits set by the Town's Noise Ordinance
 - d. Non-compliance with the Commercial Design Guidelines
 - e. Changes to the operational aspects of the business that conflict with Planning Commission or Council conditions of approval (example, increasing hours of operation)
 - f. Inconsistency with all applicable provisions of the Zoning Ordinance and the spirit and intent of the original approval
2. Examples of changes that are a substantial departure from plans that were the basis of the conditional use permit approval are those that result in any of the following:
 - a. Conflicts with operational conditions of approval
 - b. Adds land area to the property for which the use permit was granted
 - c. Results in a parking or traffic impact to other properties in the area
 - d. Conflicts with applicable provisions of the Town Code
 - e. Conflicts with General Plan Goals and/or Policies
 - f. Results in a change relative to service of alcoholic beverages

PASSED AND ADOPTED at a regular meeting of the Town Council held on the 18th day of April, 2005, by the following vote:

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

CLERK ADMINISTRATOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

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**TOWN COUNCIL POLICY
TOWN OF LOS GATOS**

Subject: Minor Alterations to Commercial Buildings

Enabling Action:
2005-

Page 1 of 2

Approved:

Effective
Date:

Mike Wasserman, Mayor

PURPOSE:

Section 29.20.745(8) of the Zoning Ordinance states that the Development Review Committee (DRC) shall "determine and issue zoning approval for minor exterior alterations to commercial buildings". The purpose of this policy is to define "minor exterior alterations" to commercial buildings that may be approved by the DRC as set forth in Section 29.20.745(8) of the Zoning Ordinance. To assist in the redevelopment of commercial buildings, the Town has created a streamlined review process for minor commercial improvement projects that comply with the Commercial Design Guidelines.

The following shall be used by staff when reviewing plans for minor exterior alterations to commercial buildings to determine if proposed projects can take advantage of the streamlined review process.

EXAMPLES OF MINOR ARCHITECTURAL IMPROVEMENTS:

The following are examples of minor architectural improvements that may be decided by the Development Review Committee (DRC) after considering public input at a duly noticed public hearing:

1. Replacing or changing out windows
2. Replacing or adding awnings
3. Changes to or addition of arcades
4. Replacement of or changes to exterior materials
5. Small scale additions (may not result in an increase of more than four peak hour trips)

DEFINITION:

For projects that include small scale additions, a minor commercial project is one which is in full compliance with the Town's Commercial Design Guidelines and Town Code and does not result in an intensification of use as described in Section 29.30.200 of the Zoning Ordinance or more than a minor increase in traffic as described in the Town's Traffic Impact Policy.

The Director of Community Development or the Development Review Committee may refer any minor commercial project to the Planning Commission if it is not in compliance with the Commercial Design Guidelines, there are impacts to surrounding properties that cannot be resolved by the DRC, or as otherwise deemed appropriate.

RESOLUTION 2005 -

**RESOLUTION OF THE TOWN COUNCIL
OF THE TOWN OF LOS GATOS
ADOPTING COMMERCIAL DESIGN GUIDELINES**

WHEREAS, the Town of Los Gatos desires to update its commercial development standards and guidelines, and

WHEREAS, the draft Commercial Design Guidelines represents a consolidation of five existing documents that govern commercial development and updates design criteria; and

WHEREAS, the Advanced Planning Work Plan includes the adoption of new commercial design guidelines; and

WHEREAS, adoption of the Commercial Design Guidelines will help provide clear direction to developers and business owners processing development applications (General Plan Goal L.G.7.2 and Implementing Strategy L.I.7.4); and

WHEREAS, adoption of the Commercial Design Guidelines will ensure high quality development in all commercial areas of the Town; and

WHEREAS, numerous General Plan goals, policies and implementing strategies support creation of this document; and

WHEREAS, The General Plan Committee recommends that the Draft Commercial Design Guidelines be adopted; and

WHEREAS, the Planning Commission has held a public hearing and forwarded a recommendation for adoption of the same document;

THEREFORE BE IT RESOLVED: the Town Council of the TOWN OF LOS GATOS does hereby rescind Resolutions 1987-68 and 1997-136.

FURTHER RESOLVED, the Town Council does hereby rescind any statements related to the Los Gatos Boulevard Design Standards contained in Resolution 1997-136.

FURTHER RESOLVED, the Town Council does hereby rescind any statements related to the Commercial Design Guidelines for the Central Business District contained in Resolution 1992-189.

FURTHER RESOLVED, the Town Council adopts the Commercial Design Guidelines, attached hereto as Exhibit A. These guidelines shall be used to review development applications in conjunction with the goals and policies set forth in the Los Gatos Boulevard Plan adopted by Resolution 1997-136. In the event of a conflict, the more restrictive standard shall apply.

FURTHER RESOLVED, the Commercial Design Guidelines shall apply to all development applications that have not been approved prior to adoption of the document.

PASSED AND ADOPTED at a regular meeting of the Town Council held on the 18th day of April, 2005, by the following vote:

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

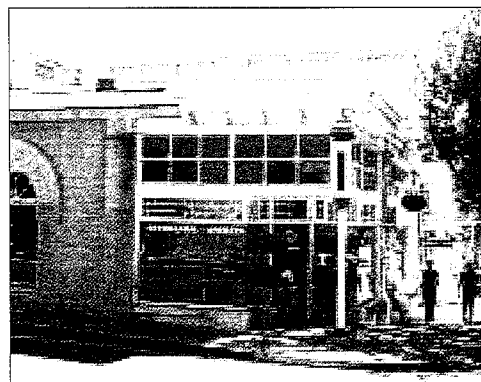
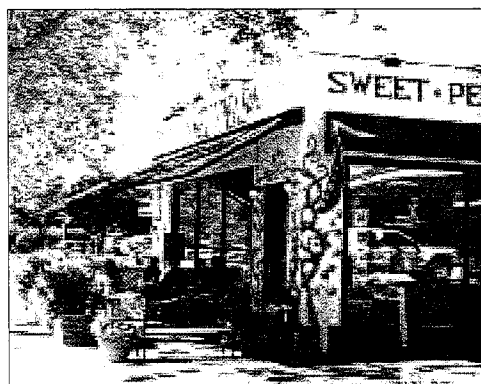
ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

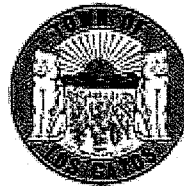
CLERK ADMINISTRATOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA



Commercial Design Guidelines

Town of Los Gatos

January 25, 2005



Public Hearing Draft

Community Development Department
110 East Main Street
P.O. Box 949
Los Gatos, CA 95031
(408) 354-6872
(408) 354-7593 fax
www.losgatosca.gov

EXHIBIT A

[REDACTED]

[REDACTED]

4/2/2020

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ACKNOWLEDGMENTS

TOWN COUNCIL

Mike Wasserman	<i>Mayor</i>
Diane McNutt	<i>Vice-Mayor</i>
Steve Glickman	
Joe Pirzynski	
Barbara Spector	

PLANNING COMMISSION

Philip Micciche	<i>Chair</i>
Michael Burke	<i>Vice-Chair</i>
Thomas O'Donnell	
Morris Trevithick	
Joanne Talesfore	
Lee Quintana	
D. Michael Kane	

GENERAL PLAN COMMITTEE

Michael Burke	<i>Planning Commission</i>
Philip Micciche	<i>Planning Commission</i>
Morris Trevithick	<i>Planning Commission</i>
Diane McNutt	<i>Town Council</i>
Steve Glickman	<i>Town Council</i>
Barry Bakken	<i>Community Services Commission</i>
Mark Sgarlato	<i>Public Representative</i>
Josh Bacigalupi	<i>Public Representative</i>
Mark Weiner	<i>Public Representative</i>

TOWN STAFF

Debra Figone	<i>Town Manager</i>
Pamela Jacobs	<i>Assistant Town Manager</i>
Orry Korb	<i>Town Attorney</i>
Bud Lortz	<i>Community Development Director</i>
Randy Tsuda	<i>Assistant Community Development Director</i>
Suzanne Davis	<i>Associate Planner</i>
Larry Cannon	<i>Town Architect / Cannon Design Group</i>

INTRODUCTION

1

INTRODUCTION

The Town of Los Gatos has developed a unique character and ambience over more than a century as the community's residential and commercial structures combined with the natural setting of topography and landscape have defined an overall character and environment which is cherished by its residents and instantly recognized by visitors. The community's built environment is characterized by relatively small scale buildings, a quiet architectural demeanor, respect for neighboring properties, and the attention to architectural detail and landscaping.

These guidelines contain a clear statement of community expectations to assist property and business owners in understanding the Town and commercial development features that assist in defining the overall ambience and sense of place that contribute so strongly to the liveability and economic vitality of Los Gatos.

The guidelines are intended to establish a balance that preserves and enhances the Town's livability while supporting the economic vitality that provides the resources for community services and the uses that make Los Gatos a complete community.

These design guidelines will be used by the Town staff, Planning Commission, and Town Council in evaluating changes to existing properties and new construction. While the guidelines are organized around specific physical districts within the community, other commercial properties located outside the specific district boundaries should conform to the Common Design Guidelines (see pages 9-14) and the spirit of this document.



Commercial Design Guidelines
Public Hearing Draft 01/25/05

HOW TO USE THIS DOCUMENT

- Review the Community Expectations in the Introduction to obtain an overview of the characteristics and features valued by the Town.

- Take a drive and walk around the Town's commercial and residential areas to observe both existing development as well as elements that contribute to the community's overall ambience.

- Review the Common Design Guidelines in the Introduction. Of special importance are the guidelines which stress design that maintains and reinforces the unique scale and character of Los Gatos.

- Review the Guidelines chapter applicable to the location of your project.

- Review the Signage Guidelines in Chapter 6.

- An early, informal meeting with the Town's planning staff to review your preliminary development plans and designs is generally a good idea to identify any special problems and concerns before you have committed large amounts of time and money for the preparation of application drawings and materials.

- For projects that are located adjacent to or near residential neighborhoods, applicant meetings with affected residents are strongly encouraged.

Addresses noted in this document as good examples are as of the creation of the document. Please inquire at the Community Development Department for an updated list.

Should you have any questions about these guidelines, please contact the Community Development Department at (408) 354-6872.

INTRODUCTION

1

HISTORIC PRESERVATION

The unique character of Los Gatos is in part a result of the older structures in the community. The Downtown Area, which is listed on the National Register of Historic Places, is especially important in this regard.

There are separate Town ordinances and guidelines for special districts and sites which address the treatment of these older structures and the nature of development in their vicinity. In addition, the Town considers all buildings constructed prior to 1941 to be historic.

The intent of the historic ordinances and these commercial design guidelines is to preserve those community assets and to accommodate changes and new development in a manner that is sympathetic to the structures' historic qualities. Historic preservation regulations applicable to the Town's commercial properties are:

Los Gatos Historic Commercial District

Downtown Los Gatos is listed on the National Register of Historic Places. Ordinance 1843 covers an area located along North Santa Cruz Avenue and West Main Street. See Section 3.4 of these guidelines and Appendix A.

University/Edelen Historic District

Ordinance 1920 includes properties on either side of University Avenue between West Main Street and Los Gatos/Saratoga Road. See Section 3.5 of these guidelines and Appendix B.

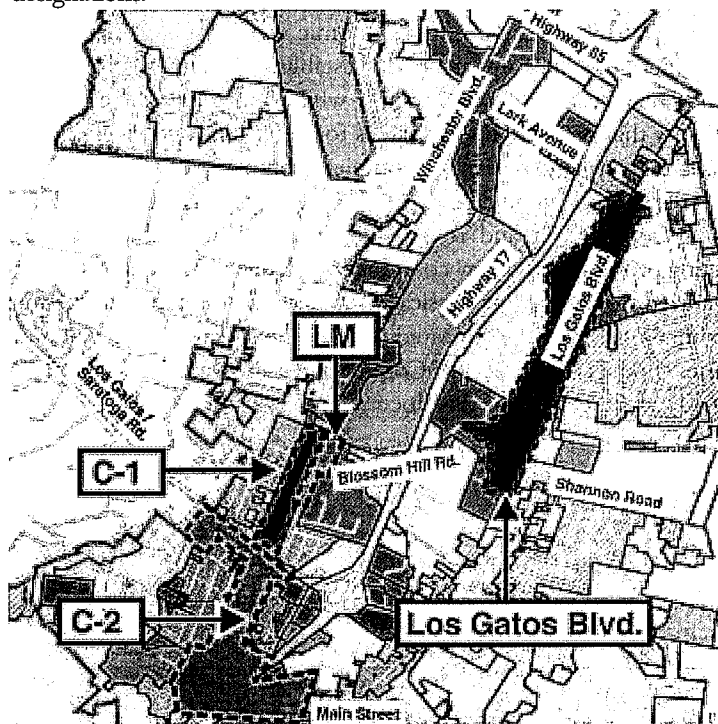
Designated Landmarks

Some properties have individual designations as Historic Landmarks in recognition of their historic, architectural, or aesthetic significance to the community. They may consist of buildings or features such as walls or fences. Information on Individual Historic Landmarks within the commercial areas subject to these design guidelines is included in Appendix C.

1.1 APPLICABILITY

These guidelines are applicable to all types of permits including sign permits, building permits, and architecture and site approvals.

The Common Design Guidelines (see pages 9-14) and the Signage Guidelines (see pages 53-67) apply to all commercial properties in Los Gatos. The design guidelines contained in Chapters 2 through 5 are area specific, and apply to the C-1, C-2, LM and Los Gatos Boulevard areas shown on the map below and more detailed diagrams contained within each individual guidelines chapter. They do not apply to other areas outside of these specific zones even though those areas may contain similar or the same zoning designations.



1.2 RELATIONSHIP TO OTHER PLANS

The design guidelines in this document incorporate and replace the following:

- Development Standards for the C-2 Zone
- Commercial Design Guidelines for the Central Business District
- Design Standards for the Rear of the Commercial Buildings Located Adjacent To Town Parking Lot #4 Elm Street To Grays Lane
- Los Gatos Boulevard Design Standards

The design guidelines in this document meet the Los Gatos Boulevard Plan which remains in effect.

INTRODUCTION

1

1.3 PURPOSE

The guidelines contained in this document are intended to accomplish the following:

- Provide guidance to property owners and their design professionals in planning and designing new buildings and remodeling existing structures.
- Provide a greater degree of project review and approval predictability.
- Ensure that new development reinforces and supports the special qualities of the Town of Los Gatos.
- Establish a high level of design quality.
- Maintain a building scale that is consistent with the Town's small scale image.
- Provide information to allow for the adaptation of corporate and franchise designs to the unique character of Los Gatos.
- Reinforce the special qualities of the Town's visual character.
- Protect property owner investments by discouraging inappropriate adjacent development.
- Streamline the development review process by more clearly communicating community expectations to property owners and developers.
- Provide visual continuity along street frontages.
- To encourage signs which are in scale and harmony with the architecture and the character of the Town.

1.4 COMMUNITY EXPECTATIONS

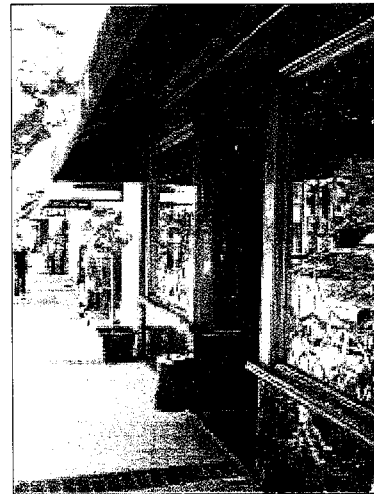
- Maintenance of the existing small town feel
- Highest quality architectural, landscape and site development design
- High quality materials
- Careful attention to architectural and landscape details similar to the Town's residential structures
- Variety and diversity of architectural character that support the current interesting mixture of styles
- Small scale buildings with a strong pedestrian orientation
- The sensitive interface of commercial development with adjacent residential neighborhoods
- Strong encouragement of a unique Los Gatos scale and character



A small scale, walkable Downtown



Respect for the Town's rich architectural history



Interesting storefronts with high quality materials and detail

INTRODUCTION

1



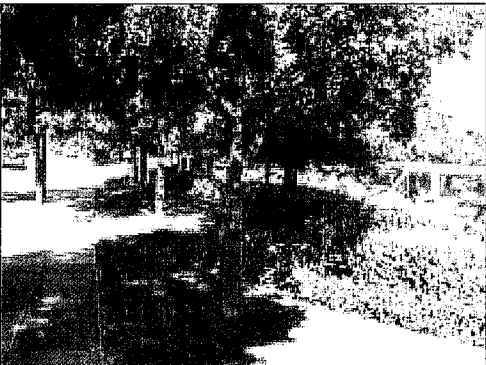
Shopping centers designed for the pedestrian



Businesses and buildings unique to Los Gatos



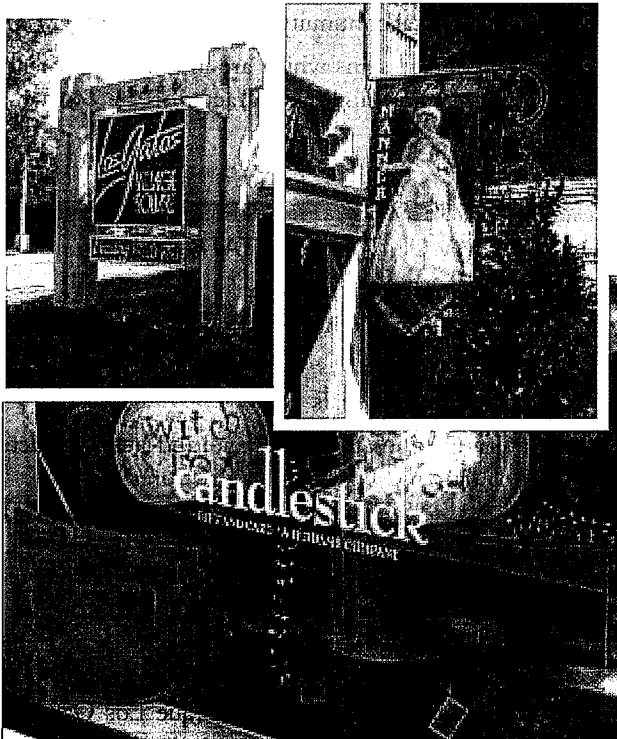
Commercial structures with the same attention to materials and details as the Town's residences



Lush landscaping

1.4 COMMUNITY EXPECTATIONS

- Chain or franchise projects tailored to the unique qualities of Los Gatos
- Avoidance of architecturally trendy buildings in favor of more timeless qualities
- A strong commitment to landscaping
- Maintenance of a sense of place with views of surrounding hills preserved
- Rich architectural fabric with interesting details
- Designs adapted to a human and pedestrian scale rather than to an automobile scale
- Scale and character appropriate to the setting
- Buildings over two stories are discouraged in areas covered by these guidelines unless special circumstances warrant additional building height
- Mixed use buildings are encouraged wherever appropriate to the surrounding neighborhood
- Thoughtful architectural design - not boxes with cosmetic attachments
- Unity of design treatment with all sides of the structure related to the design of the primary facades (i.e., 360 degree architecture)



Interesting signs

INTRODUCTION

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1.5 COMMON DESIGN GUIDELINES

The following guidelines apply to all commercial development in the Town of Los Gatos regardless of location.

1.5.1 Design to maintain and reinforce the unique scale and character of Los Gatos

- a) Break overall building masses into segments similar to those of nearby structures and parcels.



Example of new structures designed to reflect typical downtown storefront module

- b) Design with respect for nearby historic buildings and unique neighborhoods of the Town.
- c) Avoid design which consists largely of boxes with applied design elements.



Avoid boxes with applied elements

ARCHITECTURAL STYLE

- These guidelines are not intended to establish or dictate a specific style beyond the desire to maintain the Town's small town character and attention to human scale and detail.

Although many building styles are represented, the Town has a distinguished architectural heritage with some excellent past examples of Craftsman, Victorian, and other residential architectural styles along with several fine examples of traditional *Main Street* style commercial structures.

- Applicants are asked to look at the historic and more recent small scale structures which have been designed with attention to the provision of layers of detail and the integration of landscaping into the designs. Recent examples that seem to express the characteristics desired by the Town include 421 North Santa Cruz Avenue in the Downtown, the Shopping Center remodeling at 421-431 North Santa Cruz Avenue, the mixed use project at the northeast corner of Highway 9 and University Avenue, and the Cornerstone shopping center on Los Gatos Boulevard.

- Proposals for new commercial structures should be developed within this context of Los Gatos' heritage. Designs merely repeated from other cities or without thought to the special qualities of Los Gatos are strongly discouraged, and unlikely to be accepted.

INTRODUCTION

1

CORPORATE ARCHITECTURE

- The Town will work with applicants to adapt critical functional features of prototype plans to their Los Gatos sites, but will not accept standard plans, building forms, elevations, materials, or colors that do not relate to the site, adjacent development, or Los Gatos' community character.

- Applicants are encouraged to meet early in the process with the Town's Community Development Department staff to discuss their plans and building prototypes.

SUSTAINABLE DESIGN

The Town of Los Gatos supports sustainable design in the construction of new facilities and the remodeling of existing buildings. Applicants are expected to utilize creativity in adapting sustainable design elements to the unique qualities of the Town's visual environment and the community expectations set forth in this design guidelines document. Town staff will work closely with applicants to achieve this goal.

Special attention will be expected of all applicants in the following areas:

- Use of energy efficient HVAC systems
- Reduction of energy demands through simple techniques such as operable windows and sun control methods
- Minimization of storm water runoff
- Use of recycled materials
- Limit use of copper roofing, gutters and trim
- Increase insulation and energy efficient lighting

d) Avoid "awning architecture" where large awnings dominate the building frontages.



e) Provide varied building and parapet heights except in locations where flat parapets are common.

f) Place awnings and canopies at elevations that relate to the height of pedestrians and provide a sense of shelter. Use awning appropriate to the building style.



Awnings placed high on building facades do not provide a sense of shelter or pedestrian scale



Awnings placed at pedestrian scale

g) Break facade segments into modules that reflect those common along nearby commercial building frontages. For facades along streets that are closely related to nearby residences, break larger building elements into modules that are sympathetic to the smaller scale of those houses.

INTRODUCTION

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1.5.2 Provide a richness of architectural facade depth and detail

- a) Express columns and beams on the building's exterior.
- b) Provide a number of facade layers (e.g., front of columns or pilasters, wall plane, window frame, and window glass).
- c) Finish wall tops with overhangs, projecting cornices, and column caps that provide a strong visual terminus to the structure.
- d) Use applied and integrated design elements (e.g., exposed rafter tails on sloped roofs, cornice moldings, applied medallions).



Los Gatos example of facade depth and detail

1.5.3 Provide a unified design around all sides of buildings

- a) Maintain continuity of design, materials, color, form and architectural detail for all elevations of a building that are visible from public areas or adjacent residences.
- b) Where continuity of design is difficult to achieve, substantial landscaping should be provided to screen the area.



Los Gatos example above showing simple reflection of front facade design on building side

MIXED USE PROJECTS

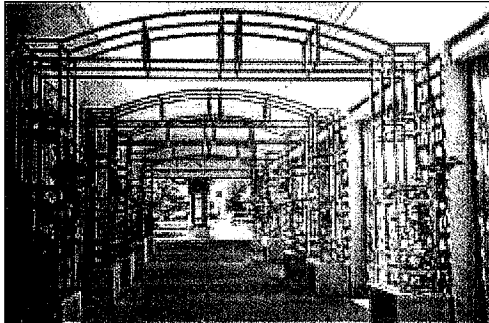
Mixed Use projects will generally consist of residential units or office space located over ground floor retail shops or restaurants. Entries to upper floor uses should be located on facing streets or on landscaped passageways with direct access to the street. The entries should be distinctive and well defined with elements such as attractive doorways and sidelights, awnings, carriage lights, planters with flowers, appropriate signage, and other elements to add visual richness and human scale.

Upper levels should be designed with a distinctive character and design elements that will relate the upper levels to the street and provide visual interest. These elements might include bay windows, projecting balconies with landscaping and french doors, or awnings over the windows. Window proportions on the upper levels should generally be smaller than ground floor windows, vertical in proportion, and related to the ground floor windows.



INTRODUCTION

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Examples of blank walls treatment



Trash enclosures that are well integrated into the building's design



Equipment screen integrated with building design

1.5.4 Avoid blank walls and service areas which are visible from adjacent streets and projects

- a) Orient buildings to avoid blank walls and service areas which are visible.
- b) When blank walls are unavoidable, add pilasters, trellises, and/or lattices along with landscaping to make the facades more attractive.

1.5.5 Integrate the screening for all trash and service areas into the design of the buildings.

- a) Avoid walls that appear to be tacked onto the main structure in favor of walls that integrate the service walls into the overall design of the building complex.
- b) Match wall materials to that of the building.
- c) Where screen walls are prominently visible, provide additional detail appropriate to the design of the main structure (e.g., wall caps similar to those on a primary structure).
- d) In many cases, the use of a lattice work with dense, flowering vines may be used. In those cases, a lesser building material (e.g., concrete block) may be used if the lattice work will provide a strong texture while the landscaping is growing to maturity, and if it can be demonstrated that the landscaping selected will provide a green screening of the walls within two years of installation.

1.5.6 Screen all roof equipment

- a) All roof equipment must be screened to minimize its visual impact on views from public rights-of-way.
- b) Locate equipment in recessed roof wells or hide equipment behind parapet walls so that it cannot be seen are the preferred solutions.
- c) Roof screens should be constructed from materials as similar to the building walls as possible, and should be designed to appear as an architecturally integrated part of the building rather than an added-on element.
- d) In cases where mechanical wells or parapets of sufficient height to screen equipment are not possible, equipment should be clustered and placed as far as possible from building edges. The visible equipment should be painted a color that will blend the equipment visually with the backdrop (e.g., pale blue for elements seen against the sky).
- e) Submit a roof plan at the time of submittal for review and approval. The plan shall show the location,

INTRODUCTION

1

type and size, including height, of all roof mounted equipment. The application elevation and section drawings shall also show the location and size of all roof mounted equipment.

f) Special conditions for solar panels

Seek to minimize any negative visual impacts on Town character. A less than optimal efficiency slope for the panels may be required to minimize their visual impact if such a condition would not decrease the efficiency of the panels by more than 20%. Or, other visually neutral methods to achieve similar energy efficiencies may be required (e.g.; insulation, efficient windows, solar screening of windows, energy efficient HVAC systems, etc.).

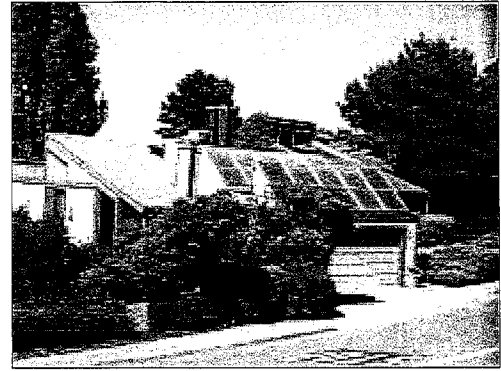
- Hide solar panels, if possible
- Integrate panels into the architectural forms and character of the building
- Avoid a tacked on look
- Operable windows are encouraged in recognition of the area's temperate climate and the typically small scale of commercial structures.

1.5.7 Provide visual buffering of on-site utility elements

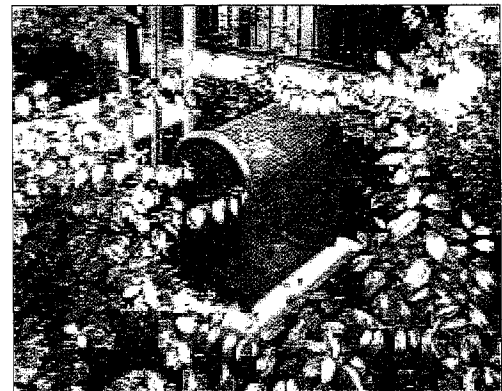
- a) Locate transformers, valves and similar elements where they will be least visible from public rights-of-way. If not possible, these elements should be placed underground or, at a minimum, screened from view with walls and landscaping that relate to the remainder of the project.
- b) Utilize landscaping and/or walls to screen transformers and other utility elements if they must be located in close proximity to the public right-of-way.
- c) Applicants will be required to submit a site plan at the time of submittal for review and approval to show the location, type and size, including height, of all utility elements to be located on the parcel.

1.5.8 Subordinate parking to the buildings

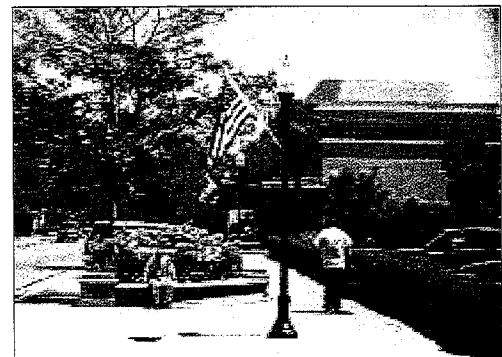
- a) Avoid parking lots in locations that interrupt retail and/or structural continuity near front property lines.
- b) Divide larger parking areas into smaller segments with blocks of landscaping.
- c) Provide low walls and landscaping at parking lot edges adjacent to public streets.



Example of solar panels integrated into the building form



Utility screening with landscaping and cover



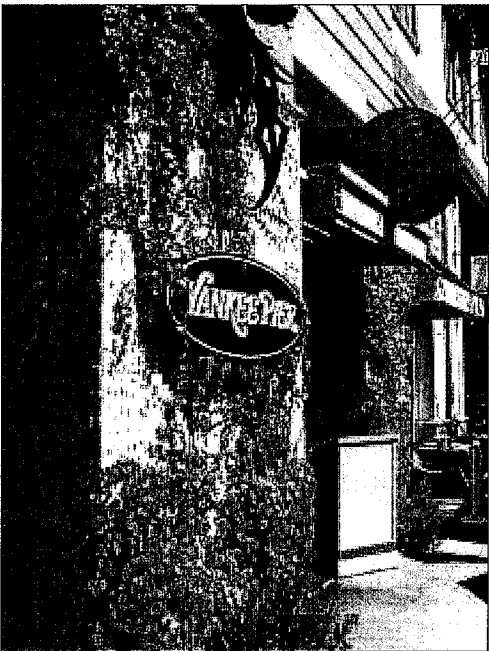
Hedge as edge parking lot screen

INTRODUCTION

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Strong landscaping used to define main entry to the shopping center



Small scale landscaping used to enhance pedestrian areas and storefronts

1.5.9 Utilize high quality building materials and details

- a) The use of exposed concrete block is strongly discouraged in favor of wood, stucco, stone or brick, and in the case of the LM District, metal.
- b) Avoid plywood wall facings.
- c) Avoid plastic or shiny metal materials and finishes.
- d) Avoid rough sawn wood for exposed structural or finished surfaces.

1.5.10 All projects shall be well landscaped

- a) Landscaping should relate to existing landscape treatments along the adjacent street fronts.
- b) Smaller landscaping (e.g., planter pots, window boxes) are used often within the Town to provide smaller scale elements close to the pedestrian, and should be included within commercial projects whenever possible.
- c) Landscaping should have form and substance to define edges and paths, to provide visual focal points, and to buffer less desirable views (e.g., less finished facades facing public ways or residences.)

1.5.11 Maintain a high degree of transparency at all window areas

- a) Avoid dark or highly reflective glazing.

1.5.12 Utilize colors that are appropriate to the use and the surrounding area

- a) Muted tones are generally preferred with stronger accent colors limited to smaller areas of trim.
- b) Interesting soft colors should be considered. The automatic selection of beiges and browns is discouraged.
- c) In most cases, a range of analogous or complementary colors is preferred over painting all wall surfaces with the same paint color and shade.
- d) Strong building colors that are used for branding or advertising purposes will not be approved.
- e) Uses which might make a case for stronger colors (e.g., ethnic restaurants) will be evaluated case-by-case based on the design and the context of surrounding buildings and uses.

C-1 DISTRICT

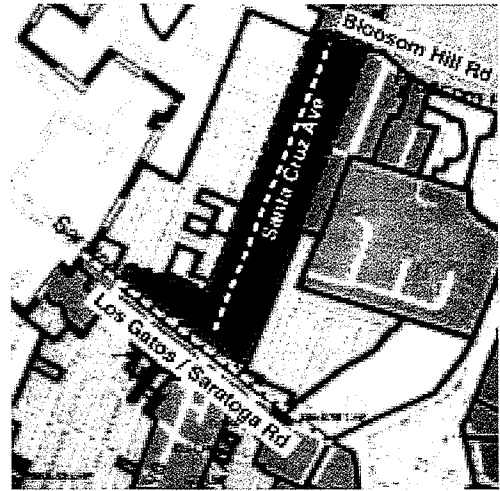
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C-1 DISTRICT

The C-1 District extends generally along North Santa Cruz Avenue between Blossom Hill Road and Highway 9 (Los Gatos/Saratoga Road) although other commercial areas are zoned C-1. The street is relatively narrow, and traffic speeds are slow.

The district is bordered on the west by a single family residential neighborhood, and on the east by the LM Light Industrial district. The mix of uses within the C-1 District is broad, and includes office buildings, banks, small shopping centers, restaurants, and service commercial structures along with some residential uses.

Large trees line the street for its length, providing a soft and welcoming environment, which serves to link the area comfortably with the adjacent residential neighborhood and encourages outdoor dining and pedestrian circulation along the street.



C-1 District boundaries

2.1 BASIC DESIGN PRINCIPLES

The following principles have been used as touchstones for the development of individual commercial design guidelines. In the event that the specific guidelines do not clearly address a given condition, the Basic Design Principles should be consulted for general direction. The Basic Design Principles will be used by the Town staff and Planning Commission/Town Council when evaluating projects in the C-1 District, and when considering the acceptability of unique proposals that vary from the specific guidelines.

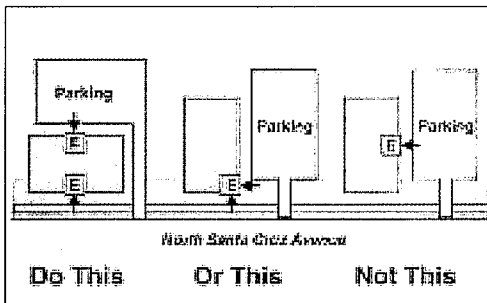
- Projects shall possess a village scale and character which is sensitive to the scale and liveability of the adjacent residential neighborhood.
- Commercial buildings shall be designed with small scale complexity appropriate to the low speed, pedestrian nature of North Santa Cruz Avenue or adjacent commercial street.
- Street front functional and visual continuity shall be maintained, and all projects shall be sympathetic in form, scale, and height to adjacent structures.
- Landscaping shall be used to soften the appearance of buildings and to integrate new construction into the overall commercial/residential neighborhood.
- The physical and visual impact of parking shall be minimized.
- Structures over one story shall be designed to minimize their visual bulk and relate to the human scale of pedestrians on the street.
- Multi-tenant complexes shall be designed to emphasize an overall sense of project and place, rather than the prominence of individual tenants.

INTENT OF THE C-1 DISTRICT GUIDELINES

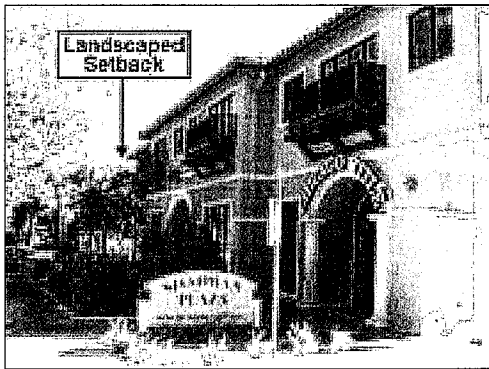
- Provide a high quality entry to the Los Gatos Downtown
- Maintain a building scale and character sympathetic to the adjacent residential neighborhood
- Minimize the impact of parking on the character and image of the area
- Reinforce the street's lush landscaped character
- Encourage pedestrian use of the streets sidewalks
- Keep signs subdued in recognition of the low speed of traffic on the street

C-1 DISTRICT

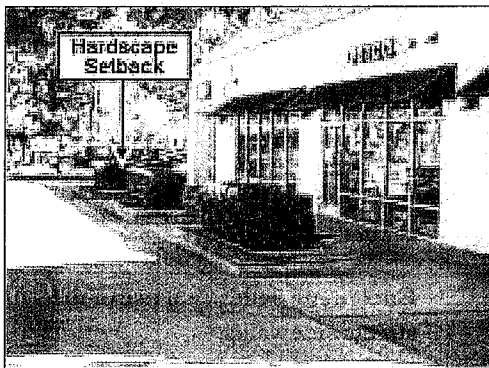
2



Orient entries to North Santa Cruz Avenue



Provide substantial landscaping in setbacks



Avoid large amounts of paving in setbacks unless used for outdoor dining or other functional purposes



Flowering plant landscaping is strongly encouraged

2.2 SITE DEVELOPMENT

2.2.1 Orient building entries to North Santa Cruz Avenue

2.2.2 Place parking behind buildings or underground, whenever possible

a) If placement behind structures or underground is not possible or practical, the preferred parking placement is adjacent to the structures in order to maintain the presence of active uses along the North Santa Cruz Avenue commercial street frontage.

b) If the only possible parking location is between the buildings and Santa Cruz Avenue or other commercial street, parking area frontages shall be screened and landscaped as noted below, and parking lots shall be treated with extensive landscaping.

c) For any parking which fronts on a public street, provide low walls along with landscaping to soften the parking area's visual impact.



Underground parking is encouraged in the C-1 District

2.2.3 Provide substantial landscaping along the North Santa Cruz Avenue and other commercial street frontages

a) Avoid large amounts of paving between structures and the street sidewalk. Unless the front setback is used for a functional use, such as outdoor dining, over fifty percent of the front setback should be devoted to green landscaping.

b) Flowering plants are strongly encouraged.

2.2.4 Provide greater landscape buffering adjacent to residential parcels

2.2.5 Enhance front sidewalk and plaza paving

- a) The use of brick banding along with concrete is encouraged for the commercial street sidewalks.
- b) A change of pattern and/or material for paved areas within front setback sidewalks and plazas is strongly encouraged to set them apart from the sidewalks. The use of concrete that would just seem to be a large extension of the sidewalk will be strongly discouraged.
- c) Where paved plaza areas are located adjacent to sidewalks, provide a positive separation between the two with landscaping and/or raised planters.

2.2.6 Pedestrian amenities are encouraged in front setback areas

- a) Benches
- b) Planter pots with flowers
- c) Trash receptacles

2.2.7 Minimize the visual impact of parking lot lighting

- a) Limit light pole height to a maximum of fifteen feet.
- b) Use luminaires with shielding to direct light downward and avoid glare.

2.2.8 Provide landscaping along the Industrial Way and secondary street frontages

- a) Use trees to buffer views between C-1 uses and LM uses across Industrial Way.
- b) Use low hedges and walls to screen views of parking lots.



Landscape Industrial Way edges

C-1 DISTRICT

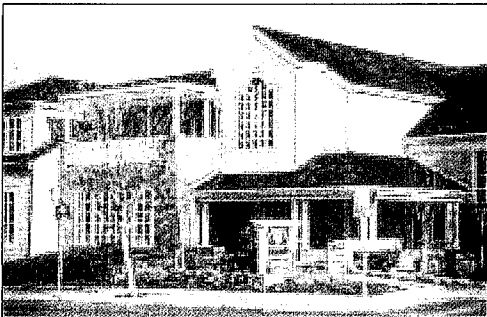
2



Break larger buildings into smaller building masses



Avoid large building masses



Consider residential building forms adjacent to residential neighborhoods

2.3 BUILDING DESIGN

2.3.1 Break larger building facades into smaller segments

- a) Treat commercial street-facing facades which exceed fifty feet in length as though they were constructed on individual parcels no wider than fifty feet.

2.3.2 Respect the character of adjacent residential neighborhoods

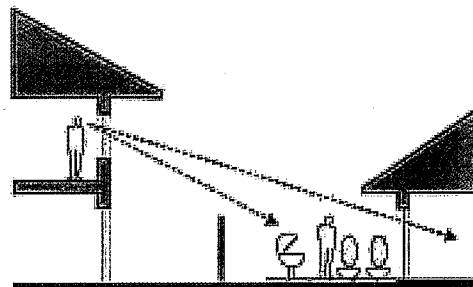
- a) Strongly consider residential building forms for projects on the west side of North Santa Cruz Avenue where there is a close proximity to a residential neighborhood.

- b) For projects located on corner parcels of streets leading into residential neighborhoods, special attention should be given to the following:

- Breaking building forms into modules that are similar to those in the residential neighborhoods
- Providing landscaping and landscape elements (e.g., fencing) that would be consistent with those used in residential areas
- Screening any parking areas with low walls and landscaping

2.3.3 Respect the privacy of neighboring residents

- a) Avoid windows which would provide views into residential private yard spaces.



Avoid windows looking into residential private yard spaces

- b) Keep window sizes small on facades facing residences where windows can be seen to minimize lighting intrusion.

- c) Provide shielding for any exterior lighting visible from neighboring residential uses.

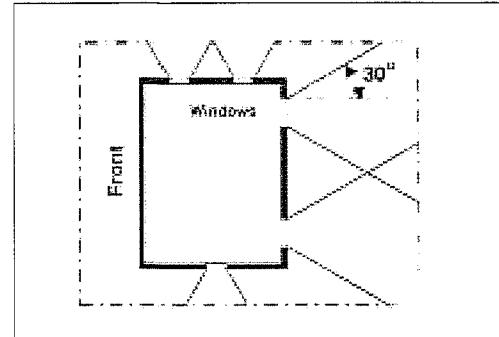
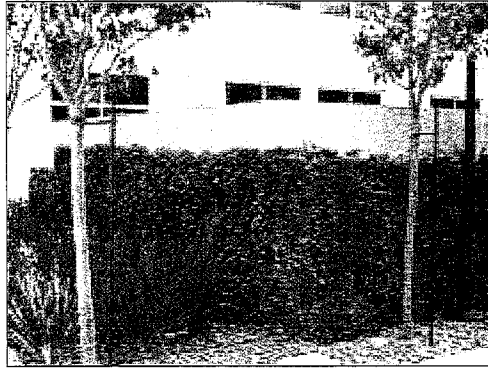
C-1 DISTRICT

2

d) Provide landscaping between commercial structures and neighboring residents to screen, break up and soften views of the structures. See diagram to the right for view cones in which buffering landscaping should be provided.

e) Avoid placement of mechanical equipment where noise would negatively impact residential neighbors.

f) Visually screen all trash and outdoor storage areas from view.



Provide buffer landscaping in view cones to residential windows and private yard space

2.3.4 Visually treat any exposed walls visible from fronting streets

a) Use landscaping and screen walls or architectural treatment consistent with the primary and nearby facade designs.



Mitigate exposed wall surfaces with architectural and/or landscaping treatment

2.3.5 Avoid visually bulky buildings

a) Provide horizontal wall plane changes along street frontages and areas easily viewed from adjacent properties. Wall plane changes should have some portions that are at least two feet to provide building articulation.

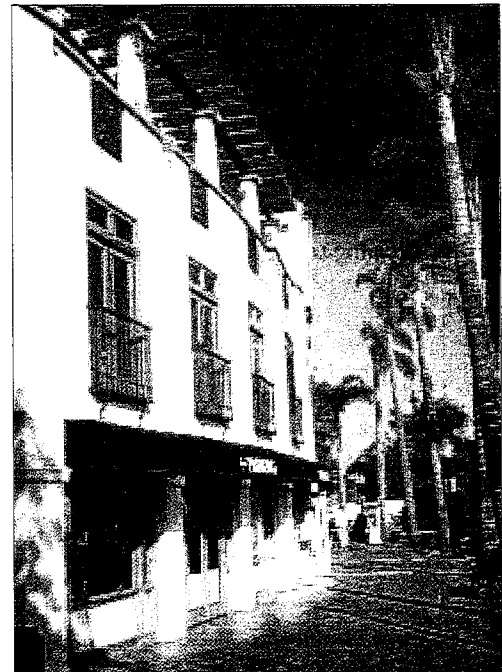
b) Keep the size of roof fascias small.

c) Inset windows as much as possible from wall faces to provide some visual depth to facades. Where interior uses make this difficult, provide exterior trim around windows to achieve facade depth.

d) For any structures over two stories in height, set back upper floors by a minimum of fifteen feet from the lower floor facades to minimize scale and bulk changes that would stand out significantly from the norm along the adjacent streetscape.

e) Break up large wall surfaces.

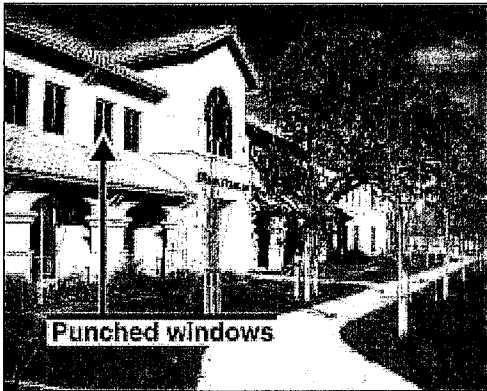
f) Use a mix of materials that have a smaller scale (e.g., stone, brick, wood siding, shingles). Avoid concrete block and metal siding or panels.



Step upper floors back on structures taller than two stories

C-1 DISTRICT

2



Use punched windows



Avoid ribbon windows



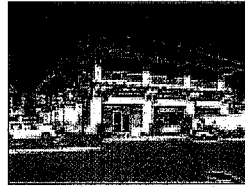
Outdoor dining uses are encouraged

2.3.6 Utilize solid building forms with punched window openings

- a) Avoid ribbon windows and other types of large window areas.
- b) Limit the amount of typical commercial storefront treatment in favor of smaller window areas.

2.3.7 Use sloping roof forms with substantial overhangs

- a) Avoid buildings with flat parapet tops.



Do This



Not This

2.3.8 Provide architectural elements, detailing and ornament to add richness and variety to building facades

- a) Design with a scale consistent with residential architecture in Los Gatos.
- b) Awnings are encouraged as auxiliary elements, but not as the predominant architectural feature.
- c) Projecting balconies are encouraged.

2.3.9 Outdoor dining uses are encouraged.

- a) Design wall edges and landscaping to be compatible with the building design.

2.3.10 Screen all roof top mechanical equipment

- a) Integrate equipment into roof forms, whenever possible. If equipment cannot be located in this manner, consider alternatives such as interior mechanical rooms and undergrounding.

C-2 DISTRICT

3

C-2 DISTRICT

The C-2 District is Los Gatos' Central Business District where retail shops, restaurants, and service businesses combine to create a unique social and economic focal point for the community. Much of the Town's unique character is defined by the downtown's commercial area's uniform scale, massing, types of buildings, and very strong pedestrian orientation.

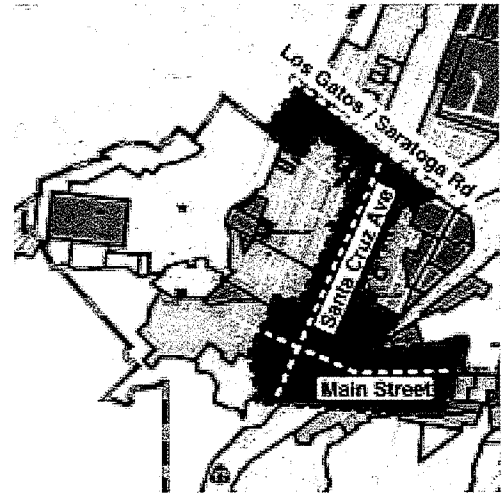
The District is roughly two blocks wide, stretching along Santa Cruz Avenue from Highway 9 (Los Gatos/Saratoga Road) on the north to the Town Limit on the south, and along the frontage of Main Street east to near Tait Avenue.

There are several distinct areas within the district. The heart of the area extends along the Santa Cruz Avenue frontage from Royce Street to Main Street, and is composed of traditional *Main Street* type buildings constructed at or near the front property line and forming a virtually continuous line of interesting shop fronts along both sides of the street.

Building patterns north of Royce Street on the west side and Bachman Avenue on the east side are substantially different with many structures or small complexes of buildings physically separated from their neighbors and often set back substantially from the front property line. Within this *Village* scale area, the uses along Highway 9 are much more automobile oriented than those along Santa Cruz Avenue.

Santa Cruz Avenue south of Main Street has mostly newer development, greater setbacks from the front property line than the area to the north, and less of a *Main Street* style building design character.

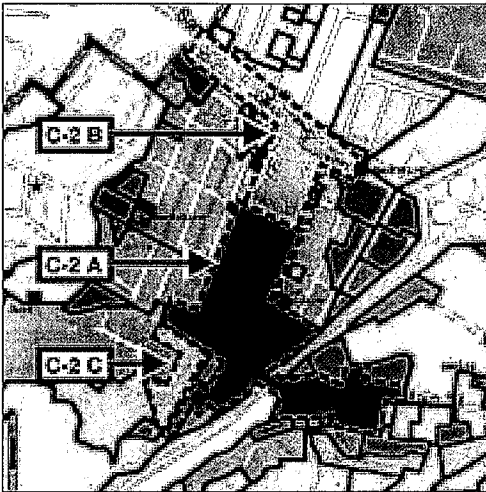
Main Street east to the Town Hall is similar to the Main Street style area of Santa Cruz Avenue, and has more structures that are two stories in height.



C-2 District boundaries

INTENT OF THE C-2 DISTRICT GUIDELINES

- Maintain and enhance the pedestrian orientation of the existing Central Business District (CBD)
- Maintain retail and visual continuity
- Maintain a building scale and character sympathetic to the existing fabric of the CBD
- Recognize the special scale and character of unique subareas within the CBD
- Respect the historic community roots in the Town core
- Maintain and encourage diversity
- Provide for visual interest and richness
- Keep signs subdued in recognition of the strong pedestrian orientation of the street

C-2 DISTRICT**3***C-2 District Subareas***3.0 C-2 DISTRICT SUBAREAS**

Given the diversity of site development and design within the Los Gatos Central Business District, the design guidelines for the C-2 District have been divided into subareas as shown on the diagram to the left.

3.1 BASIC DESIGN PRINCIPLES

The following principles have been used as touchstones for the development of individual commercial design guidelines. In the event that the specific guidelines do not clearly address a given condition, they should be consulted for general direction. The Basic Design Principles will be used by the Town staff and Planning Commission/Town Council when evaluating projects in the C-2 District, and when considering the acceptability of unique proposals that vary from the specific guidelines.

- New construction shall be sensitive to the small scale of the existing environment of the CBD.
- Architectural character and detailing shall be sensitive to the historic structures remaining in the CBD.
- Building form and scale shall be appropriate to the unique CBD subarea in which the project is located.
- Retail and pedestrian continuity shall be maintained along Santa Cruz Avenue and Main Street.
- Storefronts shall be constructed of high quality materials that are consistent with those historically used in the Town.
- Diversity of design shall be encouraged with timeless character sought over trendy architectural styles.
- New construction shall respect the scale, character and detail texture of adjacent and nearby structures.
- Landscaping appropriate to the village qualities of the district shall be incorporated into projects.

C-2 DISTRICT

3

DISTRICT C-2A

3.2 SITE DEVELOPMENT (C-2A SUBDISTRICT)

3.2.1 Facades should be setback from public street property lines no more than five feet

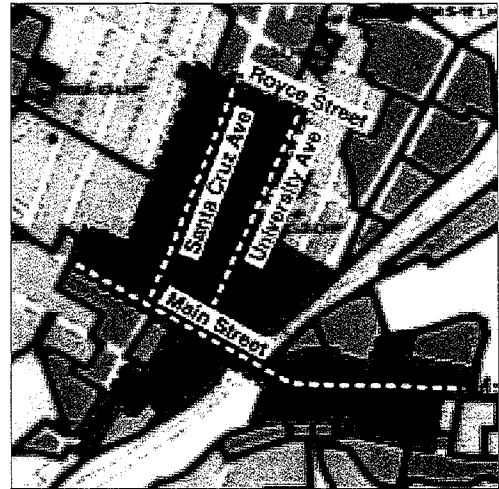
- a) The intent of this guideline is to maintain retail continuity along block fronts in support of a strong pedestrian and retail environment.



- b) An exception may be considered for restaurants with outside dining areas. Setbacks for this use shall be limited to fifteen feet. Design of outdoor dining areas will be considered on a case by case basis. When adjacent to a sidewalk or public right-of-way, a distinguishing barrier or feature is needed to separate the dining area from the right-of-way. Plastic furniture shall not be used.



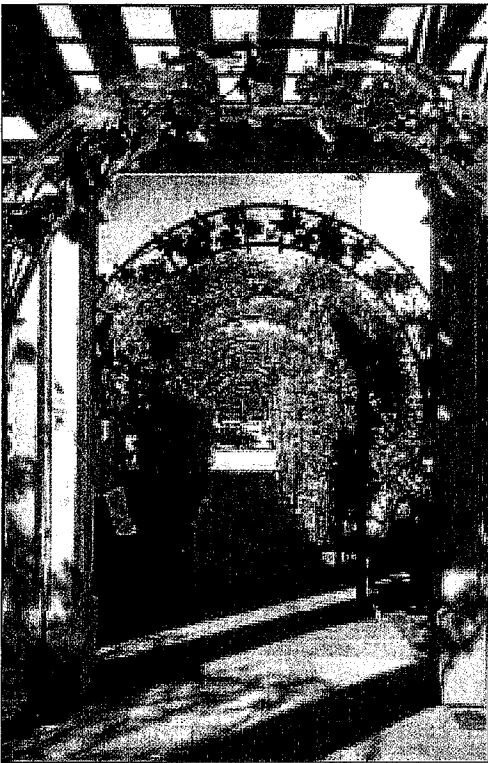
- c) Paving within the setback areas should be distinctively different from the adjacent public sidewalk (e.g., brick pavers.)
- d) Front setback areas should contain some elements of landscaping. These may be in-ground plantings, plants in containers or plants within window boxes attached to the ground floor facade of the structures.



C-2A District boundaries

C-2 DISTRICT

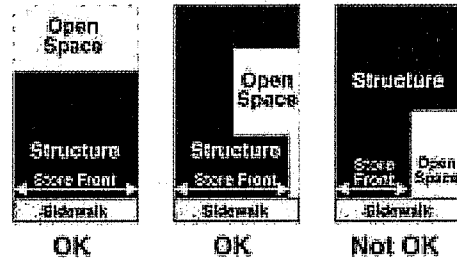
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Examples of pedestrian pass-through improvements

3.2.2 Open space on the parcel should be placed away from the front of the parcel

- Open space, in excess of any front setback, shall be devoted to functional use or landscaped areas.
- Open space should be located at the rear of the parcel or at the sides of the parcel away from the front facade. This open space will allow for rear dining courtyards for restaurants, outdoor display areas for businesses, enhanced entries to courtyards for small retail and personal service uses with an orientation to the fronting street.



3.2.3 Pass-through pedestrian walkways from rear parking lots may be required at the discretion of the deciding body

- Pass-throughs should include landscaping, trellises, lighting, and other elements that enrich the pedestrian experience.
- An exception to the location of open space fronting on front sidewalks may be considered for outdoor dining plazas along the length of pass-throughs.



3.2.4 On-site parking will be allowed only where it would not abut Town Parking Lot #4, and when access is from a public way other than North Santa Cruz Avenue or East Main Street

3.2.5 Primary access to any second floor uses shall be from a fronting commercial street

C-2 DISTRICT

3

3.3 BUILDING DESIGN (C-2A SUBDISTRICT)

3.3.1 Maintain a building front module that is consistent with the remaining block front streetscape

a) Pilasters and columns along with wall beams and cornices which are in front of the building wall and display windows should be used to provide a layering and hierarchy of structure. Storefront widths should be similar to those of other adjacent stores. This is of special importance for buildings with street frontages which are wider than the norm along a street front.

b) In general, pilasters and columns should occur at intervals of no more than approximately ten (10) feet.



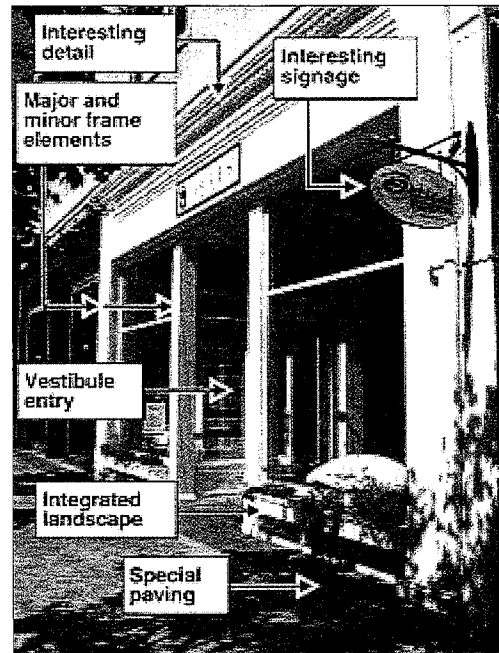
3.3.2 Design buildings along North Santa Cruz Avenue and Main Street to be compatible with traditional architectural styles

a) Characteristics of traditional *Main Street Contemporary* architecture include the following:

- Shaped parapets or projecting cornices at street wall tops
- Large display windows framed by high quality materials
- Projecting columns and pilasters
- Column/pilaster bases and bulkheads below display windows
- Projecting belt courses and other moldings
- Decorative details

b) Provide architectural details to enhance the visual interest of facades. Elements that are encouraged include the following:

- Projecting cornices with decorative moldings and/or brackets
- Shaped parapets
- Planter boxes
- Projecting molding
- Inset medallions



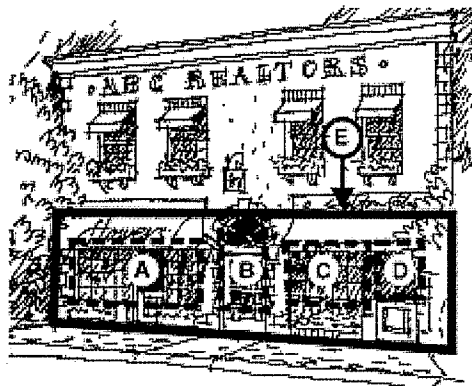
Desirable storefront components



Contemporary storefront compatible with traditional design

C-2 DISTRICT

3



- Bay windows
- Moldings around windows
- Pilaster and column capitals

c) Size and height of all detail elements shall be sympathetic to the major elements of adjacent structures.

3.3.3 Emphasize display windows and storefront entries

a) Provide interesting storefronts with prominent display windows.

b) Traditional storefronts with bulkheads below the windows and glass on both the street front and the sides of vestibules are desirable. However, larger and more contemporary display windows are also acceptable, but should have some solid base at least 12 inches high between the bottom of the window and the paving below.

c) Use bulkhead materials that are consistent with the building's materials and traditional to Mainstreet-style storefronts (e.g., stucco, tile, stone, wood panels.) The decorative treatment of bulkheads is encouraged (e.g., wood moldings over a wood base panel, decorative tile patterns.)

d) Window box planters below display windows are encouraged to add color and visual interest.

3.3.4 Maintain transparent storefronts and public right-of-way walls

a) Maintain a minimum of sixty percent (60%) transparent glazing along primary store frontages up to eight feet above grade.

b) In the example to the left, A+B+C+D must equal at least 60% of E.

c) Avoid blank walls over ten (10) feet long on primary frontages, and from the first fifty (50) feet from Santa Cruz Avenue or Main Street. Break up larger blank walls with pilasters and landscaping.

d) Display window proportions should generally reflect traditional storefront windows with proportions that are horizontal or approximately square. Strong vertical window proportions should be avoided.

e) Display window lighting to enhance the CBD nighttime vibrancy is strongly encouraged. Methods may include shielded or recessed spotlights to highlight display merchandise or pin lights used to define the outline of windows.

C-2 DISTRICT

3

3.3.5 Provide vestibules at building entries

- a) Recess entry doors three to six feet from the front facade.
- b) Pave vestibule floors with tile, brick, stone, or a similar high quality hard surface to set the vestibule apart from the sidewalk.

3.3.6 Utilize high quality storefront materials

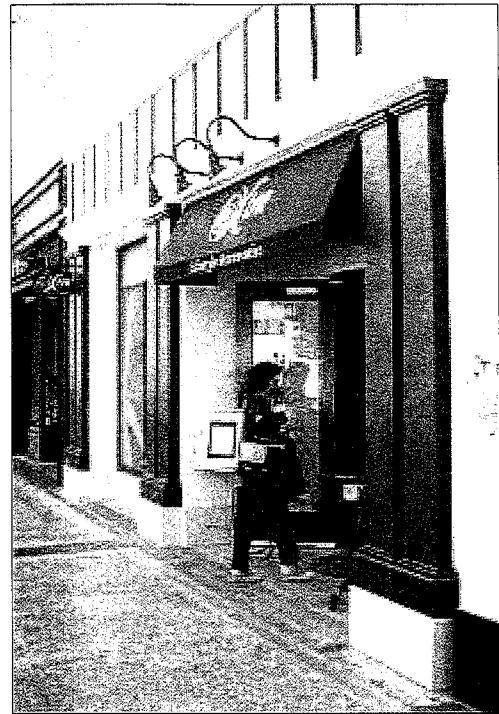
- a) Use wall materials primarily composed of stone, brick or stucco for facades. Avoid nontraditional materials such as wood, shingles, cultured stone, small tiles, rough finished materials, and metal.
- b) Wood window frames are common in this area and are strongly encouraged.
- c) Alternatively, vinyl covered or dark anodized aluminum metal storefront window and door frames are suggested.
- d) Anodized aluminum frames are not generally desired, but may be considered on a case-by-case basis.
- e) Entry doors should be selected to compliment the design of the storefront. High quality entry doors are encouraged, while standard storefront doors are discouraged, consistent with the attention paid in the past to doors in this area of the CBD. Dutch doors should also be considered to open up businesses to passing pedestrian traffic, and provide a welcoming small town feeling to storefronts.

3.3.7 Operable windows and french doors are encouraged for restaurants and coffee cafes

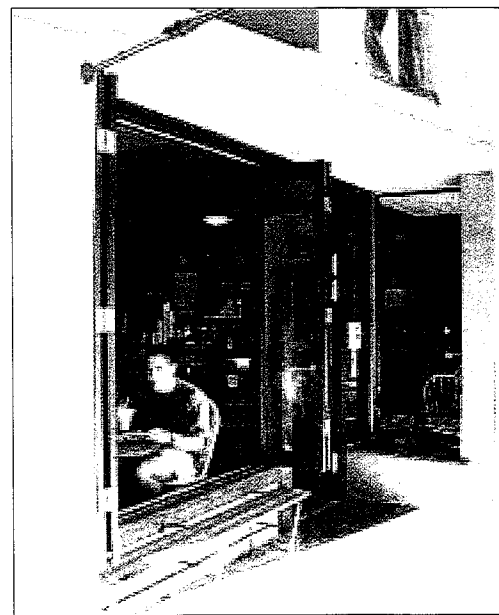
- a) Window types and proportions should be complementary to the architecture and design of the facade.
- b) Two examples of operable restaurant facade windows are shown below and to the right.



Restaurant operable window example



Provide vestibule entries



Restaurant operable window example

C-2 DISTRICT

3

**3.3.8 Install awnings when weather and sun exposure protection are desired**

- a) Fabric awnings are the preferred material. Metal awnings may be used if they are of contemporary design, are composed of sloping awning faces only, and are compatible with the building style.
- b) Fabric awnings should be installed on painted tubular metal frames. End panels returning to the building face are optional.
- c) Avoid shiny fabrics.
- d) Backlit awnings that visually appear as large light sources will not be permitted.
- e) Relate awning placement to the major architectural elements of the facade.
 - Avoid covering any transom windows or architectural elements such as belt courses, decorative trim and similar features
 - Use separate awnings over individual storefront bays defined by the columns or pilasters rather than placing a continuous awning across the building frontage

C-2 DISTRICT

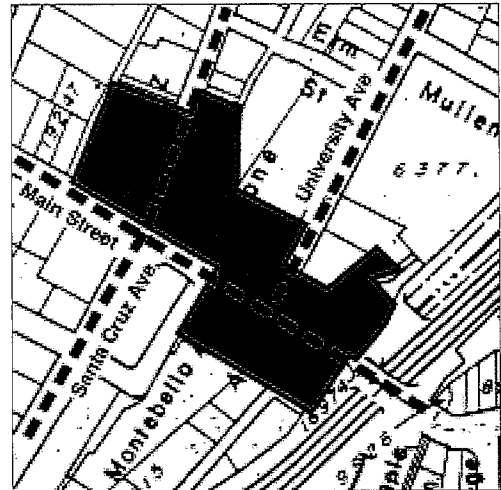
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HISTORIC PRESERVATION DISTRICTS

The C-2A District contains two designated historic districts established by Town ordinance. The standards and guidelines established for those districts will continue to apply to structures within their boundaries. In the event of any inconsistency between the ordinances and these design guidelines, the ordinances will control.

The following is provided as a summary of the special guidelines for projects within the boundaries of these two districts. Applicants with properties within the districts should refer to Town Ordinance 1843 (Los Gatos Historic Commercial District) and Ordinance 1920 (University/Edelen Historic District) which include addresses and designations for structures contained within the districts. They are included in this document as Appendices A and B.

Applicants are strongly encouraged to conduct historical research on their properties, and to meet informally with staff prior to the preparation of detailed drawings for the alteration of existing structures or the construction of new ones within the historic districts.



Los Gatos Historic Commercial District

3.4 LOS GATOS HISTORIC COMMERCIAL DISTRICT

The district is listed on the National Register of Historic Places, and contains Los Gatos' only surviving concentration of reasonably intact historic commercial buildings. It includes the Town's earliest commercial intersection and half of the 19th century commercial center. A wide variety of architectural styles is represented in the district, including Victorian, Queen Anne, Richardsonian Romanesque, and Mission Revival through most of the intervening modes to Art Deco. All are typical commercial versions of the styles.

Structures within the historic district have been classified as Significant, Contributing, or Noncontributing.

Significant Structures are those with special historic value. Changes to designated structures will be carefully reviewed to ensure their historic qualities are preserved and enhanced.

Contributing Structures are those that are supportive of the historic district by virtue of their individual qualities and overall support for the character of the historic district. They may have had changes over time that compromised their historic integrity.

Buildings which contribute to the district should not be demolished except under exceptional circumstances. Their historic appearance should be maintained, and remodelings should either maintain the existing extent of departure from the documented historic appearance, or shall make the appearance closer to the documented one. Remodelings shall not increase the extent of departure from an appearance which can be documented in historic photos (over 50 years old) or similar records.



*Hofstra Block: circa 1875 with later additions
Queen Anne Style*



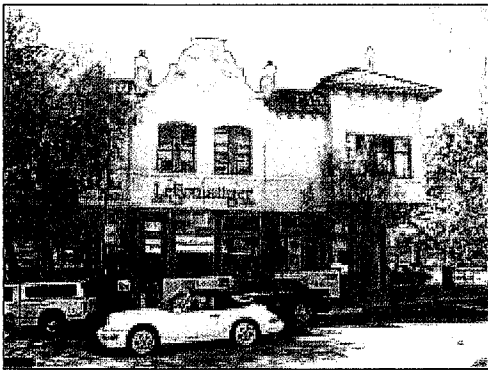
*Fretwell Building: 1906
Richardsonian Romanesque Style*

C-2 DISTRICT

3



First National Bank: 1920
Spanish Revival



Rankin Block 1902
Mission Revival Style

Non-Contributing Structures are those that have no intrinsic historic value. Major remodeling of these buildings or their replacement with new structures should seek to support the historic district through designs that complement the scale and character of the district.

3.4.1 Guidelines

a) Setbacks

Since the historic buildings have no setbacks from the sidewalks on North Santa Cruz Avenue or West Main Street, no new setbacks on these streets will be permitted, either of whole structures or of parts of buildings, except for entrances.

b) Heights and Proportions

Heights and proportions of additions and alterations should be compatible with those of the existing structures. New construction should maintain the existing scale and character through compatible design and attention to detail while being subservient to the original building.

c) Building Facades

Protected elements include cladding, transoms, parapets, splash panels, display and other windows, entrance vestibules if any, historic tile work, and other detailing.

d) Siding

The historic siding should be maintained on all sides of the historic buildings, and it should be matched in repair or rehabilitation or for additions. Preferred materials for siding on new construction are stucco or brick, but a single material on all elevations of the buildings. When cleaning is necessary for brick or other masonry, the gentlest means possible should be used. Sandblasting will not be permitted because it accelerates deterioration of the building by allowing water to intrude.

e) Building Materials

The original materials shall be matched as closely as possible when rehabilitating a structure. Modern materials such as plastics or aluminum are generally not allowed.

f) Roofs

Large roofs should be concealed behind parapets or wall elements with cornices unless a typical element of the architectural style.

g) Windows and Doors

Existing historic windows and doors should be retained where possible. If not possible, they should be

C-2 DISTRICT

3

replicated in kind. The preferred material for doors and windows (except the large display windows) is wood. Plastic materials should not be used in place of glass. For new construction and additions, windows should be compatible with their surroundings in proportions, size, type, subdivisions, and materials. Transom windows above display windows should be maintained and/or restored. They are encouraged in new construction.

h) Detailing

Historic detailing such as patterned brickwork, cornices, ceramic tile, pentroofs, decorative splash panels, molded or bas relief ornament, columns and pilasters should be retained or, if necessary, replicated in kind. New construction may use detailing to create compatible scale.

i) Color

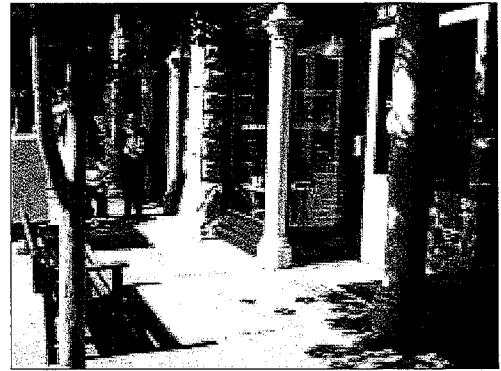
Brick or stone that is currently unpainted shall not be painted over. Colors should be appropriate to the style and period of the building. The Town may require the use of a color consultant, hired by the Town, to review color scheme proposals.

j) Pavement

Historic tile work or mosaic in entrance vestibules should be maintained. Sidewalks should meet Town standards.

k) Street Furniture

Existing electroliers and light standards shall be maintained. Any additions or changes to street furniture shall be compatible with the building style and are subject to Architecture and Site Application approval.



Historic storefronts

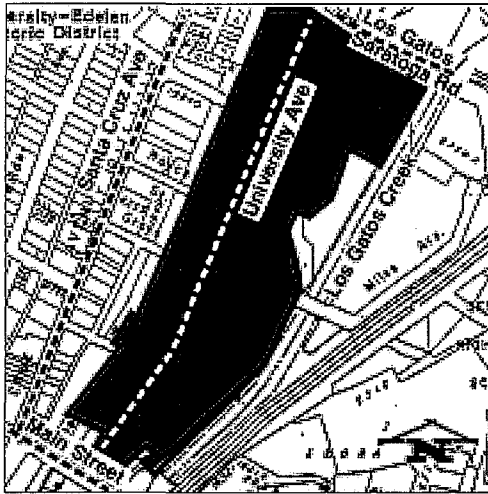


Example of new building designed to complement existing adjacent historic structure

The above West Main Street buildings are outside of the Los Gatos Historic Commercial District, but represent desirable attributes of historic preservation.

C-2 DISTRICT

3



University/Edelen Historic District

3.5 UNIVERSITY/EDELEN HISTORIC DISTRICT

The district was originally a part of the Mason Tract subdivided in 1880, and later further subdivided prior to the turn of the century. Victorian is the predominant architectural style, including informal wood frame cottages and impressive homes, intermixed with Craftsman/Bungalow style cottages. Also present in smaller numbers are Colonial Revival.

Contributing structures are both residential and commercial. Individual architectural distinction is not as important as the neighborhood entity created. The University/Edelen district has easily identifiable boundaries which adds to its perception as a distinct neighborhood.

3.5.1 Guidelines

Design guidelines are similar to those for the Historic Commercial District, but many are directed toward the predominance of residential structures in the district. Applicants should refer to Appendix B for detailed guidelines.



Gem City Laundry: 1906
Art Deco

C-2 DISTRICT

3

DISTRICT C-2B

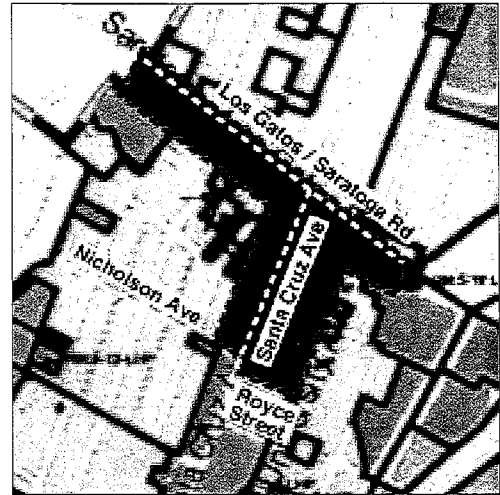
3.6 SITE DEVELOPMENT (C-2B SUBDISTRICT)

3.6.1 Provide larger setbacks for parcels fronting on Santa Cruz Avenue and Saratoga/Los Gatos Road

- a) Front setbacks should be similar to those of structures on adjacent parcels, but not less than ten feet unless those of adjacent structures are less.
- b) Front setbacks should be landscaped or treated with limited special hardscape paving that contrasts with the adjacent sidewalk.
- c) Side setbacks should be provided to set the structures off from their neighbors unless the building is part of a continuous storefront within the same parcel. If no side setback is provided, the building design should blend with the adjacent buildings to create a continuous storefront.
- d) On-site parking will not be allowed within the Santa Cruz Avenue front setback.
- e) On-site parking may be allowed along the Los Gatos/Saratoga Road frontage. However, parking must be separated from the adjacent sidewalk by a low wall and a minimum of five feet of landscaping on the street side of the wall.

3.6.2 Provide substantial site landscaping

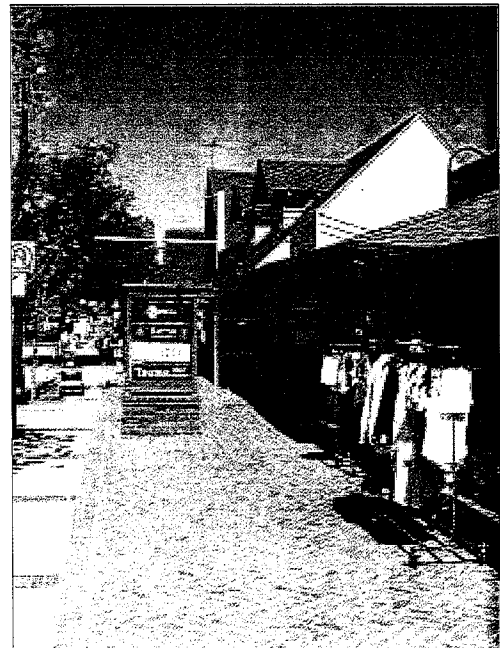
- a) Where appropriate, larger tree species should be provided and grouped near the front property line in informal groupings.
- b) Parking lots should have internal trees equal in number to one for every six parking spaces.



C-2B District boundaries



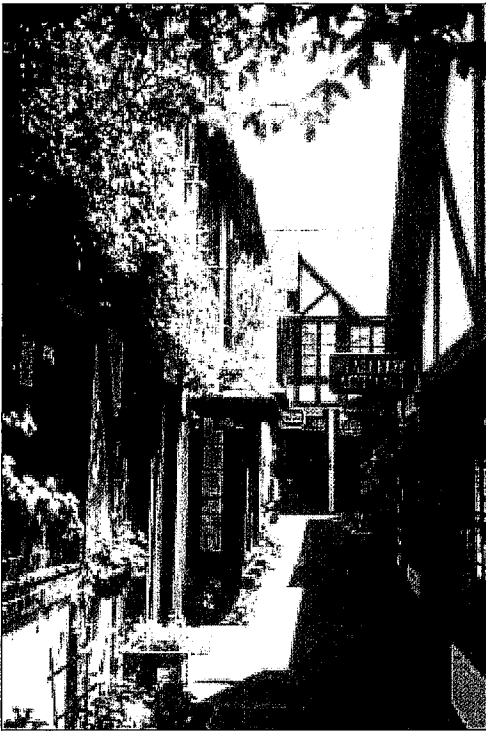
Many of the buildings in the C-2B District have sloped roofs and distinctly individual forms



Treat front setbacks with special paving and/or landscaping

C-2 DISTRICT**3**

Use narrow building modules and small scale design elements to create a Village character



- c) Incorporate substantial landscaping in the building design using planter pots or boxes attached to the building, climbing vines in columns or lattices, or similar devices.

3.6.3 Passageways to retail or personal service uses in off-street courtyards are encouraged.



3.7 BUILDING DESIGN (C-2B SUBDISTRICT)

3.7.1 Design structures to project a village scale and character

- a) Each building should be designed to reflect its own individual personality
- b) A wide diversity of architectural styles is encouraged.
- c) Sloped roof forms are encouraged.
- d) Larger structures should be broken up into smaller modules to resemble a collection of small buildings. A width of twenty-five feet is suggested. This small scale character should be carried around to any facade visible from a public way or nearby property.
- e) A wider range of building materials will be acceptable in this subdistrict. Buildings with wood siding and a mix of materials (e.g., stucco and brick or stone) are encouraged. However, windows and doors should be wood, vinyl covered metal, or dark anodized aluminum similar to those described in the guidelines for the C-2A subdistrict.
- f) Design structures with a great deal of architectural detail

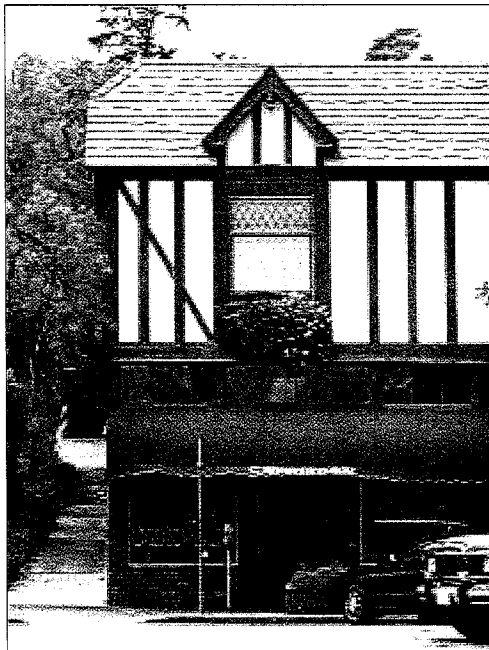
3.7.2 Limit building heights

a) One story building heights are encouraged in this area. Structures taller than one story in height should have design elements that strongly emphasize the first floor. Elements might include:

- Awnings
- Planters
- Projecting signs
- Divided light windows
- Small scale materials (e.g., brick, board and batten wood)

b) Upper floors should be separated from the first floor with projecting molding or other architectural detail, and incorporate elements that will reduce their visual scale and bulk. Examples include smaller windows with substantial trim or awnings, small projecting balconies, landscaped planters.

c) Any buildings taller than two stories should have floors above the second floor set back from the walls below.



C-2 DISTRICT**3***C-2C District boundaries***DISTRICT C-2C****3.8 SITE DEVELOPMENT (C-2C SUBDISTRICT)**

3.8.1 Provide setbacks from street property lines to match those currently existing in the subdistrict

- a) Utilize street setbacks for landscaping or outdoor dining



3.8.2 Locate parking behind structures or underground

3.9 BUILDING DESIGN (C-2C SUBDISTRICT)

3.9.1 Design structures with an informal character sympathetic to those in the subdistrict

3.9.2 Utilize sloped roof forms

- a) Provide substantial roof overhangs.
- b) Limit roof slopes to those similar to the existing roofs in the area.



LM DISTRICT

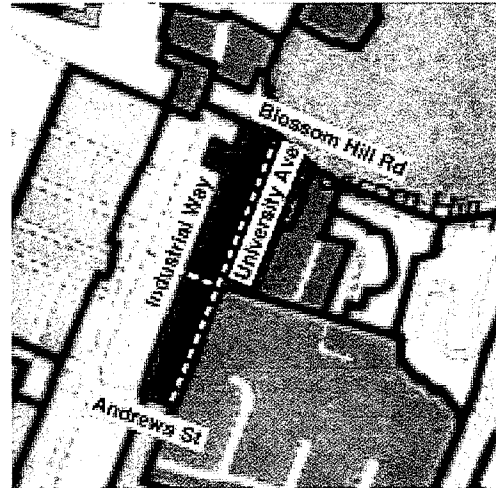
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LM DISTRICT

The LM District for which these design guidelines are applicable is located along University Avenue between Andrews Street and Blossom Hill Road. It is bordered on the west by the C-1 District along Santa Cruz Avenue and on the east by a residential neighborhood.

Uses include a wide range of light industrial uses including auto repair, wholesale, and service commercial uses. Active storage and outdoor work areas are generally clustered along Industrial Way on the western edge of the district. Office uses are limited to minor areas auxiliary to the primary allowed uses.

While several structures are constructed at or near their front property lines, current codes require a fifteen foot setback from University Avenue. These setbacks are currently used for landscaping, outside display and parking.



LM District boundaries

4.1 BASIC DESIGN PRINCIPLES

The following principles have been used as touchstones for the development of individual commercial design guidelines. In the event that the specific guidelines do not clearly address a given condition, they should be consulted for general direction. The Basic Design Principles will be used by the Town staff and Planning Commission/Town Council when evaluating projects in the LM District, and when considering the acceptability of unique proposals that vary from the specific guidelines.

- The visual appearance of University Avenue and east-west streets will be emphasized with more flexibility allowed along Industrial Way.
- New development shall be sensitive to its location adjacent to a residential neighborhood.
- Outdoor work and storage areas will be accommodated and screened to improve their visual appearance.
- New development should be sympathetic to the small scale character of the existing structures in the district.

INTENT OF THE LM DISTRICT GUIDELINES

- Provide flexibility for the retention of light industrial uses in the Town
- Minimize negative visible impacts on surrounding residential neighborhoods
- Improve the visual appearance of University Avenue and Industrial Way
- Maintain the small scale, low key character of the district
- Improve the visual appearance of individual structures

LM DISTRICT

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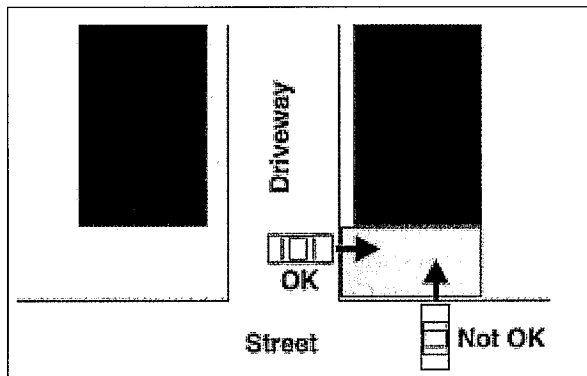


Landscaped setbacks are desired along main street frontages

4.2 SITE DEVELOPMENT

4.2.1 Provide special treatment for University Avenue setbacks

- a) Substantial landscaping in front setbacks is preferred. Landscaping with trees and flowers sympathetic to the adjacent residential neighborhood will assist in softening the industrial nature of the district, and provide a pleasant pedestrian environment.
- b) Parking within front setbacks may be allowed if access to parking spaces is from a driveway on the parcel and not directly from University Avenue. Similar restrictions will apply to Saratoga/Los Gatos Road and east-west streets in the district.



- c) Limited paving may be allowed within front setbacks, and shall be treated with special patterns or materials (e.g., brick, modular paving, brick banding with exposed aggregate concrete fields) to set the area apart from the adjacent sidewalk.



- d) Front setbacks for parcels that have double frontage (e.g., University Avenue and Industrial Way) shall be measured from University Avenue.

4.2.2 Locate parking and outdoor work or storage areas away from the University Avenue and Blossom Hill Road frontages

4.2.3 Screen parking and outdoor service areas with quality fencing and walls

- a) Walls may be allowed along University Avenue and Blossom Hill Road. They should be constructed of high quality materials with more attention to finish and detail than other frontages. Split face concrete block and stucco are two examples of appropriate construction finish. The addition of climbing flowered vines to soften the appearance of the walls should be considered. Keep wall heights as low as practical (e.g., three and a half foot high walls as screening for parking lots that are not used for the extended storage of vehicles.)
- b) Wall/fencing may be allowed along Industrial Way, and may be solid walls or chain link. Chain link, if used, should be vinyl covered in a black or green color. Barbed wire will not be permitted. Chain link with wood slats is discouraged.
- c) Open work or parking areas facing east-west street frontages should be separated from adjacent sidewalks by a low wall with a planting strip included on the street side to allow the planting of vines or low landscaping.



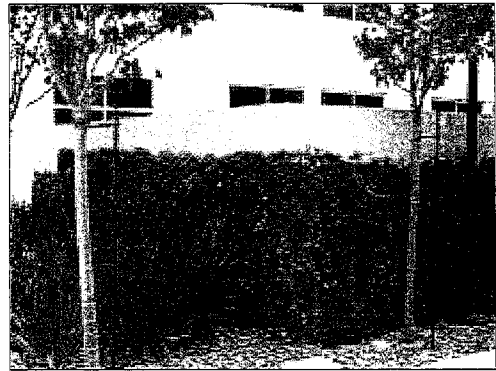
- d) Parking lots located on University Avenue corners are strongly discouraged.

4.2.4 Organize and screen trash areas

- a) Provide a durable solid enclosure with doors for all trash and debris boxes.

4.2.5 Minimize the impact of site lighting

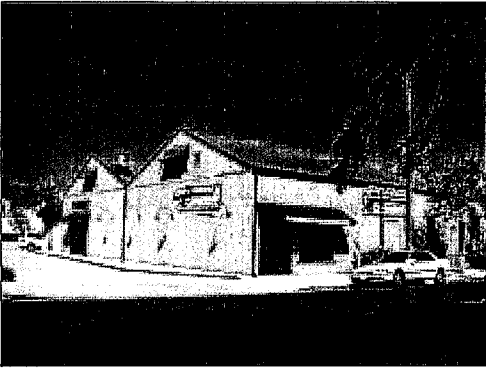
- a) Select exterior security lighting fixtures that are shielded and limit visibility from off site locations.
- b) Use the minimum amount of wattage and coverage needed to address specific security concerns.



Screen trash receptacles with solid walls, landscaping and doors

LM DISTRICT

4



The Campo di Bocce structure is a good example of a simple industrial building form

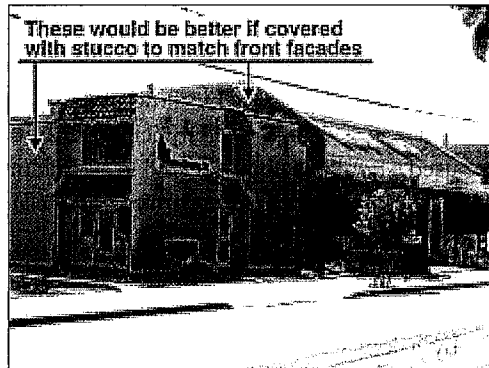


Examples of other simple light industrial buildings

4.3 BUILDING DESIGN

4.3.1 Utilize simple building forms that are sympathetic to the light industrial nature of the area

- a) Use forms and materials consistently on all building sides.
- b) Avoid finished front portions (e.g., stucco) and unfinished sides (e.g., concrete block) that are visible from the street.



Shallow lot depths and variable building heights expose many side wall surfaces

- c) Sloped roof forms are desirable for buildings that are close to the adjacent residential neighborhood.

4.3.2 Respect the small scale character of buildings in the area

- a) Breaking larger buildings into smaller segments which are similar to adjacent structures is desirable.
- b) Simple fabric or metal awnings are encouraged to add scale and interest to buildings.

4.3.3 Emphasize building pedestrian entries.

4.3.4 Provide attractive lighting

- a) Avoid standard security lighting fixtures in favor of simple fixtures which blend in more with the building facades.
- b) Select fixtures with shields to minimize glare and light spill onto areas off of the building site.

LOS GATOS BOULEVARD

5

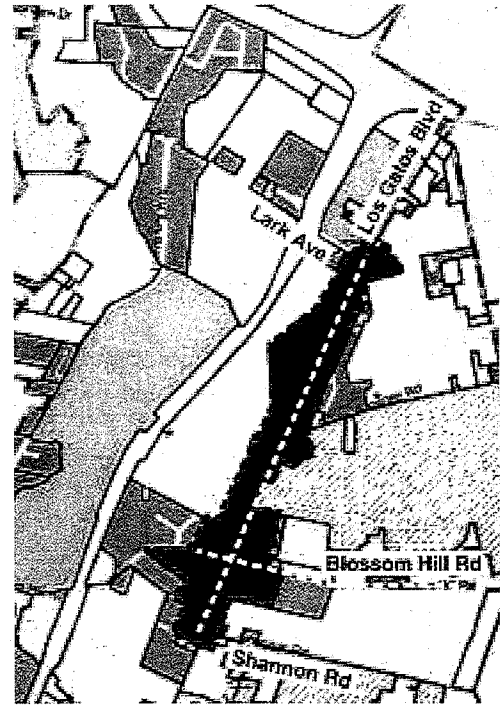
LOS GATOS BOULEVARD

Commercial development along Los Gatos Boulevard extends a length of approximately one mile, and contains a wide variety of uses including small shopping centers, automobile dealerships, office buildings, individual retail structures, gas stations, and other commercial service structures. All uses are served by surface parking lots located in front of or at the side and behind the buildings. Many buildings are strongly related to the street front while others are more oriented to the parking lots.

While very wide and accommodating relatively high speed traffic, Los Gatos Boulevard has a softer appearance than many similar commercial streets in the Bay Area, largely because landscaping is a major feature of the Boulevard. Some type of green setback is common along the full length of the street, but is quite varied in treatment. A large number of tall evergreen trees provide a special character to the street. The landscaping and periodic views of the surrounding hills impart a special sense of place to the street that speaks to its location in the Town of Los Gatos.

Many of the structures along the street, including the automobile dealerships, are relatively old, and lacking in special architectural qualities. Newer projects are mixed in terms of their style, scale and character as it relates to the Town of Los Gatos. Generally, the Cornerstone shopping center is thought to embody the qualities that are desirable for the future of the Boulevard. It contains neighborhood shopping uses while maintaining a unique scale and pedestrian friendliness that is highly desirable to Town residents. These are important considerations given the Boulevard's close proximity to surrounding residential neighborhoods.

In addition to the general commercial design guidelines outlined below for Los Gatos Boulevard, special guidelines have been developed for automobile dealerships in recognition of the unique nature of their functional uses and the international branding strategies sought by individual manufacturers.



Los Gatos Boulevard boundaries

INTENT OF THE LOS GATOS BOULEVARD GUIDELINES

- Provide a degree of visual unity to the Boulevard
- Accommodate auto oriented uses while maintaining a high degree of human scale and appeal
- Maintain a sense of place unique to the Town of Los Gatos within a broad range of architectural diversity
- Create a mix of buildings and landscaping that seems a part of the Town's environmental fabric
- Encourage commercial development that is sensitive to adjacent residential neighborhoods

5A COMMERCIAL GUIDELINES

The intent of these design guidelines for the Boulevard is to allow a great deal of variety and architectural diversity, while encouraging a street environment that is unique to the Town of Los Gatos. Given the small scale character of the Town and the close adjacency of residential neighborhoods to the Boulevard, large building users will be expected to design their projects to a smaller scale than might be their standard practice in other communities. A great deal of attention will also be expected in the design of landscaping and architectural detail to a level comparable to that seen on commercial buildings along Santa Cruz Avenue and Main Street.

LOS GATOS BOULEVARD

5

NORTH FORTY DEVELOPMENT AREA

These design guidelines do not apply to the North Forty development area located north of Lark Avenue and west of Los Gatos Boulevard.

Special guidelines will be developed for the North Forty as part of a more detailed plan to be prepared for the entire area.

5A.1 BASIC DESIGN PRINCIPLES

The following principles have been used as touchstones for the development of individual commercial design guidelines. In the event that the specific guidelines do not address a given condition clearly, these principles should be consulted for general direction. The Basic Design Principles will be used by the Town staff and Planning Commission/Town Council when evaluating projects on Los Gatos Boulevard, and when considering the acceptability of unique proposals that vary from the specific guidelines.

- Projects will maintain a strong landscaped setback along street edges, and will seek to create visual continuity along the street front.
- Views to the surrounding hills should be maintained - especially at signalized intersections.
- Projects shall be designed to meet their functional needs, but will be expected to reflect Los Gatos' unique qualities of small scale, pedestrian friendliness, and attention to architectural detail.
- Chain or franchise uses will be expected to adapt their standard designs to the unique qualities of Los Gatos Boulevard and the Town of Los Gatos.
- Substantial landscaping of parking areas and project entries will be expected.

LOS GATOS BOULEVARD

5

5A.2 SITE DEVELOPMENT

5A.2.1 Los Gatos Boulevard setbacks should be substantially landscaped

- a) A minimum landscaped setback of 15 feet shall be maintained from fronting sidewalks. *(Note: Current zoning code requires only a 10 foot setback but larger setbacks along the Boulevard are common)*
- b) The inner edge of front setbacks (i.e., away from the street edge) should be treated as a positive edge with one or more of the following:
 - Low wall
 - Hedge
 - Trellis structure
 - Buildings
- c) Front setback edge treatments should be three feet in height to screen the view of automobile grilles in the parking lot from street view.
- d) Front setback landscaping shall include large species trees.
- e) Flowering plants are strongly encouraged.

5A.2.2 Automobile entries to projects and individual buildings shall be given special treatment with paving and landscaping

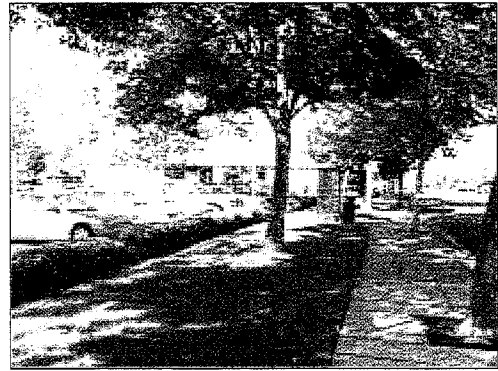
- a) Provide special textured and/or colored paving at pedestrian crossings of project entries.
- b) Special accent landscaping should be provided at entries to include flowering plants.
- c) Care should be given in the development of project site plans to provide substantial focal points at the terminus of project entries (e.g., major building entries or architectural forms, groupings of landscaping.)

5A.2.3 All projects shall have a clear and direct walkway between fronting streets and one or more of the primary building entries

- a) Provide pedestrian amenities (e.g., benches, landscaping, special paving) and pedestrian scale lighting.

5A.2.4 Parking lots should be located behind or to the side of buildings facing Los Gatos Boulevard, whenever possible

- a) The exception to this guide would be for projects that would block significant views to the surround-



Provide landscaped setbacks along Los Gatos Blvd.



Flowering landscaping is encouraged at project entries



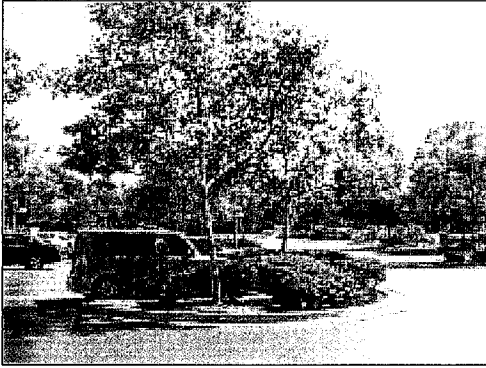
Provide pedestrian amenities



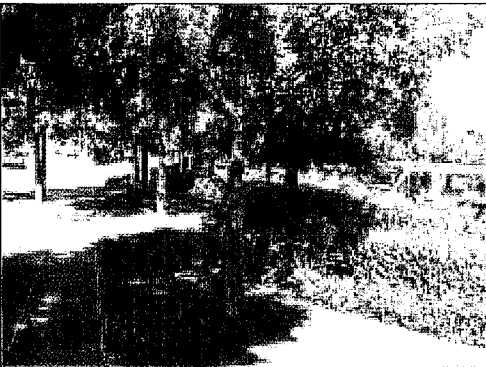
Link street sidewalks to project buildings

LOS GATOS BOULEVARD

5



Provide well landscaped parking lots



Create positive parking lot edge at cars



Building and landscaping at the corner of Los Gatos Blvd. and Blossom Hill Road softens corner visually and buffers views to parking lot



Buffer landscaping at the Cornerstone project

ing hills if designed with buildings close to the Los Gatos Boulevard frontage. In that event, parking may be placed between Los Gatos Boulevard and the buildings so long as the edge of the front setback is strongly defined and the parking lots are heavily landscaped.

5.A.2.5 Parking lots shall be heavily landscaped

- a) Break up large parking lots with groupings of trees and shrubs.
- b) Parking lot edges at adjacent streets should be defined positively with three foot walls and/or box hedges.
- c) Parking lot edges at property or setback lines should include landscape islands with large species trees and low plants to visually break up long lines of parked vehicles.

5.A.2.6 Projects located on corner parcels at signalized intersections should incorporate major design features on the intersection corner

- a) Buildings located at these corner locations are strongly encouraged. Buildings located on corners should generally be limited to one story in height, and special care shall be taken to avoid obstructing views to the surrounding hills.
- b) Other physical improvements such as fountains, special landscaping or other unique improvements shall be provided.
- c) All corners should have special landscaping incorporating flowering plants.
- d) Parking lots should be heavily screened.

5.A.2.7 Projects backing up to residential neighborhoods should be sensitive to their potential impacts on the residents

- a) Locate service and trash collection areas to minimize noise impacts on adjacent residents.
- b) Provide attractive solid walls of concrete block or stucco to separate commercial uses from adjacent residential parcels.
- c) Minimize exterior lighting that might be seen from adjacent residences. Provide shielding for all exterior lights.
- d) Provide landscaping to buffer views from residential parcels to the commercial structures.

5A.3 BUILDING DESIGN

5.A.3.1 Integrate the design of all buildings in larger projects

- a) Large structures should be visually broken up into smaller components through changes in massing, form and texture.



- b) Avoid boxy structures with appendages.
- c) Pad buildings, including fast food restaurants, should have forms, colors, and detailing similar to the main buildings of the complex.



Fast food restaurant located adjacent to the street in this example is related to the main shopping center through the use of building form, color, and awning design

- d) Provide size transitions between larger and smaller buildings.
- e) Provide pedestrian walkways and crosswalks to link all buildings within a complex together.

LOS GATOS BOULEVARD PROJECT SCALE AND CHARACTER

The scale and character of Los Gatos Boulevard structures vary over its length as the street transitions from larger commercial development near Lark Avenue to the residential neighborhood fronting on the street at its south end.

New development should take this transition into account, and be sensitive to the surrounding physical fabric. Projects south of Shannon Road should be designed in smaller building increments, and utilize forms, materials and details that will be sympathetic and compatible with the nearby residential neighborhood.

Projects near the southern end of Los Gatos Boulevard are expected to be especially sensitive to the historic quality of houses in the adjacent residential areas. Parking areas should be subservient to the buildings, and their visual impact on the streetscape minimized.

LOS GATOS BOULEVARD

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Example of a chain restaurant designed with a unique architectural character



Examples of sloped roofs on two existing projects on Los Gatos Blvd.

5.A.3.2 Design buildings to relate to the unique qualities of Los Gatos

- a) Avoid Theme Architecture that could be seen in dozens of other communities.
- b) Strongly consider the use of sloped roofs to relate to the adjacent residential neighborhoods. This applies to gas service stations as well as other commercial structures.

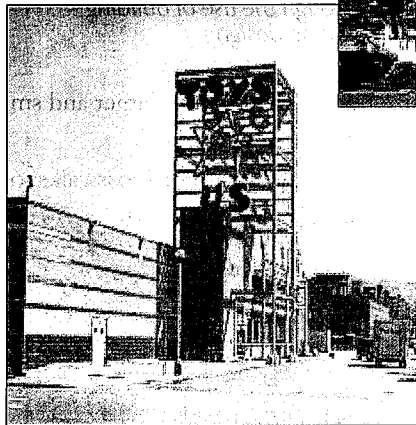
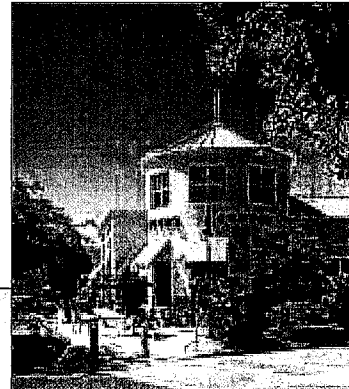
5.A.3.3 Provide well defined project and building entries

- a) Provide a visual focal point for project entry drives.
- b) Define major vehicular entries with edge landscaping.



5.A.3.4 Relate architectural focal point elements to pedestrian scale rather than automobile scale

Do this



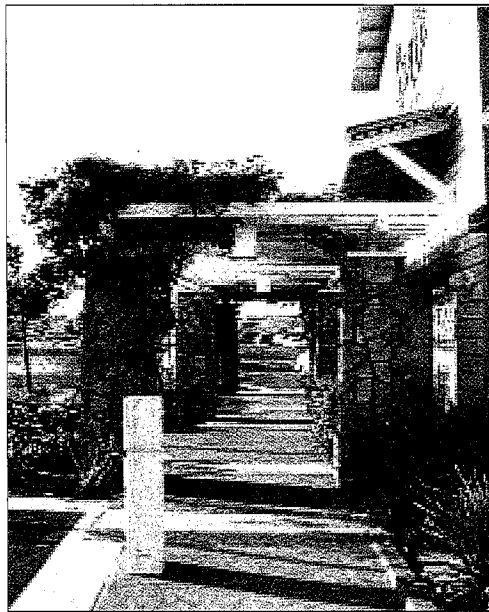
Don't do this

LOS GATOS BOULEVARD

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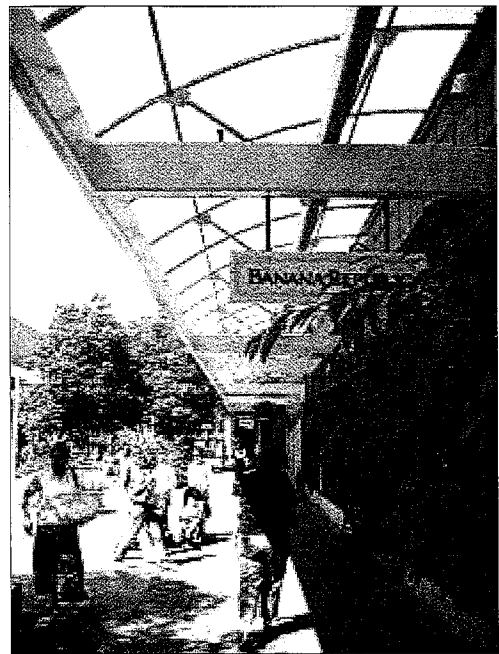
5.A.3.5 Design all projects with a strong commitment to human scale

- a) Provide pedestrian arcades and/or other one story architectural elements to reduce the visual height of tall walls.
- b) Integrate landscaping on trellises and lattices into the design of buildings.



5.A.3.6 Select colors to be compatible with other projects along the Boulevard

- a) Corporate color combinations may be used, but a change of the shade and intensity of color may be a requirement of approval.
- b) White trim color is well represented along Los Gatos Boulevard. Consider its use to increase the street's sense of place.



Arcades and awnings can lower the visual height of structures and provide a pleasant pedestrian experience



LOS GATOS BOULEVARD**5****5B AUTO DEALERSHIP GUIDELINES**

Automobile dealerships in Los Gatos, for the most part, are located in relatively older buildings that fall far short of current dealership standards for the image branding desired by automobile manufacturers. In some cases, they consist of a complex of buildings constructed over a period of time - often with limited materials or visual relationship to other parts of the dealership complex. The existing facilities neither project an upscale image to compete with other Bay Area auto sales centers nor do they have a unique quality that would make them beloved as architectural models for the Town of Los Gatos.

Improvements to existing buildings or the construction of new facilities is complicated by the internal rules and standards imposed by individual auto makers. Frequently, a dealership must follow the corporate prototype standards or risk loss of supporting financing and future car allotments. These conditions also have the potential to affect Town finances by a reduction in sales tax revenue. On the other hand, corporate prototypes vary widely in their character and suitability to the character of the Town and Los Gatos Boulevard. Some are very well designed but may have a predominance of shiny metal wall surfacing, while others may incorporate materials or elements that might seem foreign to the Town of Los Gatos.

The challenge of these design guidelines will be to find a balance between the dealerships' special business needs and the maintenance of the special visual qualities of the Town of Los Gatos.

LOS GATOS BOULEVARD

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5B.1 BASIC DESIGN PRINCIPLES

- The Town will work with individual auto dealerships to incorporate manufacturers' design standards and image branding, but will not automatically accept all of their mandates.
- Front setback treatment of Los Gatos Boulevard frontages will be expected to be sympathetic to and complement the other commercial frontages on the street.
- Dealerships will be expected to be sensitive to their potential impact on surrounding residential neighborhoods. On the other hand, residents must recognize that they live in close proximity to a significant commercial business that is extremely important to the Town from a service and revenue perspective.
- Site development plans may include substantial outdoor areas for the display of sales vehicles, but will seek to maintain the visual continuity of the Los Gatos Boulevard streetscape.
- Large paved areas for vehicle display and storage will be offset with increased property edge landscaping.

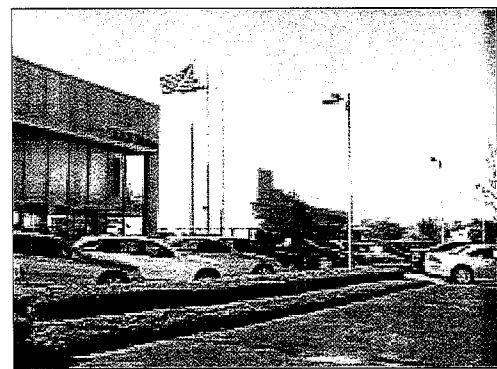


Examples of landscaped frontages at two Los Gatos Blvd. auto dealerships

5B.2 SITE DEVELOPMENT

5.B.2.1 A landscaped setback shall be provided along all public street frontages

- The minimum setback along Los Gatos Boulevard property line shall be fifteen feet. *(Note: Current zoning code requires only a 10 foot setback but larger setbacks along the Boulevard are common)*
- Landscaping in the Los Gatos Boulevard setback should include grass or low ground cover along with large species trees at no more than 30 feet on center.
- Low, continuous hedges should be provided at the parking surface edges, except at display pads.
- The minimum setback along east-west public streets property line shall be ten feet.
- Landscaping in the east-west street setbacks should include hedges or ground cover.
- Flowering plants are encouraged in all street setbacks.



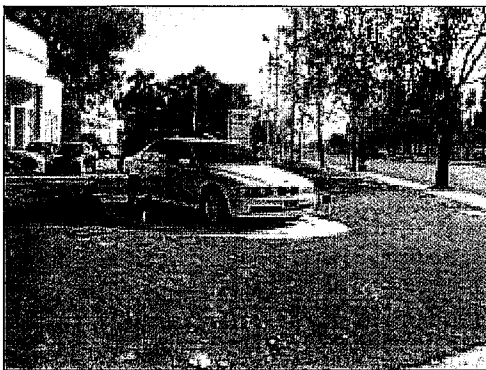
Examples of edge hedges at auto display areas

LOS GATOS BOULEVARD

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Auto showrooms located near the street edge will enliven the Los Gatos Blvd. streetscape



Limited display pads will be allowed in front setback areas



Special paving is strongly encouraged in areas accessible to buyers

5.B.2.2 Dealership showrooms should be located near Los Gatos Boulevard

5.B.2.3 Display pads for new vehicle display may be constructed in the Los Gatos Boulevard setback

- a) A maximum of two display pads will be allowed per dealership. Pads may be located within the landscaped setback.
- b) Display pads will be limited to Los Gatos Boulevard and Blossom Hill Road frontages.
- c) Display pads located at ground level should include special paving.
- d) Display pads may be elevated above ground level so long as the top of vehicles on the pads will not exceed a height of ten feet above sidewalk level.

5.B.2.4 Customer parking should include trees in parking islands and special paving patterns

5.B.2.5 Exterior sales vehicle display areas will be treated differently than normal parking lots

- a) Exterior sales vehicle display areas will not be required to include landscaping.
- b) Exterior sales vehicle display areas should include areas of permeable surfacing to reduce surface water runoff. Permeable surfaces could include grass swales, turf block or other techniques to allow water to penetrate into the ground rather than flow to storm sewers.

5.B.2.6 All surface areas not absolutely required for circulation or vehicle storage shall be landscaped

5.B.2.7 Functional uses with the potential for noise and lighting impacts should be located and designed to be sensitive to nearby residential properties

5.B.2.8 Access and circulation to customer service parking and to service areas should be clearly delineated

5.B.2.9 Site lighting should be mounted on low poles and be limited to shielded fixtures

5B.3 BUILDING DESIGN

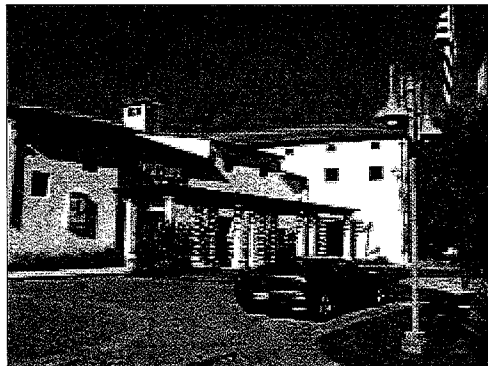
5.B.3.1 Dealership designs should recognize the unique qualities of the Los Gatos character

a) The design of rear service areas should be integrated visually with front showroom areas. Techniques could include:

- Using the same materials
- Using similar building forms
- Linking the two areas with common elements such as projecting canopies and trim
- Using the same or analogous colors

b) Landscaping should be integrated into building and site designs as much as possible. Examples include:

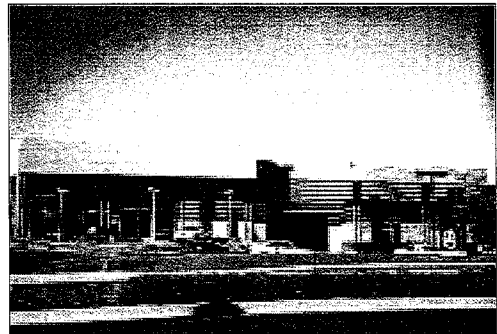
- Landscaped lattices or trellises applied to blank walls
- Using service doors with a design related to window treatments for showroom areas
- Trellises added along property edges or linking parking areas with showrooms



Landscaped trellis used to provide visual interest and pedestrian scale to auto dealership



Example of dealership designed to the unique character of Sonoma, California



Examples of the visual integration of showrooms and service areas

LOS GATOS BOULEVARD

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Design building massing to make showroom entry clear

5.B.3.2 Special emphasis should be given to showroom entries

5.B.3.3 Service entries and bays visible from adjacent streets should be carefully integrated into the overall design



5.B.3.4 Parking provided on building roofs shall be screened from views from adjacent streets and residential areas

- a) The building top should appear as an integral part of the building design and not as a parking deck on top of the building.



Integrate roof parking with the building design

5.B.3.5 High quality material should be utilized

- a) Wood, metal panels, and high quality stucco should be used.
- b) Plastic and shiny materials should be avoided.

5.B.3.6 Subdued colors should be used with more intense colors limited to signage

SIGNAGE GUIDELINES

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SIGNAGE

Signage is a necessary feature to assist residents and visitors in locating goods and services within the community, and it is critical to the economic viability of individual businesses as well as to the Town as a whole. This importance must be balanced with the goals of providing a strong sense of community, and using the design of signage to reinforce the special character and ambiance of the Town of Los Gatos.

Applicants should refer to Division 3 of the Town of Los Gatos Zoning Ordinance which contains relevant definitions and the basic standards which will be applied to commercial signage. The guidelines in this chapter supplement the Sign Ordinance, and are intended to provide more detail in regard to good signage design principles and community expectations. In some cases, these guidelines are more restrictive than the maximums established in the ordinance.

The sign examples shown are drawn from the Town of Los Gatos and other communities. They are for the purpose of illustrating specific guidelines only, and might not be appropriate for all locations. Each sign will be reviewed in the context of the proposed project buildings and the surrounding area.

6.1 GENERAL GUIDELINES**6.1.1 Allowed signage types**

Signs will be limited to the following types which are illustrated below and described on the following pages.

- Wall Signs
- Awning Signs
- Window Signs
- Projecting Signs
- Hanging Signs
- Plaque Signs
- Ground Signs
- Freestanding Signs

INTENT OF THE SIGNAGE GUIDELINES

- Reinforce the high quality character and image of the Town of Los Gatos
- Assist businesses within the community to inform residents and visitors of their presence
- Assist residents and visitors in finding businesses and services located within the community
- Design signage which is appropriate to the special characteristics of the district in which it is located
- Encourage commercial signage that communicates more effectively to potential customers
- Avoid the visual chaos of excessive or inappropriate signage

SIGNAGE PROGRAMS

Projects with multiple tenants will be required to prepare a Master Signage Program for review and approval. The program will establish the specific location and design for major project signs (e.g., Ground Signs)

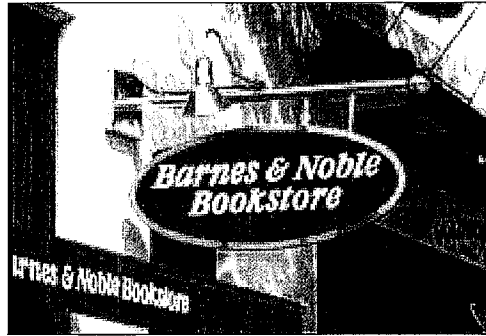
Property owners are encouraged to upgrade signage to conform to these design guidelines. However, when tenants change within a project with a previously approved Signage Program, new signs should be fabricated to meet the standards of the approved program.

SIGNAGE GUIDELINES

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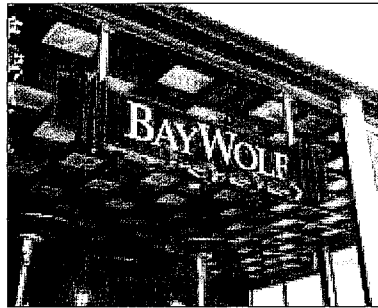
Wall Sign



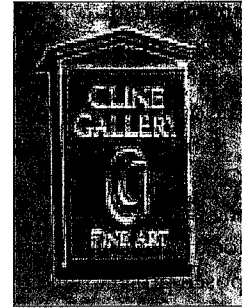
Projecting Sign



Awning Sign



Hanging Sign



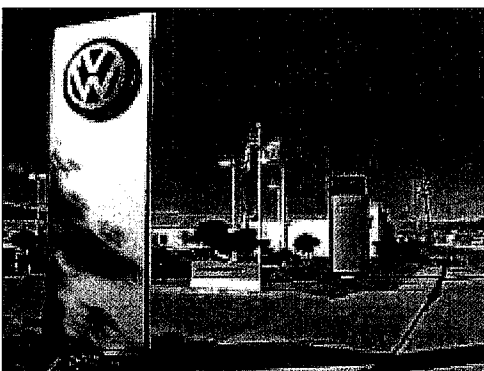
Plaque Sign



Window Sign



Ground Sign



Freestanding Sign

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6.1.2 Prohibited signage types

- Flags (except for the American flag and other related flags as described in the Town's Zoning Ordinance)
- Lighted signs that flash on and off, fluctuate or appear to move
- Moving signs that rotate or move in any fashion, except barber poles
- Attraction Boards and Movable Letter Signs (except for churches, cinemas, performing arts facilities or similar uses that have frequently changing events or showings)
- A-Frame Signs
- Off-premises Signs
- Electronic Signs
- Projected Light Signs which are flashed or projected onto walls or other structures by means of a projector or other device
- Roof-mounted Signs (except where other types of signage cannot be effectively employed)
- Billboards
- Cloth, paper or fabric signs hung from the building or placed in windows except for Temporary Signs allowed under the Sign Ordinance
- Any signs not specifically authorized by the Sign Ordinance

6.1.3 Maximum allowed sign area

One (1) square foot for each linear foot of primary business frontage plus one (1) square foot for each lineal foot of secondary business frontage up to fifty percent (50%) of the amount allowed by the primary business frontage.

Los Gatos Boulevard Auto Dealerships

Signage quantity will be evaluated under the review and approval of a master signage program based upon the following criteria:

- *Signage compatibility with the scale and character of Los Gatos Boulevard*
- *Signage sizes needed for readability from reasonable viewing distances*
- *Limitation of text content to the minimum necessary to convey ownership and brand recognition*
- *Compatibility of the signage and supporting structures to the architecture of the dealership*

SIGN AREA

Sign area is the total area of the face or faces of a sign. Each face is measured by determining the smallest area within a single perimeter composed of not more than eight (8) straight lines drawn by the applicant enclosing the extreme limits of the face.

For the purposes of measurement, a six-inch margin around all words and symbols will be included in the perimeter composed of not more than eight (8) straight lines.

For more information on what constitutes a sign face, consult Division 3: Signs of the Town of Los Gatos Zoning Ordinance.



SIGN LOCATIONS

Applicants should choose proposed sign types as well as their location and mounting heights to avoid blockage by street tree foliage, taking into account the possibility that the trees may continue to grow and be larger in the future.

SIGNAGE GUIDELINES

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TYPE STYLE EXAMPLES

Below are examples of type styles which would generally be considered acceptable. All letters are shown at the same point size which gives an indication of the amount of relative space that each will require.

Arial

Book Antiqua

Book Antiqua Italic

Brush Script

Calisto

Century Schoolbook

ENGRAVERS

Footlight

Garamond

Goudy Old Style

Helvetica

Humanist 521 BT

Lucida Bright

Lucida Sans

Monotype Corsiva

Perpetua

Souvenir Lt BT

Times New Roman

Viner Hand ITC

Zaph Humanist BT

6.1.4 Avoid excessive wording and advertising messages

Signs are most effective when their messages can be grasped quickly. Too many words or images compete for attention and reduce the readability of the sign.

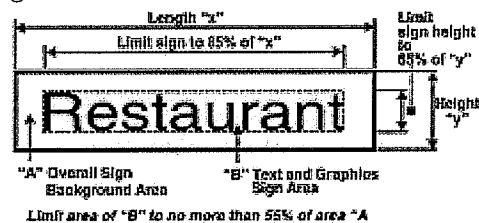
6.1.5 Use no more than two letter font types per sign

The primary purpose of a sign is to quickly convey information to passing pedestrians and motorists. More than two letter styles make readability more difficult. A simple logo with an additional type style may be considered.

6.1.6 Keep the size of letters and graphics in proportion to overall sign area

Text and graphics are difficult to read if they crowd the borders of the sign. Smaller letters with space around them will have more impact than larger letters with limited space around them.

Generally limit the width and height of lettering and graphics to 85% of the overall sign width and 65% of the height of the sign area. Information, such as graphic logos, may be closer to borders if a significant amount of background is provided for the sign as a whole. A good rule of thumb is to limit the amount of sign information to no more than 50 to 55% of the overall sign area.



6.1.7 Use high quality materials

Appropriate materials include finished wood, metal, and for projecting banner signs, woven fabric. Plastic sign materials and signs painted directly onto building surfaces will not be allowed.

The sign materials and design should be related to those of the building on which it is mounted, and all sign edges must be cleanly finished.

6.1.8 Use simple and symmetrical sign shapes

Geometrical shapes such as rectangles, squares, circles, ovals and triangles are visually stable shapes which help focus attention on the sign message. These should be used in almost all cases. Combinations of geometric shapes will also generally produce a good sign shape.

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6.1.9 Use relatively slender type styles

Slender letter styles are encouraged over fat or block styles to improve readability, and avoid a cumbersome appearance. Some examples of readable letter styles are shown in the side bar on the previous page.

6.2 WALL SIGNS

Wall signs are panels or individual letters mounted flat against and parallel to a building wall or roof fascia

6.2.1 Limit sign information

Generally, limit sign information to the business name. Graphic logos, date of building construction, address, and other elements may be allowed at the discretion of the Town.

6.2.2 Place signs within a clean Signable Area

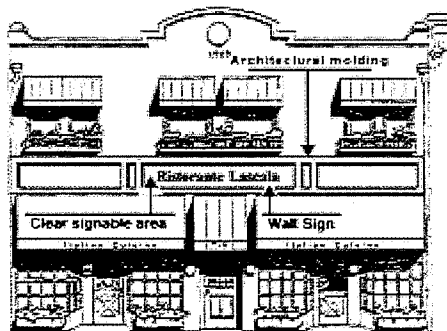
a) The *Signable Area* should:

- Be relatively flat
- Not contain doors or windows
- Not include projecting molding or trim
- Be in reasonable proportion to the overall facade

The Signable area should generally not exceed 15% of the building facade

b) If a building does not have a good location for a wall sign, use other allowed types such as awning, window, or projecting signs.

c) Sign dimensions and coverage within the Signable Area should conform to Guideline 6.1.8



Signable Area

SIGN LETTER SIZE

The messages of effective signs need to be easily read and understood by passing motorists and pedestrians. A number of factors including distance from the sign, speed of travel, letter-to-background contrast, and the number and nature of nearby competing signs contribute to the "readability" of a sign.

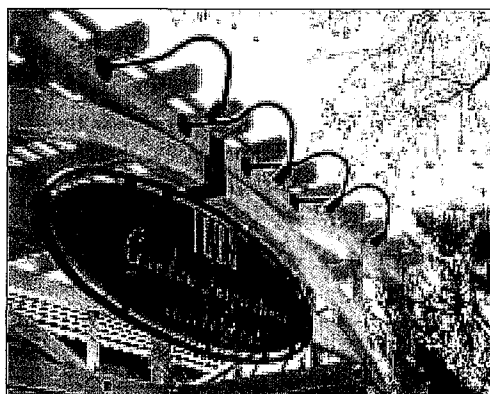
The signage industry generally recognizes a standard of 1 inch of letter height for every 40 feet to 50 feet of viewing distance. This size factor may be increased by up to 10% for higher speed streets where businesses are strongly auto oriented.

Maximum letter heights are included in these guidelines for each sign type. In some cases, the maximum letter height may be too large for the surrounding environment and existing signs. In other special circumstances, the maximum letter size may not provide adequate business signage.

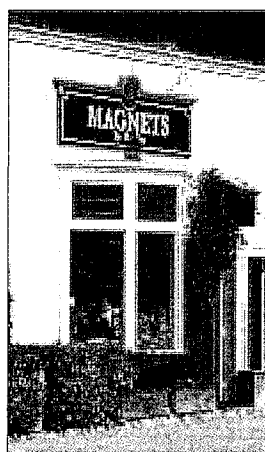
For the purpose of evaluating appropriate sign size, the Town will consider the normal sign viewing distances, the general nature of the street (e.g., width and traffic speed), and the size of other existing signs in the area.

SIGNAGE GUIDELINES

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Exterior illuminated wall signs are allowed in all districts



Sign board/panel example

6.2.3 Use sign materials which project slightly from the face of the building.

- a) Use either individually applied letters to the face of the wall, or apply sign letters to a board or panel mounted on the wall face.
- b) Do not paint signs directly onto wall surfaces.

6.2.4 Provide sign illumination appropriate to the district

- a) Interior illuminated *can signs* which include multiple letters within a single sign enclosure will not be allowed for any Wall Sign.



Interior illuminated can signs are not allowed

- b) Interior illuminated individual letters may be used only in the following areas and under the following conditions:

- District C-1 only in locations not directly visible from nearby residences
- District C-2B only for signs facing Los Gatos/Saratoga Road
- District C-2C
- Los Gatos Boulevard

- c) Exterior illumination with shielded spot lights should be used for wall signs in the following areas:

- District C-1 when signs are directly visible from nearby residences
- District C-2 A
- District C-2 B
- LM District

- d) Sign copy and graphics applied to a board or panel may consist of any of the following:

- Individual letters and graphics of wood, metal or similar materials

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- Individual letters and graphics carved into the surface of a wood panel
 - Letters and graphics painted directly onto the surface of the panel
- e) Neon wall signs may be allowed, but will be evaluated on a case-by-case basis.
- f) Conceal all sign and sign lighting raceways and other connections.

6.2.5 Maximum letter height

Sign height and width should be appropriate to the building on which it is placed and the distance of the sign from fronting streets. Generally, wall sign letter heights should not exceed the following:

C-1 District: 12 inches

C-2 District: 12 inches

LM District: 12 inches

Los Gatos Boulevard: 18 inches

Exception: Auto dealership wall signage will be considered in the context of the overall Signage Program

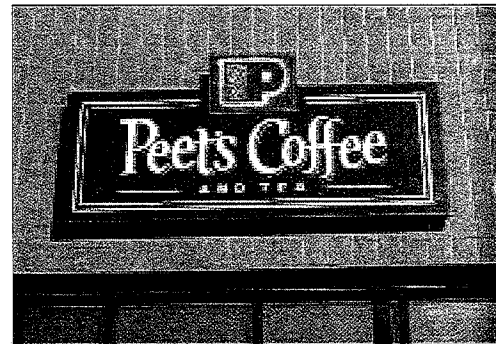
6.2.6 Relate sign colors to building colors

Select wall sign colors to blend with the building and storefront colors. Select from color ranges which are analogous and complementary to them.

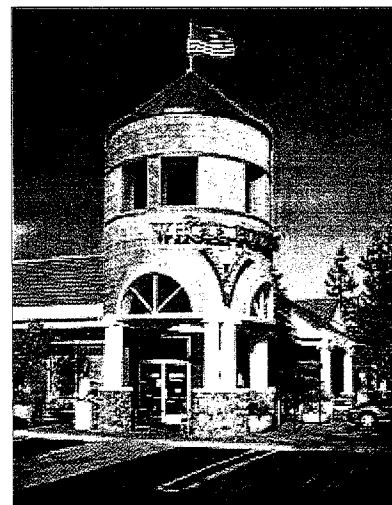
Corporate branding colors will be considered, but will not be automatically approved if they are considered out of place with the building or the surrounding environment. The use of toned down colors in the same hue family may be required in place of brighter standard corporate colors.



Subdued wall signage for well known restaurant



Examples of restrained corporate wall signage



Green-blue sign color is a complementary color to the red tones of the wall shingles

SIGNAGE GUIDELINES

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6.3 AWNING SIGNS

Awning signs consist of letters and graphics applied directly to the face or valence of awnings. Awning signs are often used effectively in combination with window signs.

6.3.1 Place signs for easy visibility

Apply signs to awning front valences (i.e., the flat vertical surface of awnings) or to sloped awning faces with a slope of at least 2 to 1.

6.3.2 Limit the signage information on awnings

Since awning signs will often be viewed from passing vehicles, the amount of information which can be effectively conveyed is limited. Keeping sign text short will allow viewers to better comprehend and remember the message.

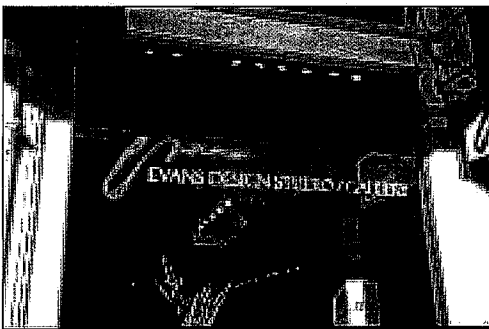
a) Generally, limit awning signs to the business name, business logo, services or type of business (e.g., French Cuisine), and/or the business address number.

b) Limit the size of logos or text placed on awning sloped faces to a maximum of 15% of the sloped surface areas.

c) Limit sign width on awning valences to a maximum of 85% of the awning width. Limit the letter height to a maximum of 80% of the valence height.

6.3.3 Avoid interior illuminated awnings

Backlit awnings that make the entire awning a large sign will not be allowed. Signage on the awning's sloped face may be illuminated by shielded and attractive directional spot lights.

**6.4 WINDOW SIGNS**

Window signs are primarily oriented to passing pedestrians, and are generally applied to the inside of display windows.

6.4.1 Limit the amount of signage used

Window signs should be limited to a maximum of 25% of any individual window, and an aggregate area of no more than 10% of all ground floor windows on any building face.

SIGNAGE GUIDELINES

6

6.4.2 Limit the size of lettering

The maximum height of letters should be 10 inches. Exceptions may be granted for the leading capital letter of text as shown in the Rockridge Cafe sign shown to the right.

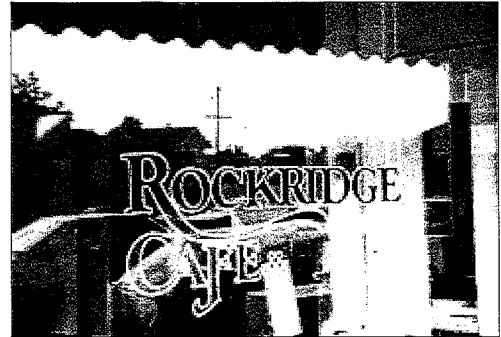
6.4.3 Consider the use of logos and creative sign type

Graphic logos and images along with special text formats can add personality and interest to window signs.

6.4.4 Use high quality materials and application methods

Limit window sign materials to the following:

- Paint or vinyl film applied directly to the inside face of the window
- Tubular neon suspended behind the window glass
- Wood or metal panels with applied lettering
- Paper signs placed in windows are not allowed.

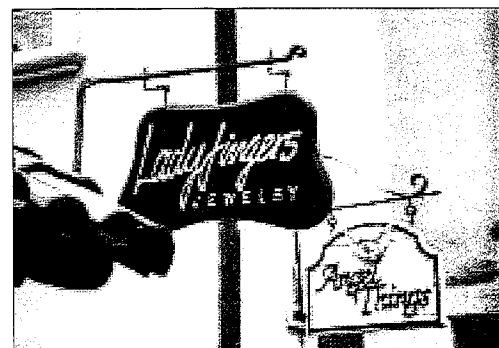
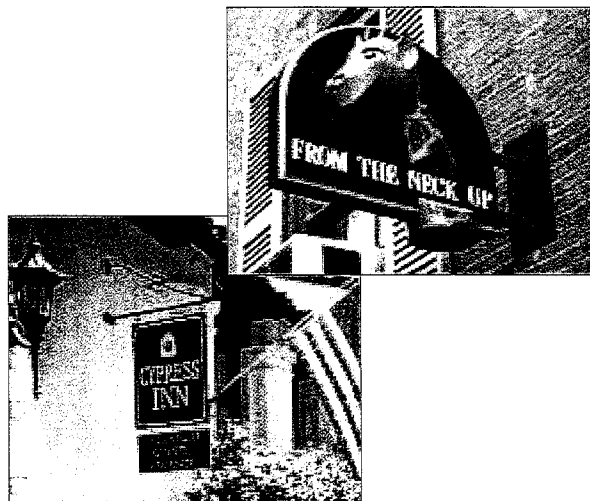


6.5 PROJECTING SIGNS

Projecting signs are relatively flat, two-sided solid panels attached to brackets which are mounted on and perpendicular to the face of buildings and storefronts. They often include graphic images in addition to text, and express the unique personality of an individual business.

6.5.1 Use high quality materials

Use wood, metal or non-glossy fabrics. Avoid plastics.



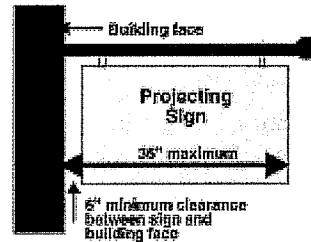
SIGNAGE GUIDELINES

6



6.5.2 Limit the number and size of projecting signs

- Use no more than one projecting sign per business frontage.
- Limit the size of any projecting sign to five square feet.
- Project signs no more than 36 inches from the building face, and provide at least 6 inches between the inside edge of the sign and the building.

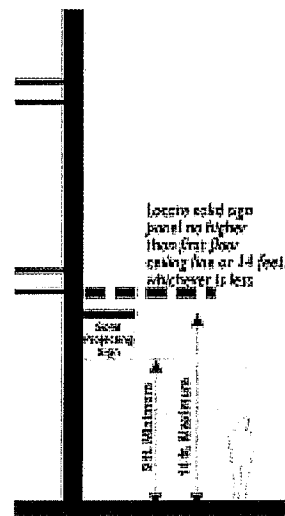


6.5.3 Relate the design of projecting signs and supports to the character of the building

Simple round or square horizontal supports with capped ends, painted black or white, are generally acceptable. However, more decorative approaches may be desirable when appropriate to the sign and/or architectural character of the building.

6.5.4 Position projecting signs to complement the building's architectural details

Locate solid panel signs below the first floor ceiling line, or no more than 14 feet above the sidewalk, whichever is less. Provide at least 9 feet from the bottom of projecting signs to the ground in pedestrian areas and 14 feet in areas with vehicular traffic.

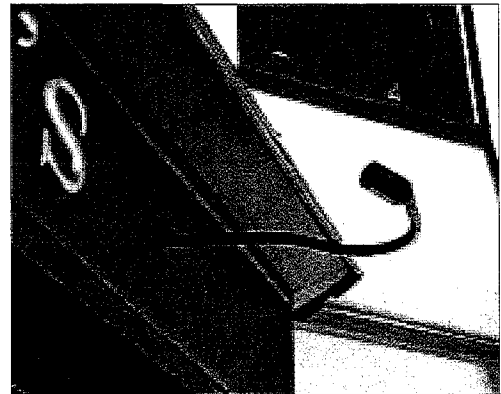
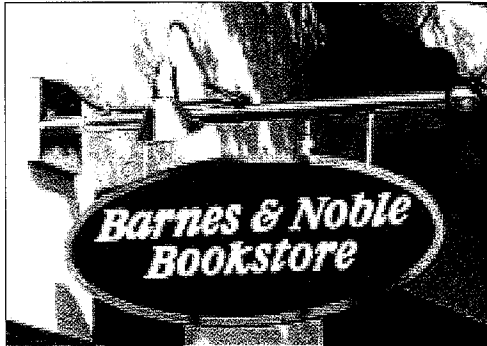


SIGNAGE GUIDELINES

6

6.5.5 Provide sign lighting only with shielded spotlights

- a) Utilize high quality fixtures such as cylinder spots or decorative fixtures. Avoid exposed standard spot and flood light bulbs.
- b) Design light supports to complement the design of the sign and building facade.



6.6 HANGING SIGNS

Hanging signs are relatively flat panels, generally two-sided, which are similar to projecting signs, but are smaller and suspended below awnings, bay windows, balconies, and similar projections. They are intended primarily for business identification to pedestrians passing on the sidewalk.

6.6.1 Use high quality materials

Use wood or metal and avoid shiny plastic or fabric. Finish all exposed edges. Suspend signs with metal rods, small scale chain, cable, or hooks.

6.6.2 Limit the number and size of hanging signs

Use no more than one hanging sign per business. Limit the maximum sign size to 3 square feet. Mount signs to provide a minimum of 9 feet clearance between the sign and the sidewalk.

6.6.3 Orient hanging signs to pedestrian traffic

Mount signs under awnings, bay windows or other projections with their orientation perpendicular to the building face so that they will be visible to pedestrians passing on the sidewalk. If multiple hanging signs are placed along a business frontage, they should all be mounted with their bottom edge the same distance above the sidewalk, and should be of a similar size and shape.



SIGNAGE GUIDELINES

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6.7 PLAQUE SIGNS

Plaque signs are pedestrian-oriented flat panels mounted to wall surfaces near the entry to a business. They include signs that identify a specific business, directory signs for multiple businesses, and menu boxes for restaurants.

6.7.1 Limit the location and size of plaque signs

Locate signs only on wall surfaces adjacent to tenant entries or entry passageways to off-street courtyards. Signs identifying a single business should be limited to an area of 4 square feet. Directory signs for the identification of multiple second floor or courtyard tenants may be larger, but no more than 8 square feet in area.

6.7.2 Use plaque signs for the display of restaurant menus

A restaurant district is enhanced when a variety of restaurants share the area and customers are able to walk from one to the next to compare menus and prices. Attractive menu boxes with lighting assist in this process. Menu signs or boxes should not exceed 6 square feet in area, and should have internal indirect lighting (e.g., bulbs located in the frame to cast direct light over the menu surface) or direct lighting using decorative fixtures.

**6.8 GROUND SIGNS**

Primary Ground Signs are low signs that assist motorists in finding businesses along auto-oriented streets where businesses are separated from the street front by parking or large landscaped setbacks. Informational and Directional Ground Signs are smaller signs that assist motorists in safely exiting from moving traffic lanes to on-site uses in projects with multiple entries.

6.8.1 District Limitations

- a) Ground signs are allowed only in the following areas:
- C-1 District
 - LM District
 - Los Gatos Boulevard

SIGNAGE GUIDELINES

6

b) Ground signs may be considered on a case-by-case basis in the C-2 District, generally for larger or multi-business projects facing Los Gatos/Saratoga Road, or projects south of Main Street with frontage on Santa Cruz Avenue.

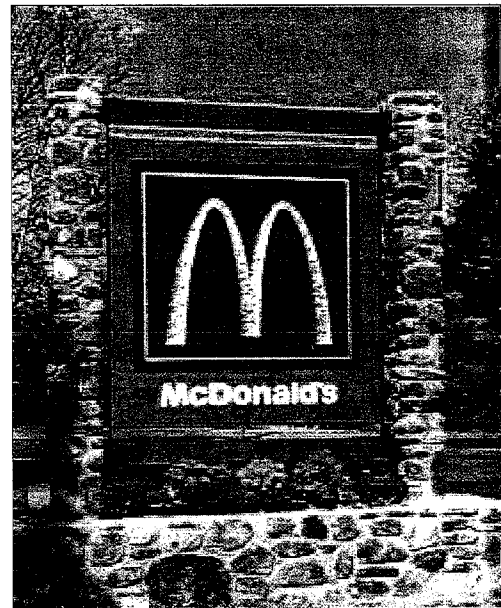
6.8.2 Limit the information on each sign

a) Ground signs should generally be limited to the following information:

- Project or primary business identification name and/or logo
- Address number (strongly encouraged)

b) Multi-tenant ground signs are strongly discouraged. However, the display of up to three tenants may be considered for small ground signs so long as the sign and background color is common throughout, and the type style and logo colors of each tenant are the same.

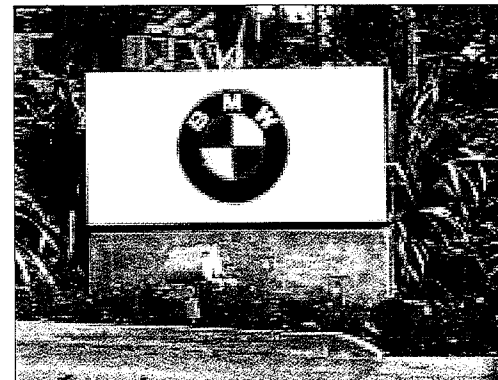
c) The inclusion of services and products offered should not be included on ground signs.



Example of corporate signage designed to address local conditions and design standards

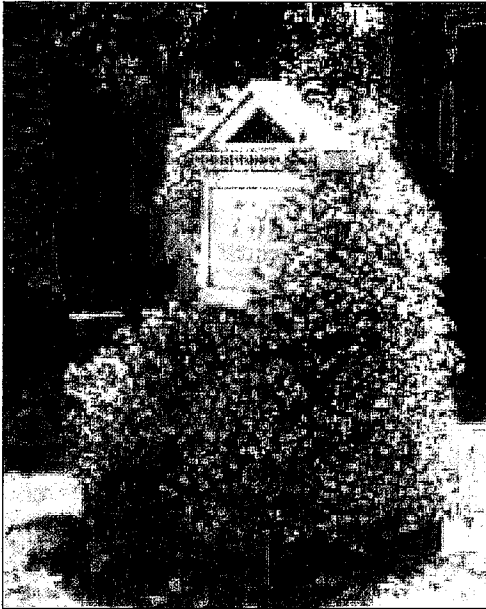
6.8.3 Locate signs for easy visibility from passing vehicles

- a) Locate signs within 10 feet of the front property line.
- b) Avoid blocking any vehicular or pedestrian sight lines which might result in safety problems.



SIGNAGE GUIDELINES

6



Ground signs that are unique to the business or the architecture of the building, and that incorporate special landscaping may be particularly suited to Los Gatos

6.8.4 Limit the number, type and size of ground signs

- a) Only one project or tenant identification sign is allowed for each development parcel street frontage.
- b) The height and sign area per face for Primary Ground Signs should be appropriate to the District in which the sign is located.

- C-1 District: Maximum Area: 20 sq. feet
Maximum height: 7 feet *
- C-2 District: Maximum Area: 16 sq. feet
Maximum height: 7 feet *
- LM District: Maximum Area: 20 sq. feet
Maximum height: 7 feet *

- Los Gatos Blvd. Maximum Area: 20 sq. feet
Maximum height: 7 feet

** Lower ground sign heights than these Sign Code maximums are generally desirable in these districts*

- c) Directional Signs are limited to a maximum area of 6 square feet, and only allowed on arterial streets. One per entrance or exit will be allowed (see Sign Code 29.10.130.)

6.8.5 Lighting

- a) Lighting for ground signs must be by direct spot-light illumination from fixtures mounted either at the top of the sign or on the ground below the sign. Fixtures must be shielded to avoid direct view of the bulbs.

6.8.6 Material

- a) All ground signs, including price signs for service stations, shall be constructed of matt finish nonreflective materials.

6.9 FREESTANDING SIGNS

Freestanding Signs are ground-mounted signs that emphasize business brand identity.

6.9.1 Use Limitations

- a) Freestanding signs will be allowed only for auto dealerships on or near Los Gatos Boulevard.

6.9.2 Size Limitations

- a) Maximum Sign Area and Height:
 - 125 sq. feet / 25 feet high for first sign
 - 75 sq. feet / 20 feet high for any additional approved freestanding sign

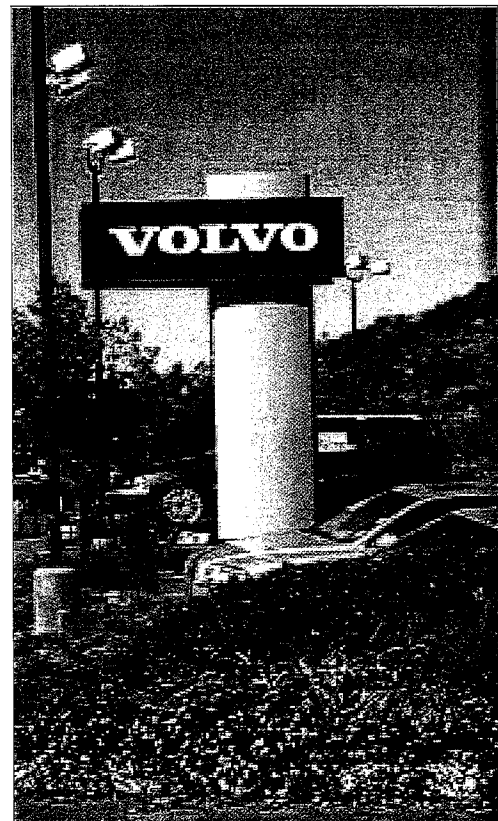
The intent of these guidelines is to maintain a vertical proportion for all Freestanding Signs similar to the examples shown on this page. Signs with heights lower than the maximum allowed should generally be reduced in area.

6.9.3 Information Limitations

- a) Sign information should be limited to the following:
 - Auto brand name and/or logo
 - Special dealer recognition (e.g., *Gold Medal Dealership*)

6.9.4 Sign Bases

- a) Open sign bases, as shown on the Mercedes Benz sign to the right, are preferred to minimize the visual bulk of freestanding signs.
- b) Solid bases will be considered if their width and height are minimized as shown in the Volvo example to the right and the BMW example below.



APPENDIX A
Historic Commercial District

INSERT
ORDINANCE 1843
LOS GATOS HISTORIC COMMERCIAL DISTRICT

APPENDIX A
Historic Commercial
District

APPENDIX B
University/Edelen
Historic District

INSERT
ORDINANCE 1920
UNIVERSITY/EDELEN HISTORIC DISTRICT

APPENDIX B
University/Edelen
Historic District

APPENDIX C
Designated
Landmarks

INSERT
DESIGNATED LANDMARKS TEXT AND MAPS

APPENDIX C Designated Landmarks

**Planning Commission meeting
February 23, 2005**

Chair Micciche introduced item 2, Commercial Design Guidelines and asked if staff had any comments.

Bud Lortz: the Commission has had an opportunity to review the design guidelines. They've been out for public review, they've gone through the General Plan Committee and have been recommended for approval. Staff is here to answer any questions you may have.

Chair Micciche: three of us were involved.

Bud Lortz: I'd like the record to reflect that Commissioner Quintana has left as she was not feeling well.

Commissioner Talesfore: has the document been reviewed by the Historic Preservation Committee?

Bud Lortz: yes.

Commissioner Talesfore: on page 14, the guideline 1.5.1.2, interesting, soft colors are very subjective words. They mean something different to everyone. Perhaps some examples could be included. How do you know what tint value or saturation is acceptable. If possible, perhaps a colorist could comment.

Randy Tsuda: before this goes to the Council, staff can work on clarifying the guideline or include examples.

Commissioner Talesfore: I'd like to see good examples of awnings, such as those on Los Gatos Porch (muted tones) and would like to encourage use of retractable awnings. She suggested increasing the font size in the document to make it more readable. She asked about the side bars (highlighted areas) on the sides of pages.

Bud Lortz: they usually relate to the intent.

Randy Tsuda: and to the high level information.

Commissioner Talesfore: I'd like to see them made more prominent so nobody misses it.

Commissioner Micciche: It would be pretty difficult to miss.

Commissioner Trevithick: It is a great job, good work.

Commissioner Kane: Great job, good work. Signs that are in slight violation of the guidelines; would they have to be taken down and changed.

Bud Lortz: No, it is proactive rather than reactive.

Commissioner Kane: Hand painted building signs such as the one on Sweet Peas; is there a restriction on painted signs.

Bud Lortz : There is not a prohibition on it, but we are careful with them. Each of the zones have a different sense to them so each of the zones were handled a little bit differently. Wall painted signs are not expressly prohibited, but they are going to be tough to get. Just to give some credit where credits due, the General Plan committee worked very hard on this document, as did a number of the members of our staff, Randy and myself, and Suzanne Davis.

Commissioner O'Donnell: I agree.

Commissioner Micciche: It looks like our recommendation is to forward this to the Town Council with or without comments.

Bud Lortz: all of the comments will go to the Council with a verbatim transcript.

Commissioner Talesfore: I move that we recommend to the Town Council the Commercial Design Guidelines, Zoning Ordinance Amendment and Policy on Modification of Use and Policy on Minor Alterations to Commercial Buildings. Seconded by Commissioner Kane

Motion passed 6-0 (Commissioner Quintana absent).



Economics Research Associates

RECEIVED

MAR 23 2005

MEMO

TOWN OF LOS GATOS
PLANNING DIVISION

To: Bud Lortz, Director of Community Development
Town of Los Gatos

From: Bill Lee
Economics Research Associates

Date: March 22, 2005

Re: Review of Town's Commercial Design Guideline
(Project No. 15982)

Introduction

The Town of Los Gatos retained Economics Research Associates (ERA) to review the Public Hearing Draft of the town's Commercial Design Guidelines, published on January 25, 2005, from the perspective of impact on the viability of retail sales or the leasing of retail space. The community's objective is to enhance commercial area vitality, create a high quality of life for residents, and promote a unique character that attracts businesses to locate in town.

Short Term Impact

After a detailed review, ERA found the Commercial Design Guidelines to be a well thought-out document that will serve to enhance the town's economic development and quality of life objectives in the long run. In the short run, the guidelines will cause commercial investment in Los Gatos to be more expensive. The key expense items will be:

- The cost of more design input from architects and/or landscape architects.
- The cost of higher quality materials.
- The cost (or lower revenue) of building setbacks and height or bulk limits.
- The cost of additional landscaping, screening or other design features.

ERA

The greater expense will tend to slow investment because some projects, that would have been built, will fall below the return threshold required by developers or financiers. However, those are the projects that likely would not have satisfied all of the town's objectives and would have eroded the town's uniqueness over time.

Longer Term Impact

Over the longer term (10 to 20 years), the Commercial Design Guidelines will serve the Town of Los Gatos well by achieving the following:

- Perpetuate the small town and pedestrian character of Los Gatos.
- Insure that new commercial and renovation projects will be well designed and use quality materials.
- Allow for a variety of architectural styles to heighten visual interest.
- Enhances the uniqueness of Los Gatos.

The above characteristics will cause residents of nearby communities to patronize Los Gatos commercial areas more frequently and allow the same commercial areas to attract patrons from greater distances. The additional patronage will translate into higher sales volumes. The higher sales volumes will mean that the Town collects more sales tax revenue and local shops and restaurants can support higher rents. The higher rents are then capitalized into higher values for property owners. The success of the commercial districts will allow Los Gatos to attract the more specialized shops or restaurants that may not have otherwise considered coming to town. The greater variety and concentration of commercial establishments in turn attracts more patrons.

ERA is very confident that implementation of the Commercial Design Guidelines will cause the commercial districts of Los Gatos to experience greater sales volume, higher rents, higher property values and have a larger variety of establishments. While there may be some cost at the front end in terms of slower pace of investment, the benefits will compound over time.

Concerns with Actual Implementation

While ERA views the guidelines to be an outstanding long-term community development tool, their effectiveness will depend upon the consistency and predictability of application. In some communities, individuals opposed to any type of growth will use design guidelines to slow the pace of development rather than to secure better designed projects.

RECEIVED

APR 13 2005

TOWN OF LOS GATOS
PLANNING DIVISION

Leonard Pacheco
50 Hernandez Avenue
Los Gatos, C A 95030

13 April 2005

To: Susanne Davis, Associate Planner
Town of Los Gatos

Dear Susanne,

Thank you for the opportunity to review and comment on the "Public Hearing Draft of the Commercial Design Guidelines".

I offer my comments as a design professional who is deeply interested in preserving our Town character while encouraging design excellence for both new and remodeled structures.

I recommend those involved with the Guidelines, read "A Pattern Language-Towns, Buildings, Construction", a book that explores in detail why buildings and spaces work, while others do not.

In general, add photo captions where a building is located in Town. e.g., pg.5, add East Main Street.

Page 6. 1.4, add high quality materials and craftsmanship.

Page 9. 421 N. Santa Cruz Ave. is mentioned twice. Clarify

Page 10. Mention solar.

Page 13. Hiding and integrating solar panels could be combined.

Page 15. Soft landscaping may not be possible if there is no setback. Use container planting.

SIGNAGE

Page 55. 6.1.2, add poor quality metal box, plastic-faced signs with cut-out flat plastic letters applied to building elevations.

6.1.5, There are times when 3 or more typestyles are appropriate. e.g., on a shopping center sign that lists multiple tenants, or if a tenant logo has 2 styles, and another for the name of the store, etc.

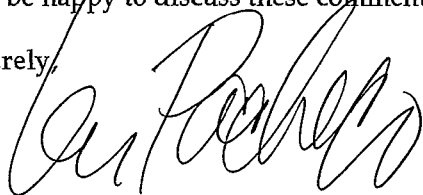
6.2.4, Encourage 3-D lettered signs that are back lighted, or spot lighted as with Old Town signage.

There should be something specific about "Awnings", particularly in the Historic Downtown, e.g. The use of awnings as architecture is prohibited in the Downtown Business District. Awnings should be operable (see 32 N. Santa Cruz Ave.-The Maid's Quarters and Traditions), should ripple in a strong breeze to lend animation to the streetscape, should be light in color to allow filtered light to pass through, thereby casting soft shadows. Rigid, fixed awnings give a rigid, fixed character to the streetscape and are discouraged. There could be a mix of types depending on the building design.

Not covered are: Appropriate color palettes, the use of "green alleyways" between buildings when possible, small landscaped public activity or rest areas, bus stops, or newspaper racks. Why not?

I will be happy to discuss these comments in greater detail should you feel it necessary.

Sincerely,





TOWN OF LOS GATOS
PLANNING COMMISSION MEETING
VERBATIM MINUTES
TOWN COUNCIL CHAMBERS
110 E. MAIN STREET
WEDNESDAY, MARCH 23, 2005 -- 7:00 P.M.

ROLL CALL:

Present: Phil Micciche, Chair; Michael Burke, Vice Chair; D. Michael Kane, Thomas O'Donnell, Joanne Talesfore and Morris Trevithick

Absent: Commissioner Quintana

Others: Community Development Director Bud Lortz and Assistant Community Development Director Randy Tsuda

NEW PUBLIC HEARINGS

(Time: 10:45p.m.)

ITEM 2 Commercial Design Guidelines

Consider the following specific draft documents regarding commercial development in Los Gatos:

- 1. *Commercial Design Guidelines***
- 2. *Policy on Minor Alterations to Commercial Buildings***
- 3. *Zoning Code Amendment A-05-01***
- 4. *Resolution on Modification of Use***

Consider adoption of the draft Commercial Design Guidelines and a Town Code amendment regarding conditional use modification. It has been determined that this project could not have a significant impact on the environment, therefore, the project is not subject to the California Environmental Quality Act (Section 15061 (b)(3)).

APPLICANT: Town of Los Gatos

PUBLIC TESTIMONY: None

Chair Micciche: Please note for the record that Commissioner Quintana has left the meeting due to illness.

Chair Micciche: Commissioners...any comments?

Commissioner

Talesfore: Can I ask, did this go before the Historic Committee?

Planning Commission Meeting of March 23, 2005

Page 2

Bud Lortz: Yes, they did.

Commissioner
Talesfore: Did they see a draft of this as well?

Bud Lortz: Yes.

Commissioner
Talesfore: There's a lot of meat in this document.

Chair Micciche: Please get to the point...it is getting late.

Commissioner
Talesfore: On Page 14 - Utilize colors that are appropriate to the use and the surroundings in the area. Love that we have something in here about color, but, I question at the very bottom of the page what are interesting, soft colors? The only reason I'm questioning this is, and I know what you were trying to do, this is very subjective wording and they mean something different to everybody. Suggestion would be to work with a colorist to put examples of that in here and how do you know what tint or value saturation of a color is? I don't know the exact words to use, but this could get us into trouble at some point.

Randy Tsuda: Before this goes to Council, we can work on either clarifying that language or providing some examples.

Commissioner
Talesfore: Another question...and I know Bud knows my feelings on awnings. Awnings on buildings in muted tones and retractable awnings which is what could give us some charm and character in the Town. Not the stiff, fabric-covered metal pole awnings...the canvas architecture style. Organization of the document...can the type on the print be bootied up? What is the pink section? How would you characterize that section....is the the most important section on those pages?

Randy Tsuda: What page...for example..."

Commissioner
Talesfore: It's what's on the sides of all the pages.

Bud Lortz: It is intended to delineate the C-1 district boundaries.

Commissioner
Talesfore: Are these highlighted sections to draw our attention there because that is the important part they need to know or....?

Planning Commission Meeting of March 23, 2005

Page 3

Bud. Lortz: They usually relate to the intent.

Randy Tsuda: And high level information.

Commissioner
Talesfore: Can this information be made more prominent or...so that nobody misses it.

Chair Micciche: Any other comments?

Commissioner
Trevithick: Great job, good work.

Commissioner
Kane: Great job, good work, great Bud! However, if a sign were in violation of this "letter of the law" would that sign have to be taken down and changed?

Bud Lortz: No...proactive rather than reactive.

Commissioner
Kane: What about the hand painted sign on SweetPeas...would that have to be washed off?

Bud Lortz: No.

Commissioner
Kane: What about all hand painted signs?

Chair Micciche: We have a sign ordinance to cover it.

Bud Lortz: Not necessarily a prohibition on it but we are very careful about it so each of the zones has a different sense about them. So each zone is handled differently so wall painted signs are not expressly prohibited, but they will be tough.

Bud Lortz: To give credit where credit is due, the General Plan Committee worked very hard on this document as did a number of members of staff, including Randy and myself.

Commissioner
O'Donnell: Great....(remainder inaudible...)

Chair Micciche: It appears like our action is to recommend it to the Town Council with any comments we have.

Planning Commission Meeting of March 23, 2005

Page 4

Bud Lortz: A "verbatim transcript" will be provided to Town Council including comments. Need a motion.

Chair Micciche: Can we have a motion?

MOTION: Motion by Commissioner Talesfore recommending that Commercial Design Guidelines including all four items with any comments made by Planning Commissioner be forwarded to Town Council. Second by Commissioner Kane.

Motion carried 6-0-1 with Commission Quintana absent for the item.

ADJOURNMENT

Chair Micciche adjourned the meeting at approximately 11:00 P.M.

Transcribed by:
Marilyn D. Cosden, Administrative Secretary
Community Development Department
Town of Los Gatos

N:\DEV\ADMIN\SEC\PC\ACTION\MIN\3-23-05\vbPC.wpd

Date: March 16, 2005
For Agenda Of: March 23, 2005
Agenda Item: 2

REPORT TO: The Planning Commission

FROM: Director of Community Development

SUBJECT: Consider the following specific draft documents regarding commercial development in Los Gatos:

1. *Commercial Design Guidelines*
2. Policy on Minor Alterations to Commercial Buildings
3. Zoning Code Amendment A-05-01
4. Policy on Modification of Use

Consider adoption of draft Commercial Design Guidelines and a Town Code amendment regarding conditional use modification. It has been determined that this project could not have a significant impact on the environment, therefore, the project is not subject to the California Environmental Quality Act (Section 15061 (b)(3)).

APPLICANT: Town of Los Gatos

ACTION: Recommendation to Town Council

ENVIRONMENTAL
ASSESSMENT:

An Environmental Impact Report (EIR) was prepared for the 2000 General Plan update pursuant to the State Environmental Guidelines as adopted by the Town. The Commercial Design Guidelines is an implementation of the General Plan and no additional analysis is needed as the document is simply establishing review criteria. Commercial projects will be evaluated for CEQA compliance and against the Commercial Design Guidelines at the time individual applications are filed.

It has been determined that the Zoning Code Amendment could not have a significant impact on the environment, therefore, it is not subject to the California Environmental Quality Act Section 15061(b)(3).

EXHIBITS:

- A. Draft Commercial Design Guidelines
- B. Draft Council Resolution for adoption of the Commercial Design Guidelines (two pages)
- C. Draft Council policy on Minor Commercial Projects (two pages)
- D. Draft Zoning Ordinance Amendment
- E. Draft Council Resolution on Modification of Use (two pages)
- F. General Plan Committee Minutes of January 12, 2005 (three pages)
- G. General Plan Committee Minutes of January 26, 2005 (two pages)
- H. General Plan Committee Minutes of March 9, 2005 (one page)
- I. Comments from Commissioner Trevithick (one page), received March 9, 2005

RECOMMENDATION

SUMMARY: Forward the following to the Town Council with a recommendation for adoption:

1. *Commercial Design Guidelines*
2. Council Policy on Minor Alterations to Commercial Buildings
3. Zoning Ordinance Amendment
4. Policy on Modification of Use

A. BACKGROUND:

The preparation of the draft *Commercial Design Guidelines* began in September 2003. Staff and the Consulting Architect met with the General Plan Committee (GPC) one to two times a month to develop the draft document that was released for public review on January 31, 2005. The General Plan Committee is comprised of two Council members, three Planning Commissioners, one Community Services Commission member, a business representative and two public representatives. In addition to the GPC meetings, special meetings were held with auto dealers and the Historic Preservation Committee to receive input on relative sections of the draft document. The draft document includes sections specific to historic districts and buildings and auto dealerships.

Copies of the draft document were sent to surrounding cities and Santa Clara County, the Chamber of Commerce, auto dealers, interested business and commercial property owners, and local design professionals who work on commercial projects. In addition, it was posted on the Town's web-site and copies were placed at the Community Development and Town Clerk public counters and the Town library. The public review period ended on February 28, 2005 and no written comments were received. Staff has received a positive response from numerous design professionals. Commissioner Trevithick has submitted suggested language changes for the introduction on page 5 of the document (see Exhibit I). If the Commission is in agreement, the revised language can be included in the recommendation to the Town Council.

B. REMARKS:

1. Commercial Design Guidelines

The preparation of the Commercial Design Guidelines (CDG's) represents an update and consolidation of a number of existing documents that regulate the design aspects of commercial development. The draft CDG's has incorporated criteria from the following commercial design guidelines and standards presented in the following documents:

- Central Business District Streetscape and Improvement Guidelines
- Commercial Design Guidelines for the Central Business District
- Development standards for the C-2 Zone

- Design Standards for the Rear of Commercial Buildings Located Adjacent to Lot #4 Elm Street to Grays Lane
- Los Gatos Boulevard Design Standards
- Los Gatos Boulevard Plan

Upon adoption of the CDG's all of these documents will be rescinded with the exception of the Central Business District Streetscape and Improvement Guidelines and the Los Gatos Boulevard Plan.

Document Organization

The draft CDG's includes provisions for building and site design, landscaping and signs. In addition, guidelines for historic buildings have been included to augment the historic district ordinances for the University-Edelen and Downtown Commercial Historic Districts. The historic district ordinances will be attached as appendices.

The document is organized with common design guidelines applicable to all commercial areas covered in the first section, followed by a breakdown of areas inclusive of the C-1, C-2, LM and Los Gatos Boulevard districts. The C-2 district has been divided into sub-districts due to unique and differing architectural styles and building placement in different parts of the greater downtown. Historic preservation is covered within the C-2 district. Special guidelines have been developed for auto dealerships recognizing them as a unique use needing different criteria than other commercial areas. The final section covers signs.

Applicability

The CDG's will be applicable all commercial areas in Town including the C-1, C-2, O and LM zones. The guidelines do not cover the CM (controlled manufacturing) industrial zone or the North 40 area that will ultimately be covered by a specific plan. The effective date of the guidelines will be upon adoption of the document by the Town Council.

General Plan

The creation of the Commercial Design Guidelines are supported by the following General Plan Goals, Policies and Implementing Strategies:

- CD.G.1.1 To preserve and protect the Town's character through exceptional community design.
- CD.P.1.2 Promote, enhance and protect the functionality and appearance of the Town's commercial areas.
- CD.I.1.1 Design Review: Design standards shall be considered for every project. These standards shall be periodically reviewed and updated.
- CD.G.4.1 To preserve the character of downtown Los Gatos. . .

- CD.P.4.4 Strengthen architectural design controls related to the rehabilitation of buildings within the Town's CBD.
- CD.P.4.6 Preserve historically, architecturally or socially significant buildings.
- CD.P.4.7 Downtown signs and graphics shall maintain the Town's small-scale appearance.
- CD.I.4.3 The exterior building materials in the CBD should be consistent with those used in existing, tastefully executed buildings in near proximity.
- L.P.1.1 Development shall be of high quality design and construction, a positive addition to and compatible with the Town's ambiance. Development shall enhance the character and unique identity of existing commercial and/or residential neighborhoods.
- L.G.7.2 To provide clear direction to potential developers.

2. Minor Alterations to Commercial Buildings

In conjunction with the development of the CDG's, staff developed a draft Council policy that defines minor commercial projects. The Town's Development Review Committee (DRC) currently has approval authority for minor commercial projects. However, there is no definition of what constitutes "minor" so a policy was drafted to assist in the administration of the Zoning Ordinance (see Exhibit C). The policy includes examples of minor commercial projects that may be approved by the DRC after holding a public hearing and considering public input. The DRC and Director of Community Development have the discretion to forward any application to the Planning Commission as appropriate based on public input and/or design considerations. The General Plan Committee (GPC) reviewed the draft policy on January 12 and 26, 2005. The Committee recommended that the draft policy be adopted as finalized at its January 26, 2005 meeting (see GPC minutes, Exhibit G).

3. Zoning Ordinance Amendment

A Zoning Ordinance amendment is proposed to address modifications of use relative to commercial addition/remodel projects for commercial uses that are regulated by a conditional use permit (CUP) (see Exhibit D). Staff has also drafted an accompanying resolution that includes more detail on projects that can be approved without requiring a modification to the CUP (see Exhibit E). This is particularly important for businesses that want to do a small expansion and/or remodel project and do not result in an intensification of use. Business owners are encouraged to make building and site improvements and an expedited approval process would provide an incentive for this to occur. Approval of projects that are not considered an intensification of use could be reviewed and approved by the DRC. The Director of Community Development or the DRC have the discretion to refer a minor project to the Planning Commission.

The General Plan Committee reviewed the Zoning Ordinance amendment and accompanying resolution, and recommended approval of both items (see GPC minutes, Exhibits G and H).

Review of Document by Retail Economist

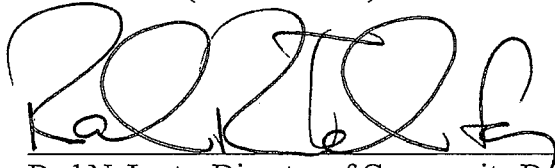
The CDG's is currently being reviewed by a retail economist to determine if any provisions of the document appear to have a high probability of creating a significant negative economic impact to businesses or commercial property owners in the Town. This step is in progress and will be completed prior to the draft document being considered by the Town Council.

C. RECOMMENDATION:

The General Plan Committee recommends that the Planning Commission forward the following to the Town Council for adoption:

1. *Commercial Design Guidelines* (Exhibit A) with revised introduction (Exhibit H);
2. Policy on Minor Alterations to Commercial Buildings (Exhibit C);
3. Zoning Code Amendment A-05-01 (Exhibit D);
4. Resolution on Modification of Use (Exhibit E).

A draft Council Resolution for adoption of the CDG's has been included for the Commission's information (see Exhibit B).

A handwritten signature in black ink, appearing to read 'Bud N. Lortz', written over a horizontal line.

Bud N. Lortz, Director of Community Development

Prepared by: Suzanne Davis, Associate Planner

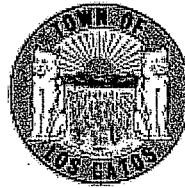
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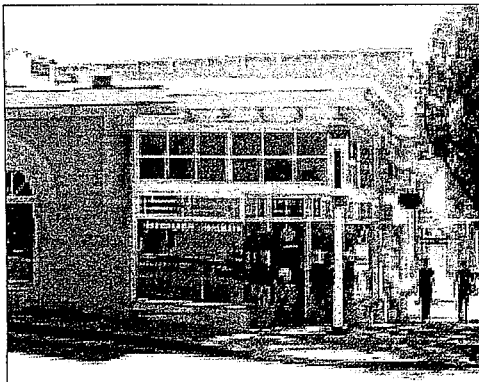
Commercial Design Guidelines

Town of Los Gatos

January 25, 2005



Public Hearing Draft



Community Development Department
110 East Main Street
P.O. Box 949
Los Gatos, CA 95031
(408) 354-6872
(408) 354-7593 fax
www.losgatosca.gov

EXHIBIT A

RESOLUTION 2005 -

**RESOLUTION OF THE TOWN COUNCIL
OF THE TOWN OF LOS GATOS
ADOPTING COMMERCIAL DESIGN GUIDELINES**

WHEREAS, the Town of Los Gatos desires to update its commercial development standards and guidelines, and

WHEREAS, the draft Commercial Design Guidelines represents a consolidation of five existing documents that govern commercial development and updates design criteria; and

WHEREAS, the Advanced Planning Work Plan includes the adoption of new commercial design guidelines; and

WHEREAS, adoption of the Commercial Design Guidelines will help provide clear direction to developers and business owners processing development applications (General Plan Goal L.G.7.2 and Implementing Strategy L.I.7.4); and

WHEREAS, adoption of the Commercial Design Guidelines will ensure high quality development in all commercial areas of the Town; and

WHEREAS, numerous General Plan goals, policies and implementing strategies support creation of this document; and

WHEREAS, The General Plan Committee recommends that the Draft Commercial Design Guidelines be adopted; and

WHEREAS, the Planning Commission has held a public hearing and forwarded a recommendation for adoption of the same document;

THEREFORE BE IT RESOLVED: the Town Council of the TOWN OF LOS GATOS does hereby rescind Resolutions 1987-68 and 1997-136.

FURTHER RESOLVED, the Town Council does hereby rescind any statements related to the Los Gatos Boulevard Design Standards contained in Resolution 1997-136.

FURTHER RESOLVED, the Town Council does hereby rescind any statements related to the Commercial Design Guidelines for the Central Business District contained in Resolution 1992-189.

FURTHER RESOLVED, the Town Council adopts the Commercial Design Guidelines, attached hereto as Exhibit A. These guidelines shall be used to review development applications in conjunction with the goals and policies set forth in the Los Gatos Boulevard Plan adopted by Resolution 1997-136. In the event of a conflict, the more restrictive standard shall apply.

FURTHER RESOLVED, the Commercial Design Guidelines shall apply to all development applications that have not been approved prior to adoption of the document.

PASSED AND ADOPTED at a regular meeting of the Town Council held on the 18th day of April, 2005, by the following vote:

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

CLERK ADMINISTRATOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

**TOWN COUNCIL POLICY
TOWN OF LOS GATOS**

Subject: Minor Alterations to Commercial Buildings

Enabling Action:
2005-

Page 1 of 2

Approved:

Effective
Date:

Mike Wasserman, Mayor

PURPOSE:

Section 29.20.745(8) of the Zoning Ordinance states that the Development Review Committee (DRC) shall “determine and issue zoning approval for minor exterior alterations to commercial buildings”. The purpose of this policy is to define “minor exterior alterations” to commercial buildings that may be approved by the DRC as set forth in Section 29.20.745(8) of the Zoning Ordinance. To assist in the redevelopment of commercial buildings, the Town has created a streamlined review process for minor commercial improvement projects that comply with the Commercial Design Guidelines.

The following shall be used by staff when reviewing plans for minor exterior alterations to commercial buildings to determine if proposed projects can take advantage of the streamlined review process.

EXAMPLES OF MINOR ARCHITECTURAL IMPROVEMENTS:

The following are examples of minor architectural improvements that may be decided by the Development Review Committee (DRC) after considering public input at a duly noticed public hearing:

1. Replacing or changing out windows
2. Replacing or adding awnings
3. Changes to or addition of arcades
4. Replacement of or changes to exterior materials
5. Small scale additions (may not result in an increase of more than four peak hour trips)

DEFINITION:

For projects that include small scale additions, a minor commercial project is one which is in full compliance with the Town's Commercial Design Guidelines and Town Code and does not result in an intensification of use as described in Section 29.30.200 of the Zoning Ordinance or more than a minor increase in traffic as described in the Town's Traffic Impact Policy.

The Director of Community Development or the Development Review Committee may refer any minor commercial project to the Planning Commission if it is not in compliance with the Commercial Design Guidelines, there are impacts to surrounding properties that cannot be resolved by the DRC, or as otherwise deemed appropriate.

ORDINANCE 2005 -

**AN ORDINANCE OF THE TOWN OF LOS GATOS
AMENDING TOWN CODE SECTION 29.20.200
(CONDITIONAL USE MODIFICATION).**

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS
FOLLOWS:

SECTION I

Town Code Chapter 29.20.200 shall be amended as follows:

Sec. 29.20.200. Conditional use modification.

A use authorized by conditional use permit shall not be modified unless a modification to the permit is approved. The following changes in use are modifications:

- (1) Intensification of use. Changes of use that will result in an increase of five (5) or more peak hour trips.
- (2) Commencement of new activities that could have a material adverse impact on the surrounding area.
- (3) Any change that is a substantial departure from plans which were the basis of the conditional use permit approval.

SECTION II

This ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos and adopted by the following vote as an ordinance of the Town of Los Gatos at a regular meeting of the Town Council of the Town of Los Gatos on _____, 2005. This ordinance takes effect 30 days after it is adopted.

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

CLERK ADMINISTRATOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

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RESOLUTION 2005 -

RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS ADOPTING GUIDELINES FOR MODIFICATION OF USE

This resolution establishes the criteria that will be used to evaluate a modification of use pursuant to Zoning Ordinance Section 29.20.200.

RESOLVED:

A conditional use permit (CUP) is intended to allow the establishment of those uses that have unique characteristics or special form such that their effect on the surrounding environment must be evaluated for a particular location. The CUP process allows for review of the location, design, configuration of improvements and potential impact on the surrounding area. Once a CUP has been granted it runs with the land. Modifications to a property with a valid CUP may be considered when an application has been filed for Architecture & Site approval or a building permit has been requested, providing there is no material adverse impact or substantial departure from the plans that were the basis for the CUP.

1. The following are examples of changes that would be considered a material adverse impact on the surrounding area:
 - a. Requirement for environmental review under the California Environmental Quality Act (CEQA)
 - b. Conflicts with General Plan goals and/or policies
 - c. An increase in outdoor noise levels that would exceed the limits set by the Town's Noise Ordinance
 - d. Non-compliance with the Commercial Design Guidelines
 - e. Changes to the operational aspects of the business that conflict with Planning Commission or Council conditions of approval (example, increasing hours of operation)
 - f. Inconsistency with all applicable provisions of the Zoning Ordinance and the spirit and intent of the original approval
2. Examples of changes that are a substantial departure from plans that were the basis of the conditional use permit approval are those that result in any of the following:
 - a. Conflicts with operational conditions of approval
 - b. Adds land area to the property for which the use permit was granted
 - c. Results in a parking or traffic impact to other properties in the area
 - d. Conflicts with applicable provisions of the Town Code
 - e. Conflicts with General Plan Goals and/or Policies
 - f. Results in a change relative to service of alcoholic beverages

PASSED AND ADOPTED at a regular meeting of the Town Council held on the 18th day of April, 2005, by the following vote:

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

CLERK ADMINISTRATOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

N:\DEV\SUZANNE\CommercialDesign\Reso-UseMod.wpd

TOWN OF LOS GATOS
110 East Main Street, Los Gatos, CA 95030 (408) 354-6872

SUMMARY MINUTES OF A SPECIAL MEETING OF THE GENERAL PLAN COMMITTEE
OF THE TOWN OF LOS GATOS, **JANUARY 12, 2005** HELD IN THE TOWN COUNCIL
CHAMBERS, CIVIC CENTER, 110 EAST MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 5:30 pm by Vice-Chair Mark Sgarlato.

ATTENDANCE

Members present: Mike Burke, Steve Glickman, Diane McNutt, Phil Micciche, Tom O'Donnell, Jane Ogle, Mark Sgarlato, Barry Waitte

Members absent: Josh Bacigalupi

Staff present: Bud Lortz, Director of Community Development; Randy Tsuda, Assistant Community Development Director; Suzanne Davis, Associate Planner

Others present: Mark Weiner, outgoing GPC member

VERBAL COMMUNICATIONS

None.

ITEM 1 COMMERCIAL DESIGN GUIDELINES

Diane McNutt talked about the explosion that had occurred at the Los Gatos Auto Mall last week. She would like the Committee's input on an expedited process for rebuilding.

Bud Lortz explained that this situation is similar to the earthquake restoration process that was established after the Loma Prieta earthquake. We could take an urgency ordinance to the Council. It would establish a very clear set of parameters that the property owner would have to follow. It would tell the property owner and dealership owners that we want to keep them in Town. The owners have been notified that they need to demolish the building.

- Building similar in size to damaged building
- Minor expansion can be considered
- Building location similar to previous location
- Previous height may not be exceeded
- New facility could allow for a franchised auto dealer
- Process would include a noticed public hearing
- Goal is to maintain architectural excellence

This will be going to the Council for consideration on Tuesday, January 19.

Mike Burke asked if the flexibility built into the urgency ordinance will allow dealership to meet its needs and have the optimal building for its use. *Bud Lortz* said yes, a win-win situation is the goal.

Steve Glickman asked if all of the guidelines in the draft Commercial Design Guidelines can be met. *Bud Lortz* answered yes.

Tom O'Donnell asked if the landlord should be consulted. *Bud Lortz* said the Town has been trying to contact the owner and they will be involved in the process. Staff hopes to contact them prior to the Council meeting and a copy of the staff report and attachments will be sent to them.

There was Committee consensus on this approach.

Commercial Design Guidelines

Phil Micciche asked for comments on the revised draft Commercial Design Guidelines

Mike Burke said he is happy with the document and wishes the General Plan was as good. Other Committee members agreed, and there were no further requested changes.

Draft Policy on Minor Commercial Projects

Bud Lortz discussed the draft policy on minor commercial projects. The policy establishes criteria for DRC level approval on commercial projects. There is always the ability to refer projects to the Planning Commission if it is questionable.

Steve Glickman said he is in favor of the direction, but questioned the language used to describe a minor change. The bullet points seem to be much more restrictive. *Bud Lortz* explained that the two Code sections that are referenced include thresholds for traffic impact and intensification of use.

Discussion ensued on changes of use.

Steve Glickman suggested adding "As an example of minor architectural changes" in front of the bullet points.

Mike Burke said that a project has to meet the definition to qualify for DRC approval. The changes listed are examples, and there may be other projects that can be approved at staff level.

Bud Lortz clarified that the policy should be changed to include language under examples that they are examples of architectural changes, and add in the language from the Zoning Ordinance on minor commercial uses.

Zoning Code Amendment

Bud Lortz summarized the draft Zoning Code amendment. Traffic generation factors are assigned by the ITE. If a use changes the traffic generation rate it is considered an intensification of use. The next criteria is peak hour trips. If a use or change in use will result in five or more peak hour trips, it is an intensification of use. If additional parking spaces are needed, they must fit on the site.

Mark Weiner asked about new activities and whether it is needed. *Bud Lortz* suggested adding language to clarify what type of new activities are considered an intensification of use.

Steve Glickman agreed with Mark W. He suggested dropping (c) and (d).

Tom O'Donnell said material changes that have an adverse impact or have the potential to adversely impact on the neighborhood should be addressed.

Bud Lortz said that language could be added to state that "commencement of new activities or changes in existing activities that will have a material impact on the surrounding area".

Mike Burke said that use of additional land can change the parameters of a CUP. *Tom O'Donnell* suggested deleting item (c) since a use permit covers specified land, and added land would not be covered by the use permit.

Steve Glickman commented that if someone comes in for a new use, the information about the operation is not known as it is with an existing use coming in for expansion. If a use has established a pattern, that can be used to evaluate the impact. He is more concerned about impact.

Phil Micciche suggested that the draft amendment be revised and brought back to the Committee. Staff will work on revisions with the Town Attorney.


ITEM 2 APPROVAL OF MINUTES

Steve Glickman made a motion to approve the minutes of December 8, 2004. The motion was seconded by *Mark Sgarlato* and passed unanimously.

ADJOURNMENT

The meeting was adjourned at 6:35 pm by *Chair Phil Micciche*. The next meeting of the General Plan Committee is scheduled for Wednesday, January 26, 2004 at 5:30 pm.

Prepared By:


Suzanne Davis, Associate Planner

TOWN OF LOS GATOS
110 East Main Street, Los Gatos, CA 95030 (408) 354-6872

SUMMARY MINUTES OF A REGULAR MEETING OF THE GENERAL PLAN COMMITTEE
OF THE TOWN OF LOS GATOS, **JANUARY 26, 2005** HELD IN THE TOWN COUNCIL
CHAMBERS, CIVIC CENTER, 110 EAST MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 5:35 pm by Chair Phil Micciche.

ATTENDANCE

Members present: Diane McNutt, Phil Micciche, Tom O'Donnell, Jane Ogle, Barry Waitte

Members absent: Josh Bacigalupi, Mike Burke, Steve Glickman, Mark Sgarlato

Staff present: Bud Lortz, Director of Community Development; Randy Tsuda, Assistant Community Development Director; Suzanne Davis, Associate Planner

VERBAL COMMUNICATIONS

None.

ITEM 1 COMMERCIAL DESIGN GUIDELINES

Phil Micciche introduced the item and asked for Committee comments.

a. Policy on Minor Commercial Projects

Diane McNutt asked about the phrase "small scale additions". It doesn't seem to be specific enough. *Bud Lortz* said an addition would be allowed provided that it doesn't generate more than four peak hour trips. He suggested adding language to link the two ideas together.

Diane McNutt suggested reiterating that the DRC can also refer an application to the Planning Commission.

Diane McNutt made a motion to forward the policy to the Town Council with a recommendation for approval. The motion was seconded by *Tom O'Donnell* and passed unanimously.

b. Zoning Ordinance Amendment/Modification of Use

Bud Lortz said that in making the changes, there were two objectives. One is to allow auto dealers to make small additions and remodel without going to the Planning Commission. Under the current rules, if you add any square footage, it goes to the Commission as a modification to the CUP. Rather than writing an exception for auto dealers, the changes were made to relax the rules. Staff has some concerns about two phrases, "substantial departure" and "material adverse impact". One way of

dealing with this is to prepare a resolution (parallel document) that includes more details and explanation as is done with the BMP regulations. The resolution process is easier to change if that needs to occur in the future. The other approach is to allow auto dealers and others with minor projects to have use permit modifications made at the DRC level. A draft resolution can be brought back to the Committee for input if that option is preferred.

Discussion ensued and the Committee agreed that staff should draft a resolution for consideration.

ITEM 2 HILLSIDE ARCHITECTURE

Bud Lortz introduced the item noting that the Planning Commission raised an issue about Mediterranean style architecture as it was problematic on several projects. The Commission discussed the issue and forwarded some proposed language changes to the HDS&G to the Town Council. The Council discussed it and referred it to the Architectural Standards/Hillside Committee (ASC). The ASC considered the proposed amendments and made some changes that will be forwarded to the Town Council in February. He summarized the proposed changes.

Phil Micciche asked about items 2 and 3. The main concern is appearance of bulk and mass, not whether there are two-story elements.

Diane McNutt suggested deleting the word "strongly" so it will read two story wall planes are discouraged". The Committee agreed.

Item 3 will be forwarded as proposed.

Committee consensus to delete items 8 and 11.

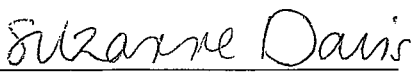
ITEM 3 APPROVAL OF MINUTES

Barry Waitte made a motion to approve the minutes of January 12, 2005. The motion was seconded by *Jane Ogle* and passed unanimously (5-0).

ADJOURNMENT

The meeting was adjourned at 6:10 pm by *Chair Phil Micciche*. The next meeting of the General Plan Committee is scheduled for Wednesday, February 9, 2005 at 5:30 pm.

Prepared By:


Suzanne Davis, Associate Planner

TOWN OF LOS GATOS
110 East Main Street, Los Gatos, CA 95030 (408) 354-6872

SUMMARY MINUTES OF A REGULAR MEETING OF THE GENERAL PLAN COMMITTEE
OF THE TOWN OF LOS GATOS, **MARCH 9, 2005** HELD IN THE TOWN COUNCIL
CHAMBERS, CIVIC CENTER, 110 EAST MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 5:30 pm by Chair Phil Micciche.

ATTENDANCE

Members present: Mike Burke, Diane McNutt, Phil Micciche, Tom O'Donnell, Jane Ogle, Mark Sgarlato, Barry Waitte

Members absent: Steve Glickman

Staff present: Bud Lortz, Director of Community Development; Randy Tsuda, Assistant Community Development Director; Suzanne Davis, Associate Planner

VERBAL COMMUNICATIONS

None.

ITEM 1 RESIDENTIAL DESIGN GUIDELINES

Bud Lortz introduced the item and noted that the consultant has yet to be chosen. Larry Cannon is a candidate.

Diane McNutt commented on key neighborhoods identification. *Bud Lortz* said the question is what is a key neighborhood that can be identified. One example that comes to mind is the Belgatos neighborhood. There are also many micro neighborhoods. Descriptions that allow narrowing block to block or by different sides of the streets can be used. The goal is to make it as defined as it can be, with flexibility as needed.

Mark Sgarlato said he didn't see much reference to infrastructure. Certain neighborhoods have fewer improvements than others and perhaps that should be addressed.

Barry Waitte asked about the goal and the authority of the new standards. *Bud Lortz* explained that the goal of the document is to provide guidance and information to homeowners about what they can do to their house. The General Plan guides this document, and it is an implementation measure. The authority of the document once its adopted is use by deciding bodies to evaluate projects. The more comprehensive the standards are the better. We're trying to create as much certainty in the process as possible.

Jane Ogle thinks it is a good document. There are some items that appear to be opinions such as discouraging cantilevered chimneys.

Tom O'Donnell had no comments.

Mike Burke had no comments, but noted that it is a complete and well thought out document.

Mark Sgarlato asked how the historic preservation fits in with the residential standards. *Bud Lortz* explained that there are several historic districts as well as Pre-1941 Guidelines that will be wrapped into the document.

Diane McNutt asked about the approach on design standards and guidelines and whether these documents may be award worthy in the future.

Committee consensus was to forward the scope of work to the Council with a recommendation for approval.

ITEM 2 COMMERCIAL DESIGN GUIDELINES

Bud Lortz introduced the item explaining the relationship between ordinances and resolutions. An ordinance is adopted through a very specific process that is prescribed by state law that includes public hearings. *Randy Tsuda* noted that it is a very deliberate, formal process because it is law. *Bud Lortz* noted that where ordinances don't work well is when it is more general, such as the General Plan. What we've done as a model in this community is to take a set of ideas and adopt an ordinance with empirical aspects, and then adopt a resolution that includes supporting details or standards. This was done for the Below Market Price Program and the Telecommunications Ordinance. Staff has developed a document that better defines adverse impact and substantial departure. The resolution will augment the proposed ordinance on conditional use modification.

Mike Burke commented on the noise standard and asked for clarification. *Bud Lortz* suggested modifying the language to state that an increase in noise levels that would exceed the Town standards, or what was reasonably anticipated at time of approval.

Tom O'Donnell said the resolution gives good examples.

Barry Waitte, *Mark Sgarlato* and *Diane McNutt* had no comments.

ITEM 3 APPROVAL OF MINUTES

Diane McNutt noted that the unidentified woman noted in the minutes is an applicant for General Plan Committee. This may help aid in her identification.

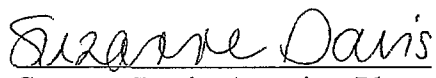
General Plan Committee
Regular Meeting of January 26, 2005
Page 3 of 3

Barry Waitte made a motion to approve the minutes of February 23, 2005. The motion was seconded by *Mike Burke* and passed unanimously (7-0).

ADJOURNMENT

The meeting was adjourned at 6:10 pm by *Chair Phil Micciche*. The next meeting of the General Plan Committee is scheduled for Wednesday, March 23, 2005 at 5:30 pm.

Prepared By:


Suzanne Davis, Associate Planner

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Morris Trevithick
55 Church Street, #1203
Los Gatos, CA 95030

RECEIVED
MAR 09 2005
TOWN OF LOS GATOS
PLANNING DIVISION

March 9, 2005

The Town of Los Gatos is proud of the unique character and ambience it has developed over the past century. The Town's residential and commercial structures combined with the beautiful natural setting have defined the environment which is cherished by residents and instantly recognized by visitors. The townscape is characterized by relatively small scale buildings, a quiet architectural demeanor, respect for neighboring properties, and attention to architectural detail and landscaping.

This document titled Commercial Design Guidelines (hereafter referred to as Guidelines) presents a statement of community intentions. They are intended to assist property and business owners. . . .