



VILLA
FELICE
LOS GATOS, CA

RECEIVED
JAN 27 2005

TOWN OF LOS GATOS
PLANNING DIVISION

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SANTA CLARA
DEVELOPMENT
An affiliate of Pearson Consultants

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE:



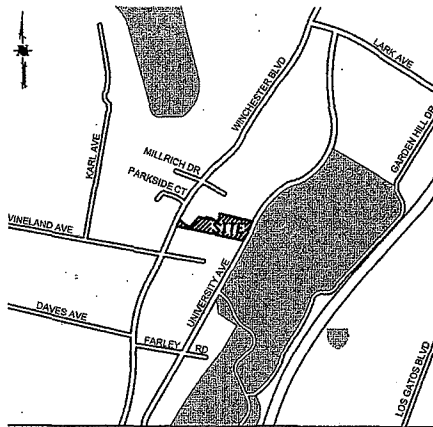
NORTH

SHEET #:



EXHIBIT B





LOCATION MAP
N.T.S.

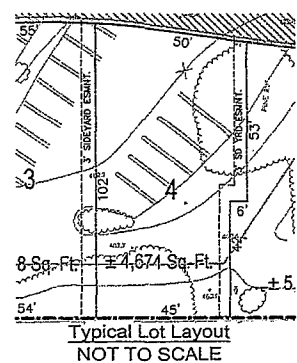
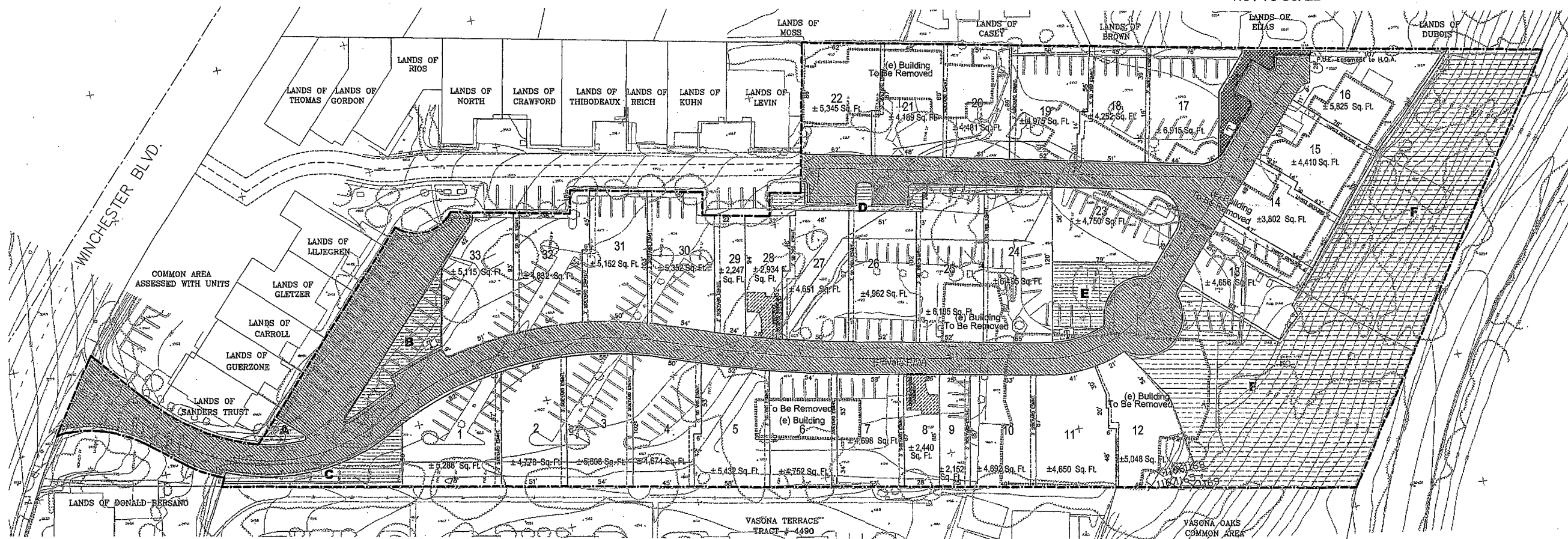
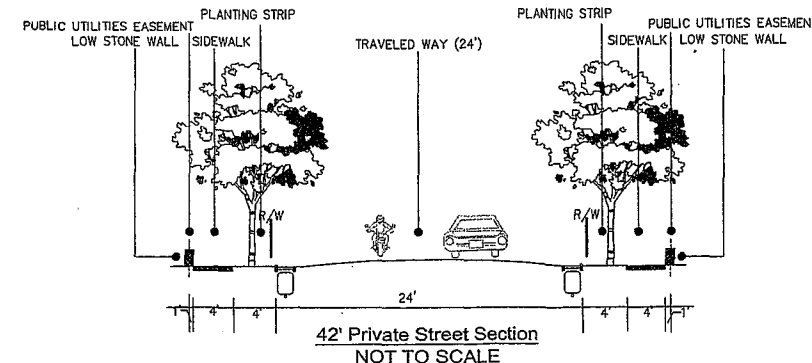
GENERAL NOTES:

- PROJECT NAME: VILLA FELICE
- OWNERS: DONALD BERSANO
15350 WINCHESTER BOULEVARD
- SUBDIVIDER: SANTA CLARA DEVELOPMENT COMPANY
2185 THE ALAMEDA
SAN JOSE, CA 95126
- ENGINEER: HHM, INCORPORATED
1570 OAKLAND ROAD, SUITE 200
SAN JOSE, CA 95131
(408) 487-2200
DANNY RAYMOND, RCE #26616
15350 WINCHESTER BOULEVARD
R-1-B:PD
- STREET LOCATION: LOW DENSITY RESIDENTIAL (5 DU/AC)/ COMMERCIAL
- EXISTING ZONING: COMMERCIAL/RESIDENTIAL
- EXISTING GP DESIGNATION: SINGLE FAMILY RESIDENTIAL (RM: 5-12:PD)
- EXISTING USE: SAN JOSE WATER COMPANY
- PROPOSED USE: WEST VALLEY SANITATION DISTRICT
- WATER SUPPLY: 424-29-024,025,026
- SEWAGE DISPOSAL: SHALL CONFORM TO TOWN OF LOS GATOS STANDARDS
- ASSESSOR'S PARCEL NO.: ±5.9 ACRES (GROSS)
- STREET TREES: ±0.0 ACRES
- TOTAL SITE AREA: ±5.9 NET ACRES
- PROPOSED DEDICATION: ±5.9 NET ACRES
- NET SITE AREA: 33
- PROPOSED LOTS: 33

- Provide 2 public fire hydrant(s) at location(s) to be determined by the Fire Department and San Jose Water Company. Hydrant shall have a minimum single flow of 1,000 GPM at 20psi residual, with spacing not to exceed 500 feet. Prior to applying for building permit, provide civil drawings reflecting all fire hydrants serving the site.
- Multiple parcel maps may be filed prior to the expiration of the Tentative Map.

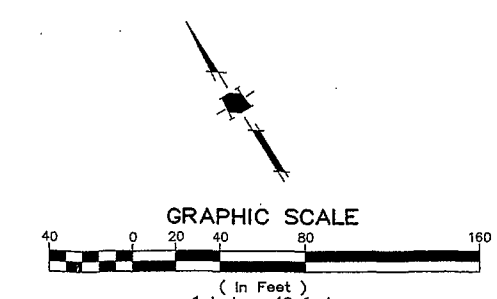
- Prior to project final inspection, the general contractor shall ensure that an approved ("Blue Dot") fire hydrant location identifier has been placed in the roadway, as directed by the fire department.
- Installations of required fire service(s) and fire hydrant(s) shall be tested and accepted by the fire department prior to the start of framing or delivery of bulk combustible materials. Building permit issuance may be withheld until required installations are completed, tested, and accepted.
- If any portion of the structure(s) is greater than 150 feet of travel distance from the centerline of the roadway containing public fire hydrants, an approved residential fire sprinkler system throughout all portions of the building will be required.
- Required access roads, up through first lift of asphalt, shall be installed and accepted by the Fire Department prior to the start of construction. Bulk combustible materials shall not be delivered to the site until installation is complete. During construction, emergency access roads shall be maintained clear and unimpeded. Note that building permit issuance may be withheld until installations are completed.
- Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background.
- Roof rainwater leaders are to be discharged onto energy dissipaters (splash blocks), which are designed to spread out the rain water so that it enters landscape areas as sheet flow. Runoff from the site should not be collected into a pipe system, concentrated and discharged down slope. Control off-site drainage, flowing to the site similarly. No improvements shall obstruct or divert runoff to the detriment of an adjacent, down stream or down slope property. Retaining walls shall include provisions for drainage.
- Final grading plans shall include a complete erosion control plan. Interim erosion control measures to be carried out during construction and before installation of the final landscaping shall be included. Interim erosion control methods should include silt fences or straw bale dikes (with location and details) and the town standard seeding specification.
- Demolition of existing structures to be completed as part of the demolition permit process and prior to the acquisition of final Building Permit Approval.

- Any existing sanitary sewer lateral proposed to be reused must be televised by West Valley Sanitation District and approved by the Town before reuse. A sanitary lateral clean-out shall be installed at the property line, if one does not already exist within two (2) feet of the property line. Any trenching with the dripline of all trees shall be hand dug and so noted on the plans. All utilities serving the site shall be underground.
- Street lights will be installed per the requirements of the Town of Los Gatos, Director of Public Works.
- Project frontage on Winchester Boulevard will be improved as required by the Town Los Gatos Director of Public Works.
- The Ingress & Egress and Emergency Access Easement 18' Wide (I&E, EAE & PIEE) as shown upon that certain Parcel Map recorded April 5th, 1982 in Book 498 of Maps at Pages 23 and 24, Santa Clara County and that certain Parcel Map recorded December 23rd, 2002 in Book 756 of Maps at Pages 54 and 55, Santa Clara County, and which easements lie within the boundary of herein map but which easements are not shown hereon, are now abandoned pursuant to Government Section 66499.20 1/2.



LEGEND

- Project Boundary
- Lot Line
- Center Line
- Easements
- Fill/Cut
- Right of Way
- Common Lots
- Electrical Transformer Easement
- Ingress/Egress Eastment
- Landscape, and P.U.E. Easements
- Existing Building



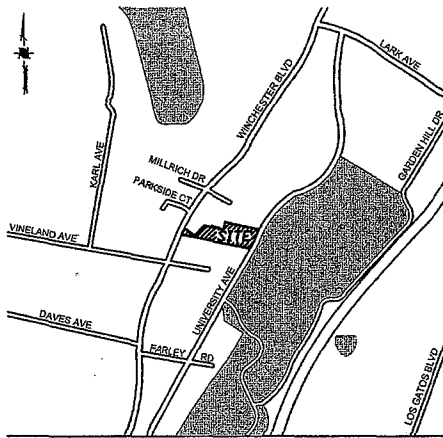
Project Address:
15350 Winchester Blvd.
Los Gatos, CA 95030

SANTA CLARA DEVELOPMENT
An affiliate of Robson Communities
2185 The Alameda
San Jose, CA 95126
408.345.1767

REVISION:
REMARKS:
DRAWING NAME:
SCALE 1" = 40'
NORTH
SHEET #: C-1
DATE: Jan. 10, 2005

TENTATIVE MAP

HHM ENGINEERS
SWA Group



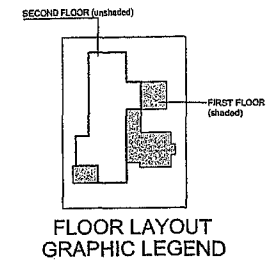
LOCATION MAP
N.T.S.

Project Information

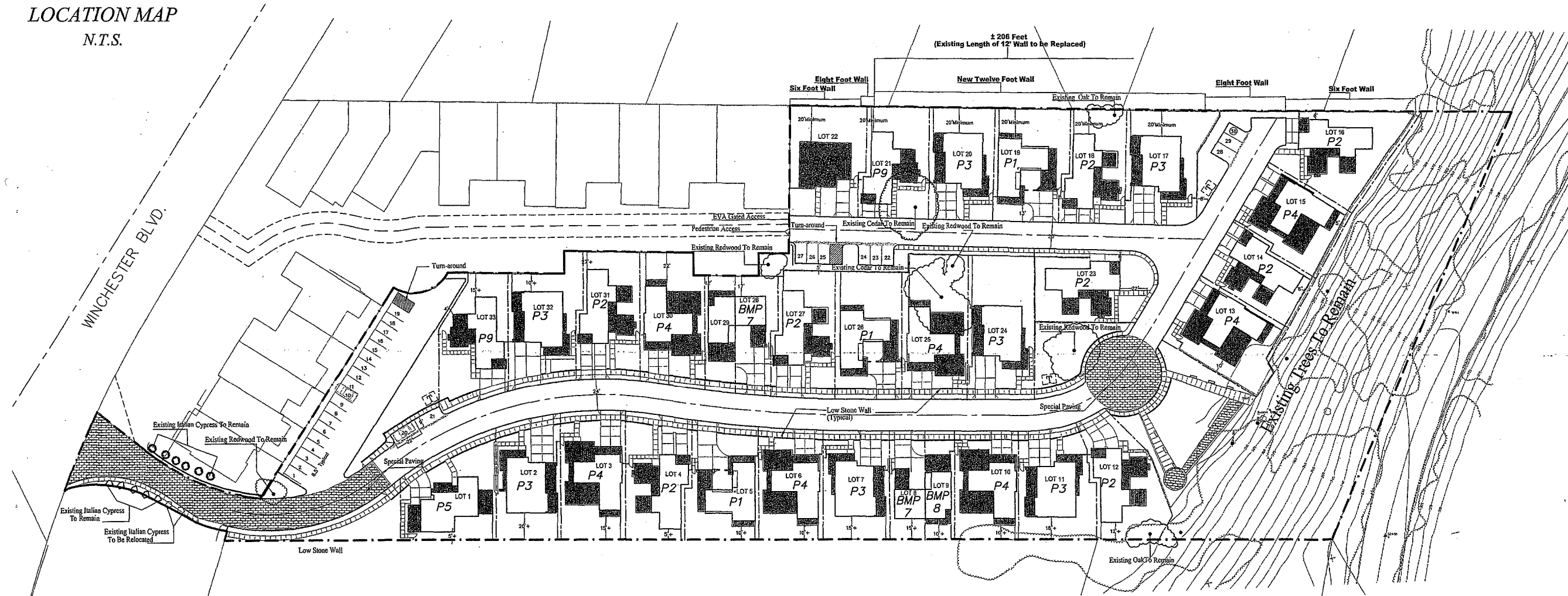
Site Area	
Gross Area	5.91 Acres
Gross Floor Area Total	±90,888 Square feet
Livable Gross First Floor Area	±41,933 Square Feet
Livable Gross Second Floor Area	±34,895 Square Feet
Garage Gross Floor Area	±14,060 Square Feet
Floor Area Ratio	0.35
Lot Area Coverage	23%
Parking Spaces	TOTAL 125 Spaces - (30 Visitor Parking) 34 Apron Parking Spaces, 61 Garage Spaces

Project Information

Impervious Surface Calculations	
Existing Impervious Surface (percentage of area)	±207,443 Square Feet 81%
Proposed Impervious Surface (percentage of area)	±154,953 Square Feet 60%
Open Space Calculations	
Open Space Area Total	±102,486 Square Feet
Common Open Space Area	±55,722 Square Feet
Private Open Space Area	±46,764 Square Feet
Total Percentage of Open Space	40%



33 Proposed Dwelling Units

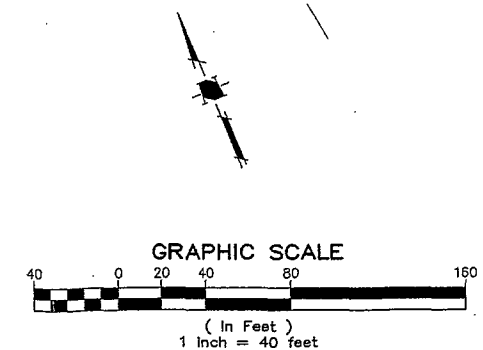


LEGEND

-----	Project Boundary
-----	Lot Line
-----	Low Stone Wall
-----	Fence Line
-----	Center Line
[Pattern]	Special Paving Surface

General Information

SETBACKS: (minimum)	
Front Setback:	10'
Side Setback (interior):	3'
Side Setback (corner):	5'
Rear Setback	5'
DRIVEWAYS:	
Drive Lengths:	12' or less and 18' or greater
Drive Widths:	8' or greater
AREA CALCULATIONS:	
Private Street	±43,889 square feet
Sidewalks/Paths	±8,034 square feet
Parking Areas	±10,221 square feet



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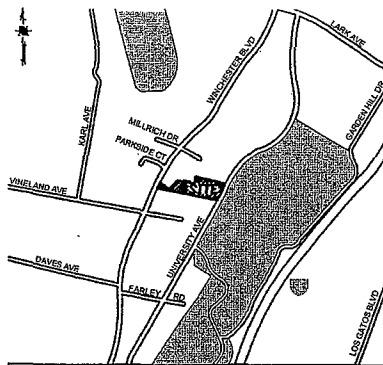


2185 The Alameda
San Jose, CA 95126
408.345.1767

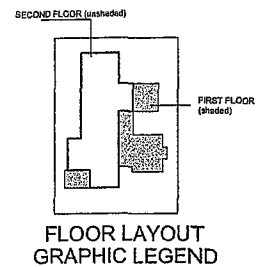
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REVISION:	
DRAWING NAME:	3263sp03.dwg
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NORTH:	
SHEET #:	C-2
DATE:	Jan. 10, 2005

CONCEPTUAL SITE
PLAN

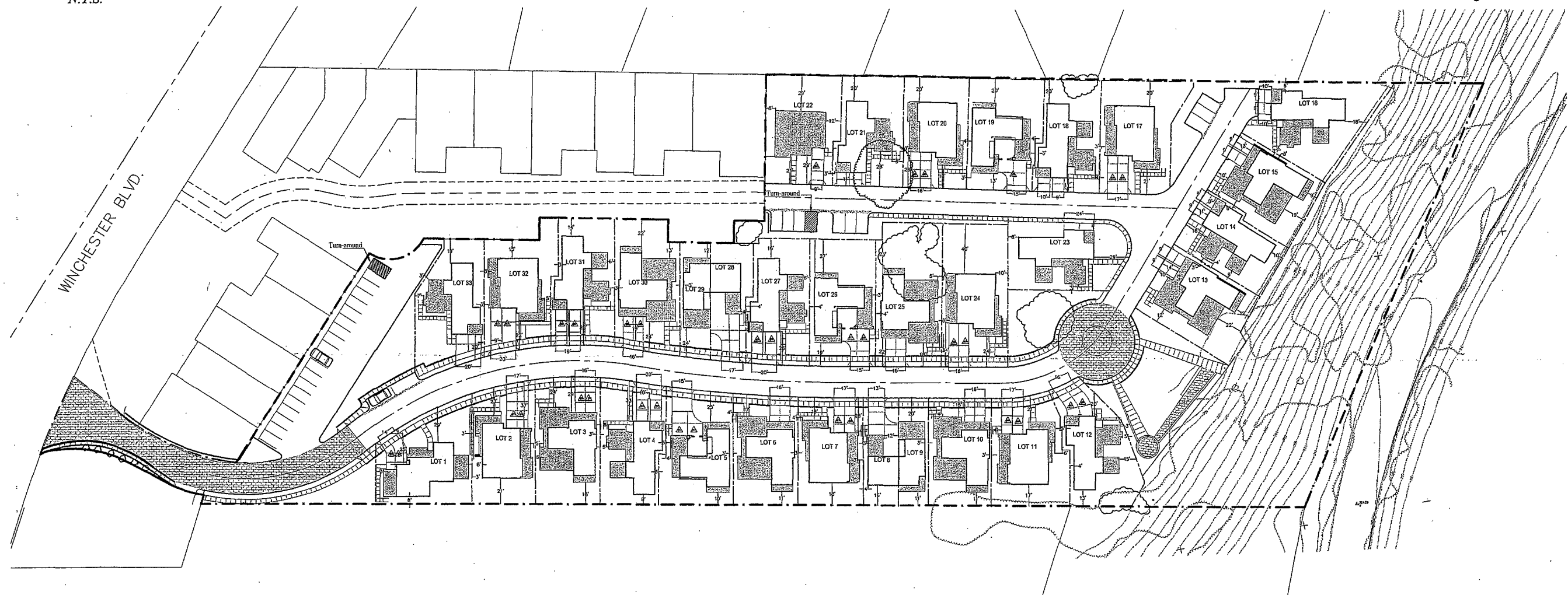




LOCATION MAP
N.T.S.

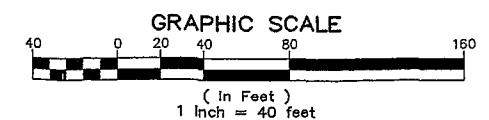


Proposed Dwelling Units
33 Dwelling Units



LEGEND

- Project Boundary
- Lot Line
- △ Parking



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15350 Winchester Blvd.
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SANTA CLARA
DEVELOPMENT
An affiliate of Robison Communities

2185 The Alameda
San Jose, CA 95126
408.345.1767

REVISION:
REVISION:
DRAWING NAME:

SCALE 1"=40'

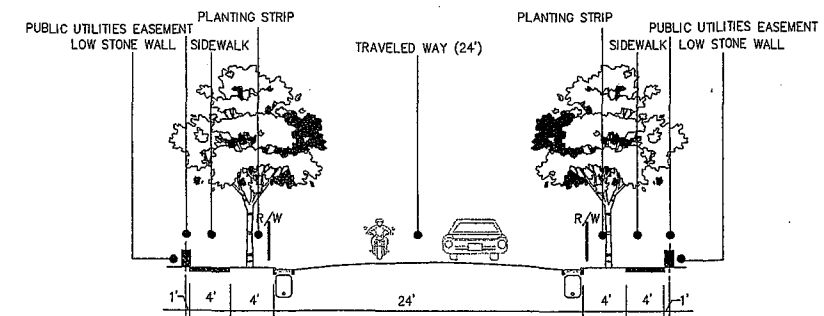
NORTH
SHEET #: C-2A
DATE: JAN. 10, 2005

HORIZONTAL
CONTROL
PLAN

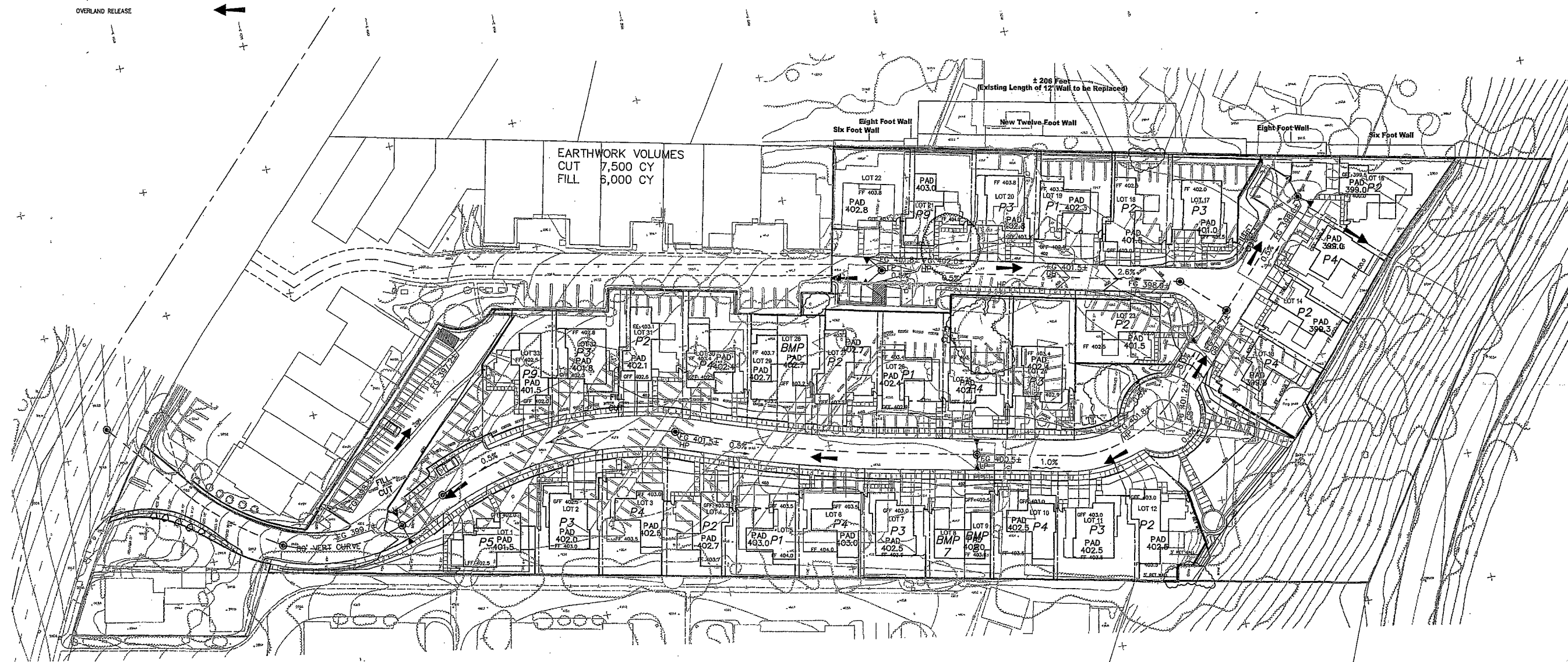


HMH
ENGINEERS

SWA
Group

[illegible]

42' Private Street Section
NOT TO SCALE



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REVISION _____

REVISION _____

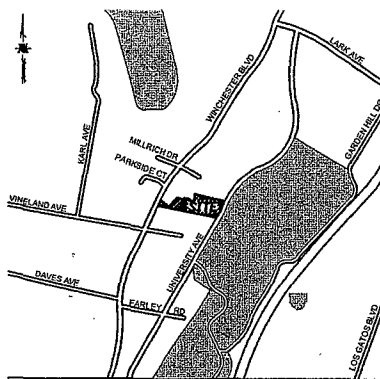
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SCALE: 1"= 40'



NORTH
SHEET #: C-3
DATE: Jan. 10, 200
PRELIMINARY
GRADING PLAN

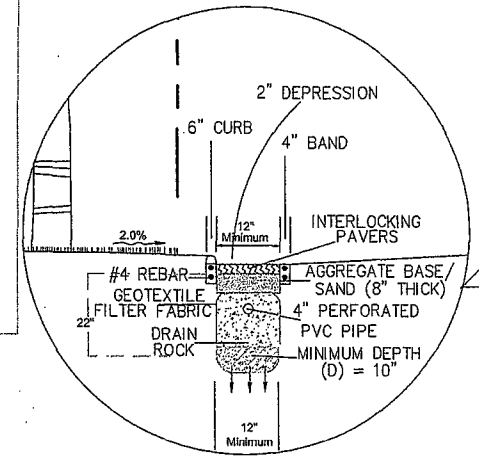




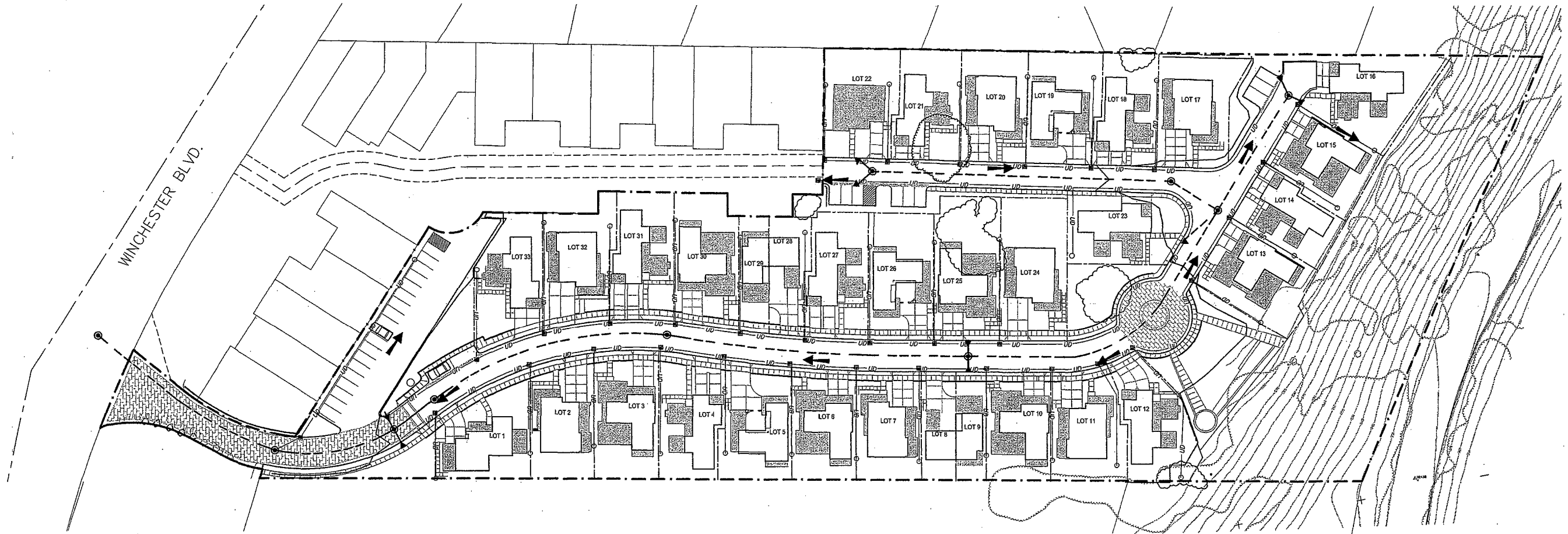
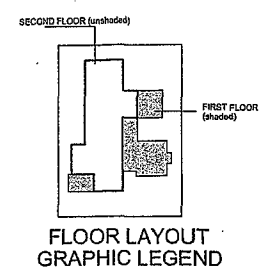
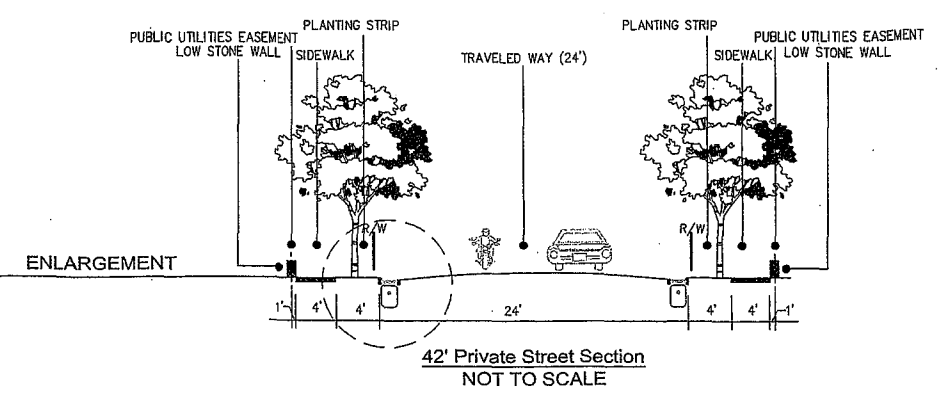
LOCATION MAP
N.T.S.

SIZING CALCULATIONS:

Flow Rate (Design Storm) - 0.2"/hr = 0.0167/hr
 Tributary Width - 20'
 $\text{Volume} = (0.0167 \text{ hr})(20')(0.4) = 0.833 \text{ Cf/Lf/Hr}$
 Trench Width = 1'
 $\text{Trench Volume} = (L)(D)(W) = 0.833 \text{ Cf}$
 $0.833 \text{ Cf} = D = 0.83' = 10"$
 $(L)(W)$

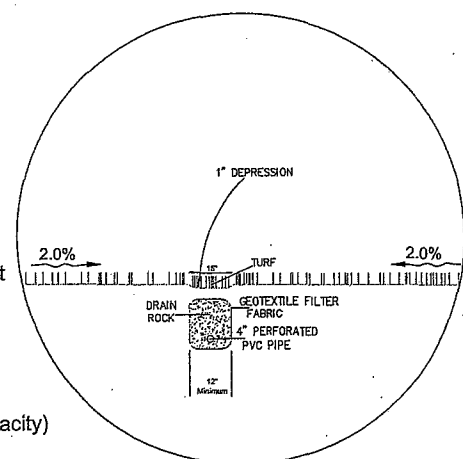


STREET AND DRIVEWAY SWALE

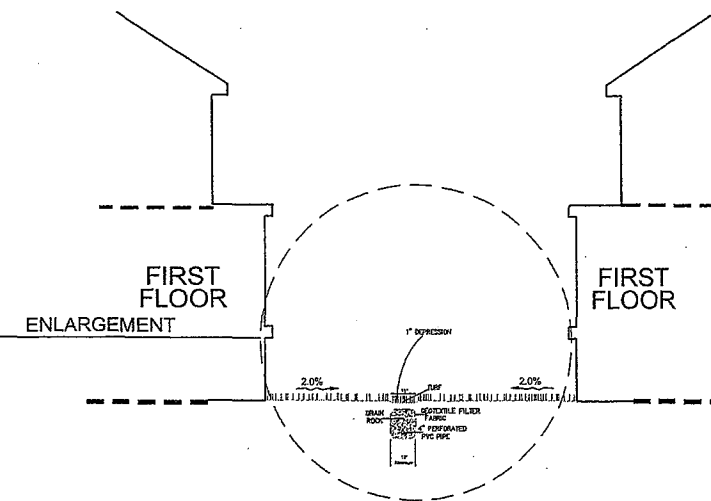


LEGEND

- Project Boundary
- Lot Line
- UD UD Under Drain
- 12X12" Santa Rosa Precast Drain Inlet (Traffic Rated)
- Area Without Treatment In Street
- Overland Release
- Clean Out (typical)
- Storm Drain (10 yr. capacity)
- Clean Out (typical)



TYPICAL SIDE YARD SWALE

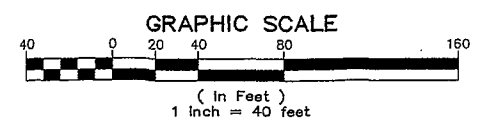


Swale Sizing for Stormwater Treatment Swales per C.3 Criteria:

Individual Lot Side Yard Swales

Average Lot Size: 0.108 ac.
 Drainage Area (A): 0.052 ac.
 Runoff Coefficient (C): 0.30
 Corrected Design Rainfall Intensity (I): 0.175 in/hr
 Flowrate (Q=CIA): 0.009 cfs
 Shape: rectangular
 Depth: 1 in.
 Width: 15.15 in.
 Flowrate: 0.009 cfs
 Slope: 0.0100 ft/ft
 Manning's n: 0.20
 Flow Velocity (Q/A): 0.09 ft/sec
 Minimum Length: 37.8 ft

NOTE:
Underdrain lines are to be offset 3 feet from the house foundations.



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Los Gatos, CA 95030



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San Jose, CA 95126
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REVISION:
REVISION:
DRAWING NAME:

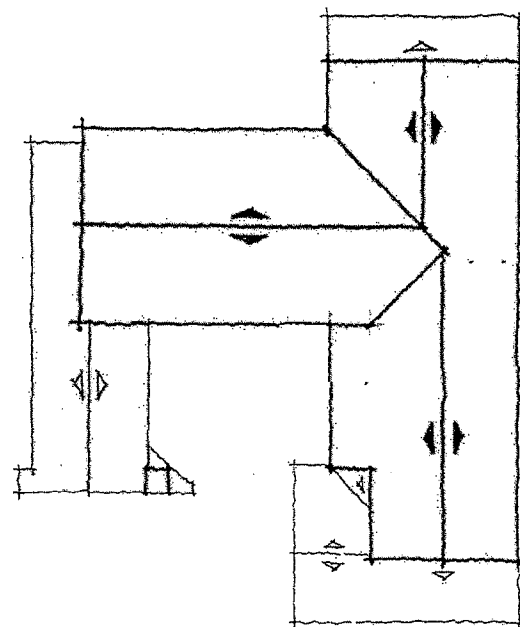
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NORTH
SHEET #: C-4

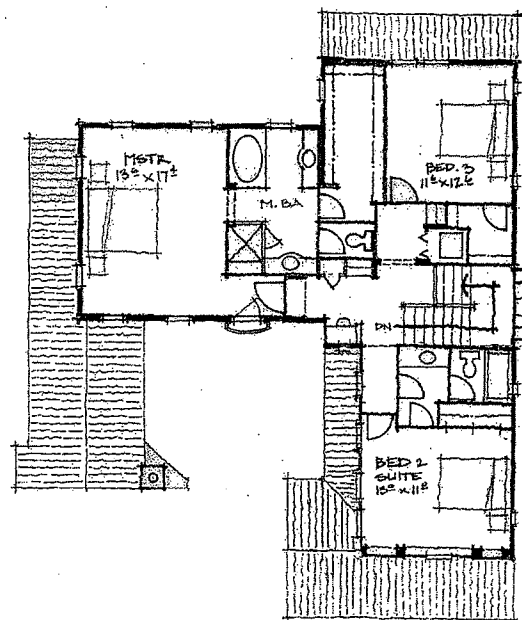
DATE: JAN. 10, 2005

CONCEPTUAL STORM DRAIN PLAN

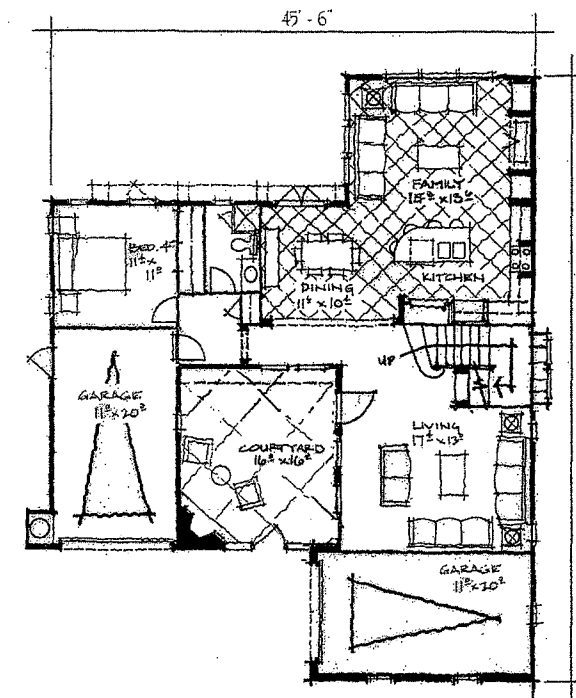




Roof Plan
35 : 12 Roof Pitch Typical



Second Floor
+/- 1101 s.f.



First Floor
+/- 1222 s.f.

Total
+/- 2323 s.f.

Villa Felice



**SANTA CLARA
DEVELOPMENT**
An affiliate of McLaren & Partners Int'l.
2185 The Alameda, Ste. 450
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

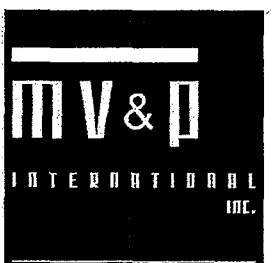
PROJECT #: 03-642

SCALE: 1/8" = 1'-0"

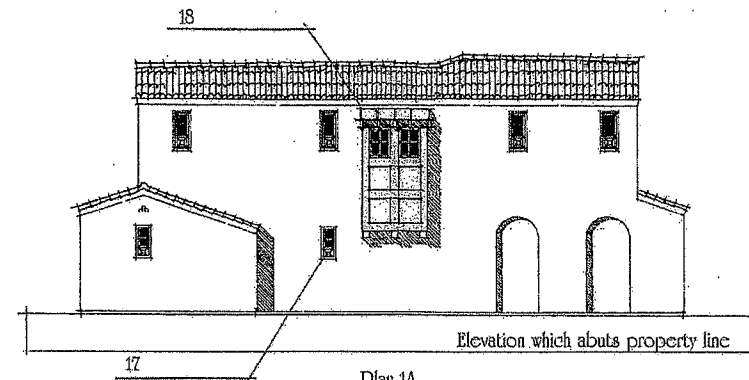
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NORTH
SHEET #: A-1

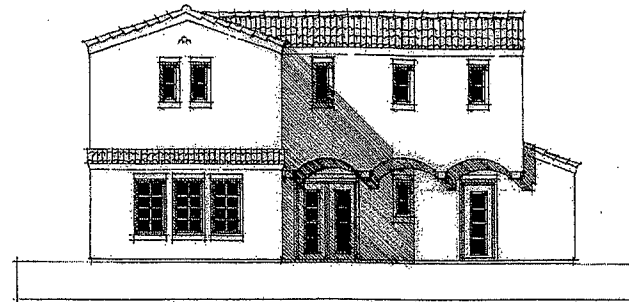
CONCEPTUAL
FLOOR PLANS
PLAN 1



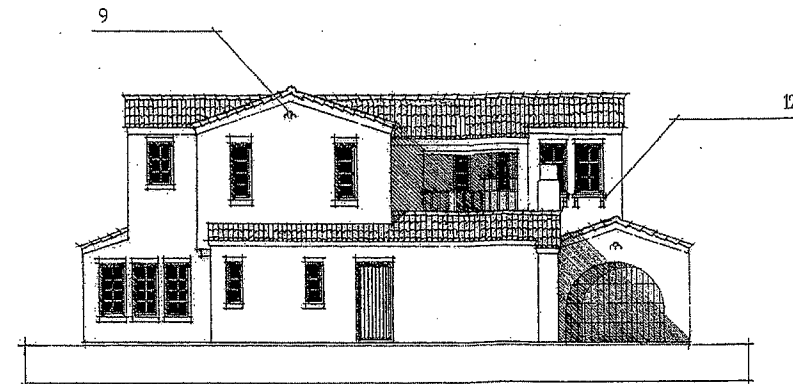
McLarand, Vasquez & Partners Int'l.



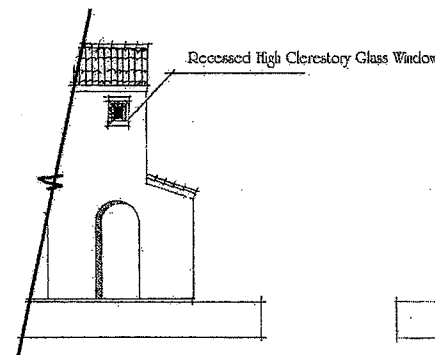
Plan 1A
Right Elevation
Scale : 1/8" = 1' - 0"



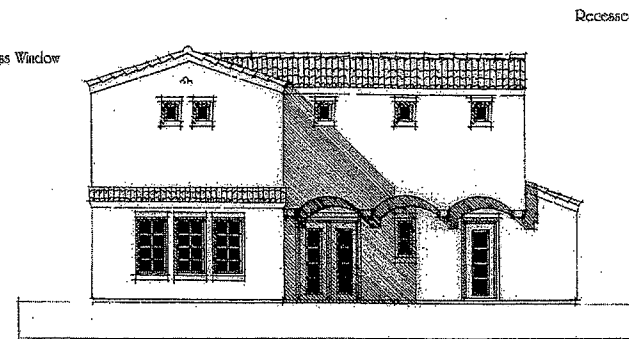
Plan 1A
Rear Elevation
(Elevation plots on all lots except lot 19)
Scale : 1/8" = 1' - 0"



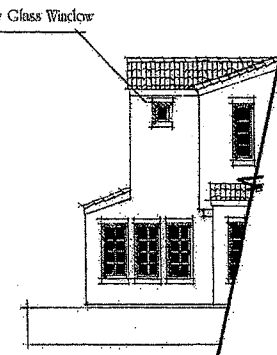
Plan 1A
Left Elevation
Scale : 1/8" = 1' - 0"



Right Elevation, Lot 19



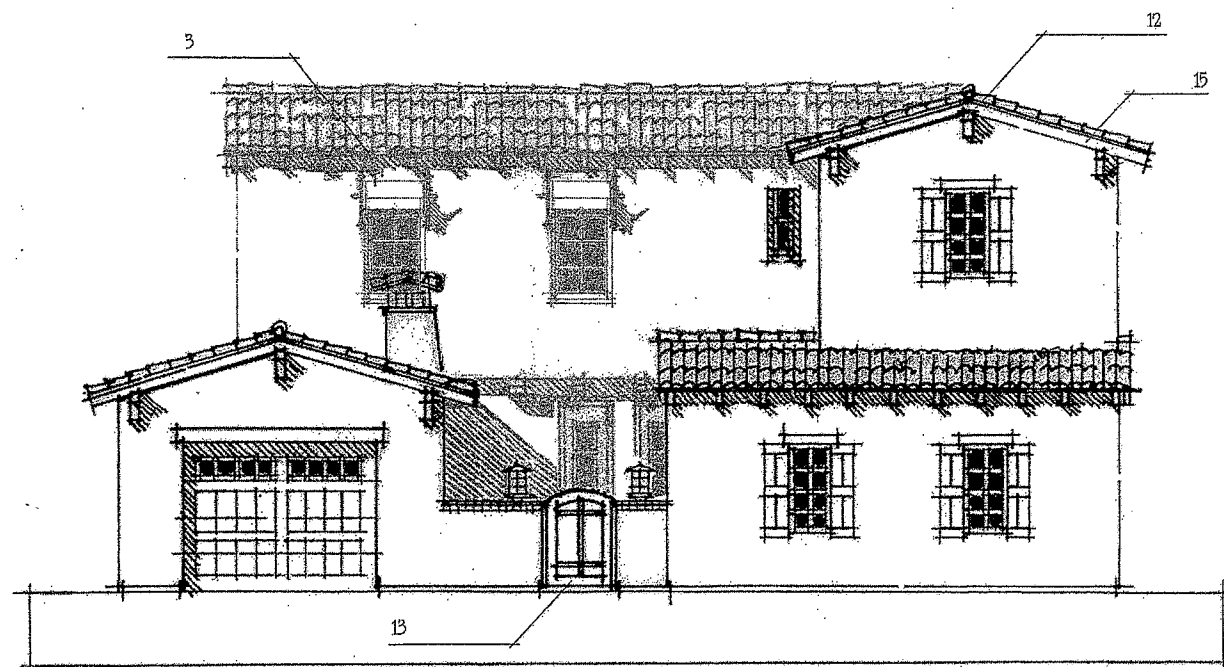
Plan 1A
Rear Elevation, Lot 19
All Second Story Windows with North Orientation are
Recessed High Clerestory Glass Windows.
Scale : 1/8" = 1' - 0"



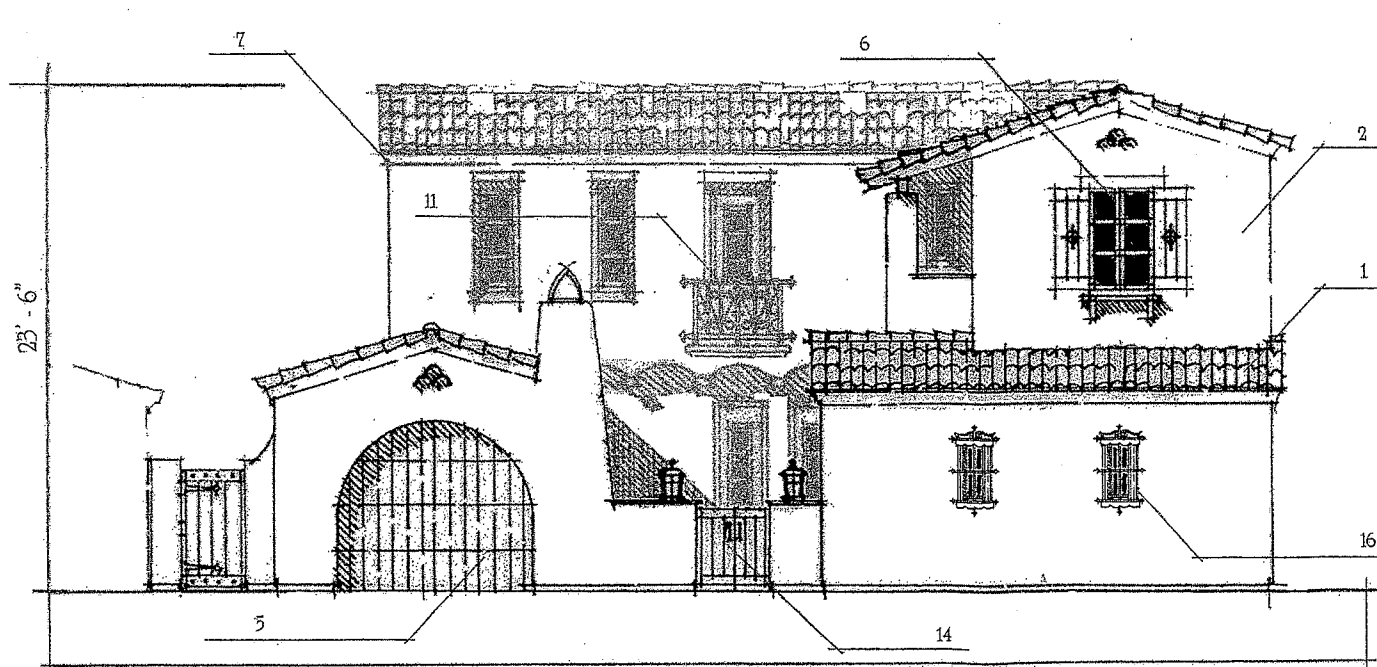
Left Elevation, Lot 19

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awning
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent



Plan 1B
Early California
Scale : 1/4" = 1' - 0"



Plan 1A
Classic Spanish
Scale : 1/4" = 1' - 0"

Villa Felice



SANTA CLARA
DEVELOPMENT
A Division of Robinson Construction
2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1267

DATE: 1.10.07

PROJECT #: 03-642

SCALE:

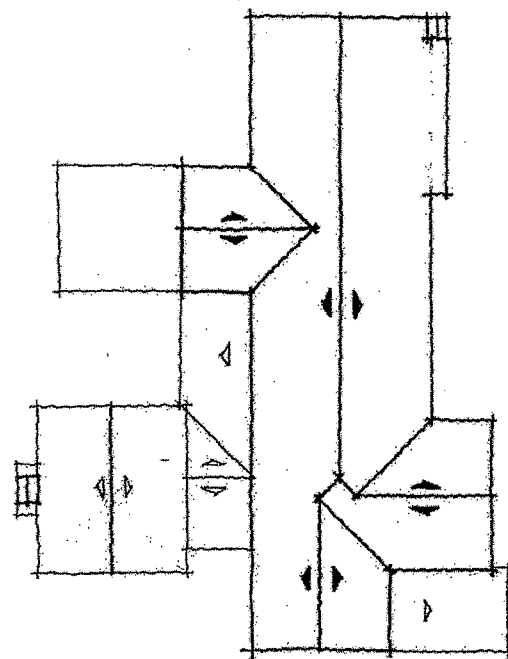
NORTH

SHEET #: A-2

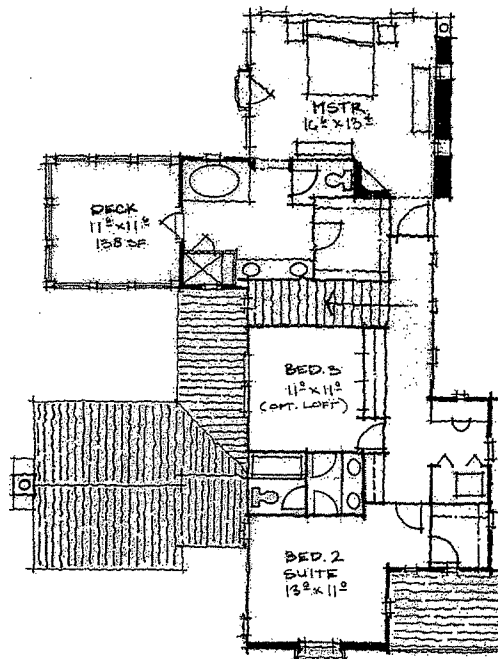
CONCEPTUAL
ELEVATIONS
PLAN 1



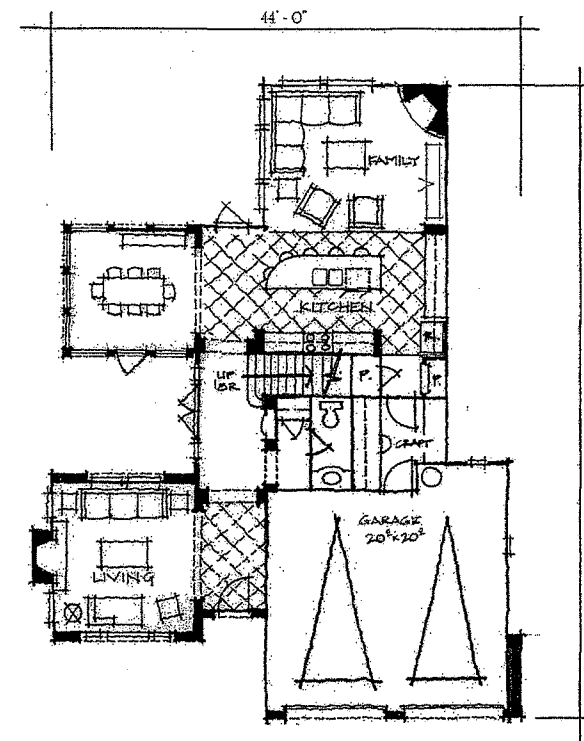
McLarand, Vasquez & Partners Int'l.



Roof Plan
35 : 12 Typical



Second Floor
+/- 1120 s.f.



First Floor
+/- 1230 s.f.

Total
+/- 2350 s.f.

Villa Felice



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DEVELOPMENT**
An affiliate of Faber-Castell

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1267

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SCALE: 1/8" = 1'-0"

0 6 16

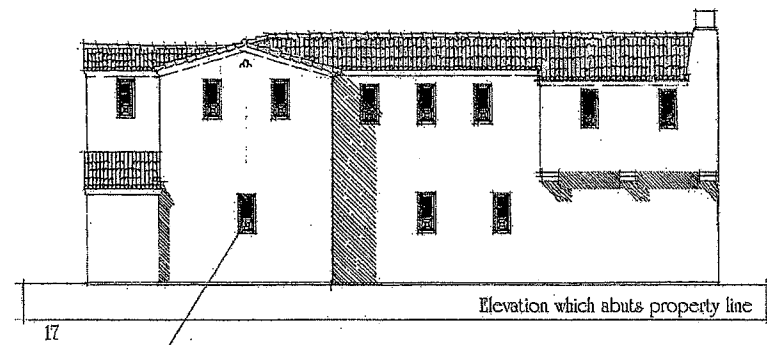
NORTH

SHEET #: A-3

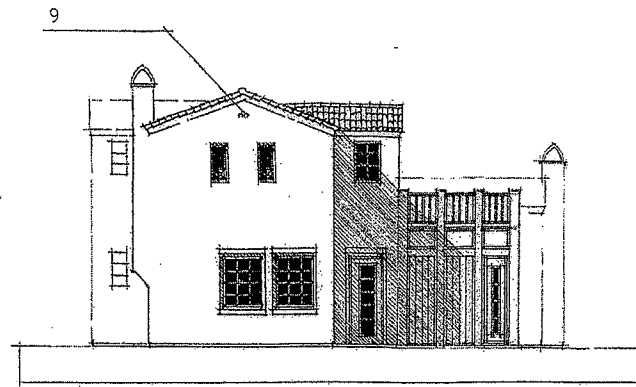
CONCEPTUAL
FLOOR PLANS
PLAN 2



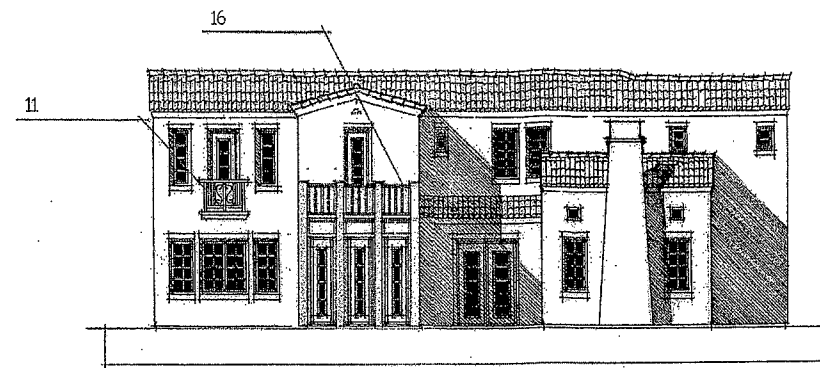
McLarand, Vasquez & Partners Int'l.



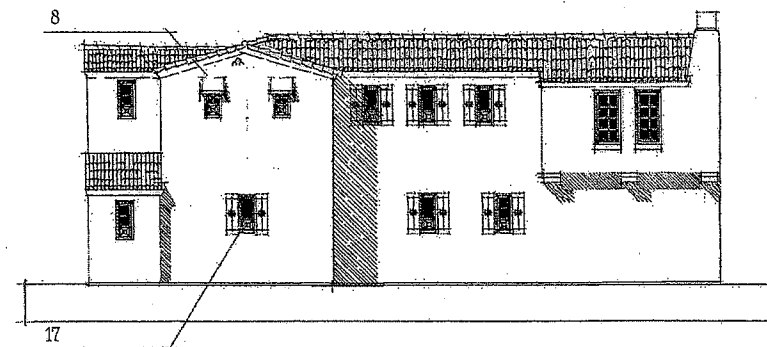
Plan 2A
Right Elevation
Scale: 1/8" = 1' - 0"



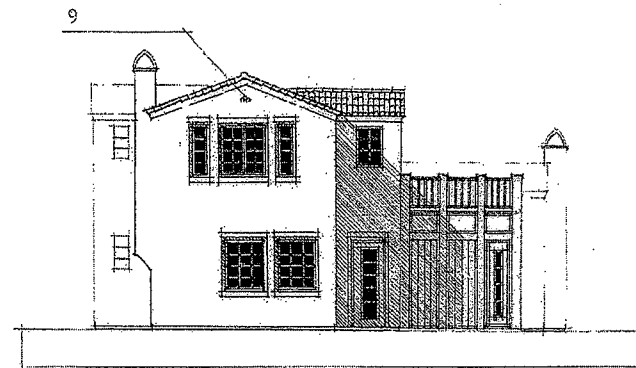
Plan 2A
Rear Elevation
(Elevation plots on all lots except view lots 14 and 16)
Scale: 1/8" = 1' - 0"



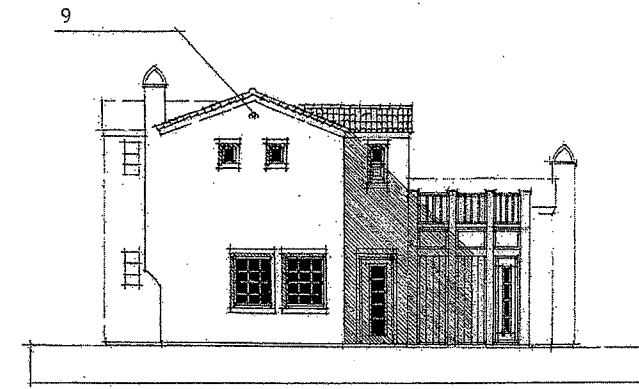
Plan 2A
Left Elevation
Scale: 1/8" = 1' - 0"



Plan 2A
Enhanced Right Elevation for Lot 23
Scale: 1/8" = 1' - 0"



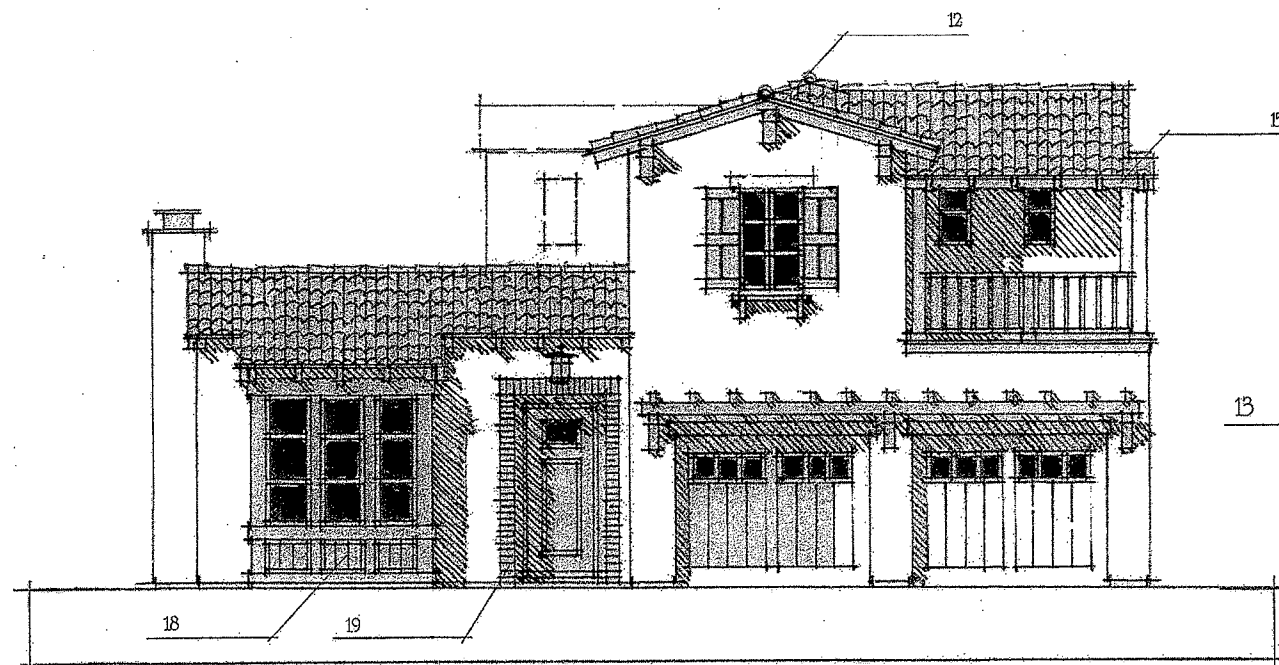
Plan 2A
Rear Elevation
(Showing Rear View Orientation for lots 14 and 16)
lot does not plot on northern boundary
Scale: 1/8" = 1' - 0"



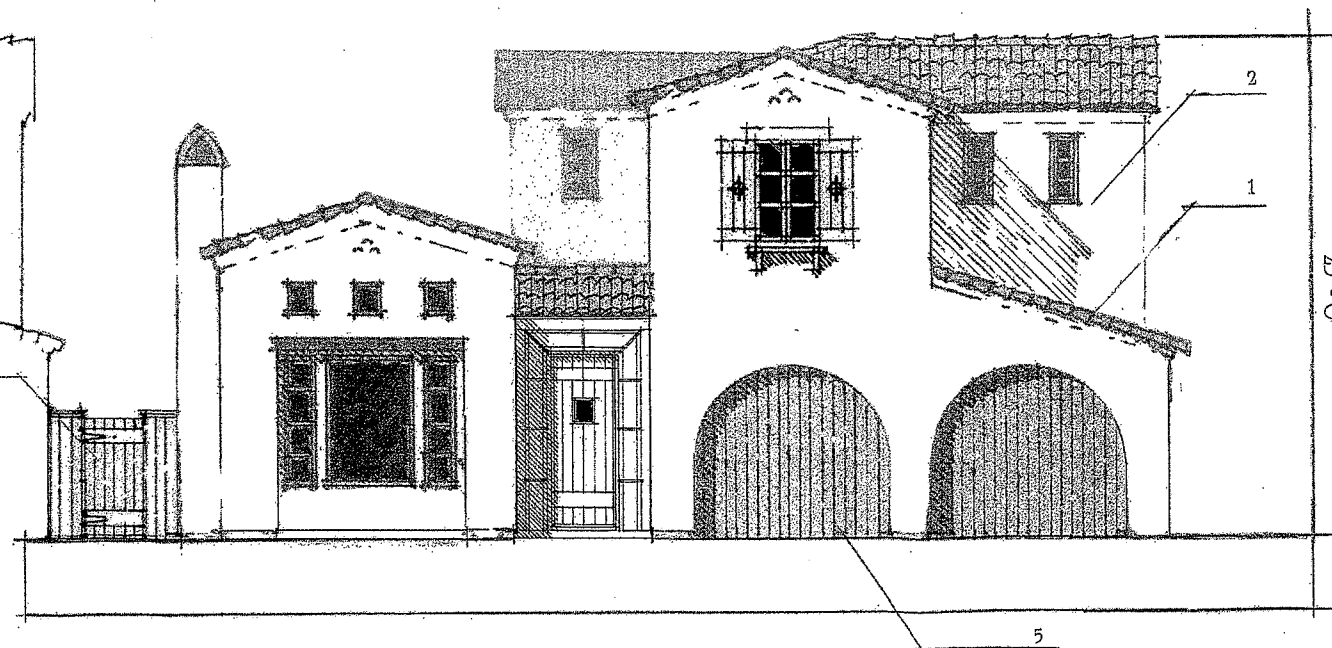
Plan 2A
Rear Elevation, Lot 18
All Second Story Windows with North Orientation are
Recessed High Clerestory Glass Window

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent



Plan 2B
Early California
Scale: 1/4" = 1' - 0"



Plan 2A
Classic Spanish
Scale: 1/4" = 1' - 0"

Villa Felice



**SANTA CLARA
DEVELOPMENT**
An affiliate of Robinson Development

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE:



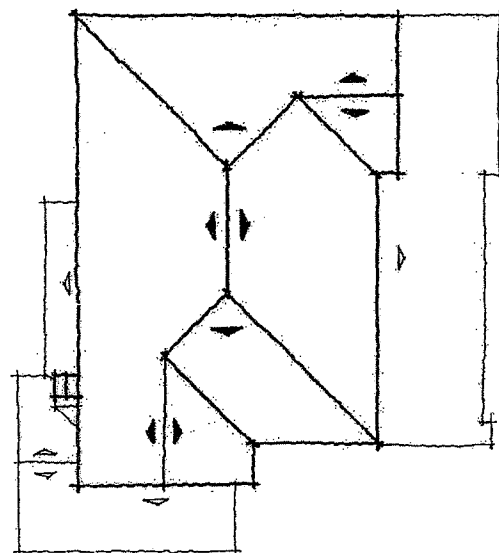
NORTH

SHEET #: A-4

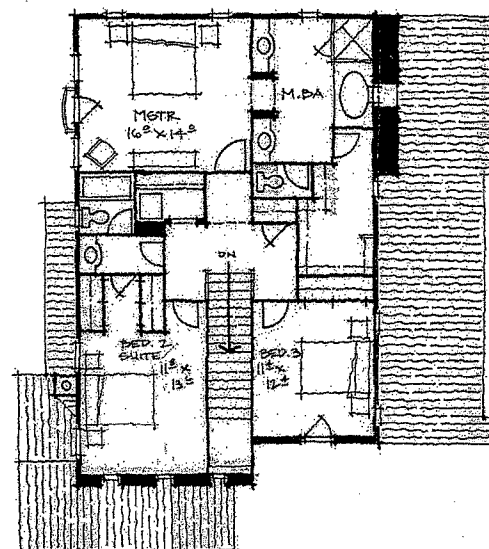
CONCEPTUAL
ELEVATIONS
PLAN 2



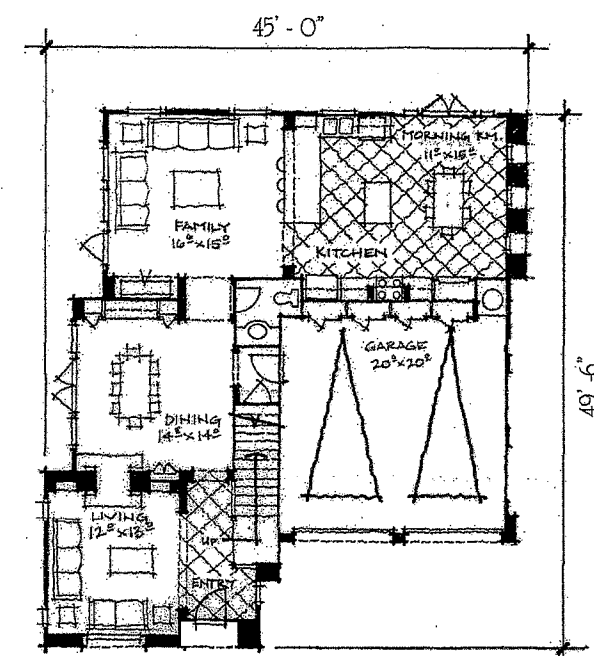
McLarand, Vasquez & Partners Int'l.



Roof Plan
35 : 12 Typical



Second Floor
+/- 1000 s.f.



First Floor
+/- 1310 s.f.

Total
+/- 2410 s.f.

Villa Felice



**SANTA CLARA
DEVELOPMENT**

2185 The Alameda, 8th Fl., 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE: 1/8" = 1'-0"

0 8 16

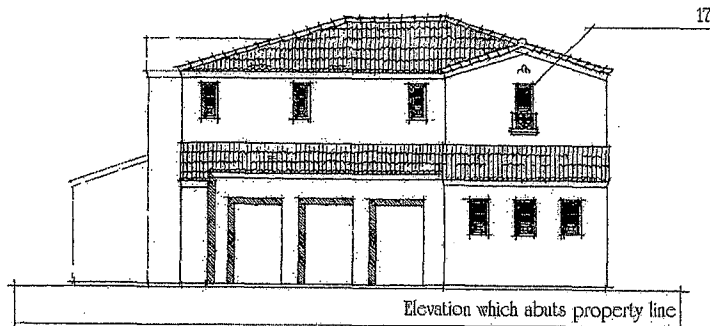
NORTH

SHEET #: A-5

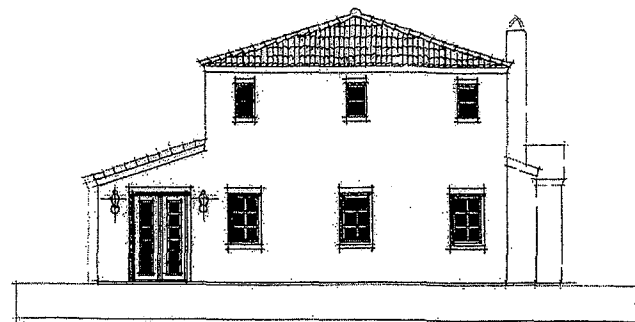
CONCEPTUAL
FLOOR PLANS
PLAN 3



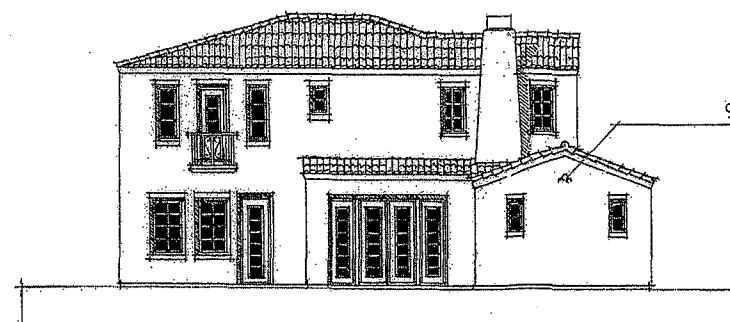
McLarand, Vasquez & Partners Int'l.



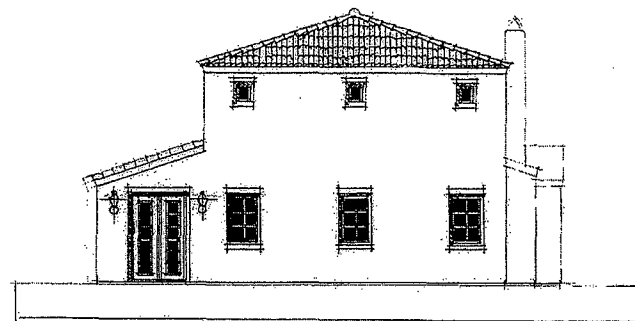
Plan 3A
Right Elevation
Scale: 1/8" = 1' - 0"



Plan 3A
Rear Elevation
(Elevation plots on all lots except lots 17 and 20)
Scale: 1/8" = 1' - 0"



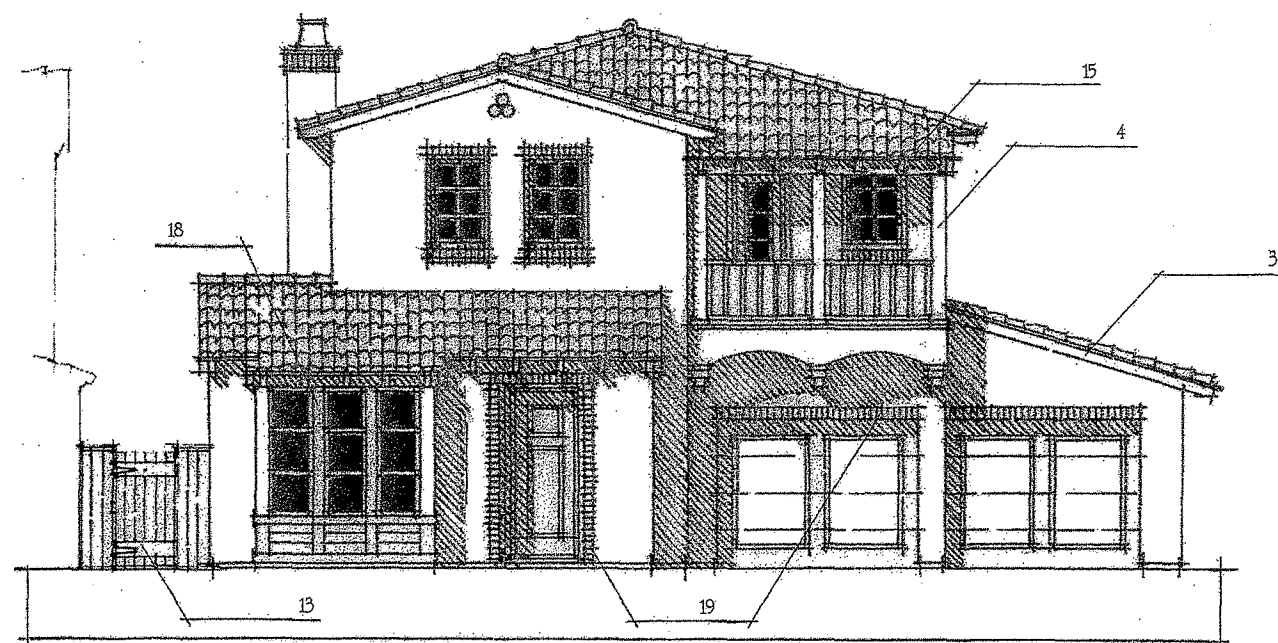
Plan 3A
Left Elevation
Scale: 1/8" = 1' - 0"



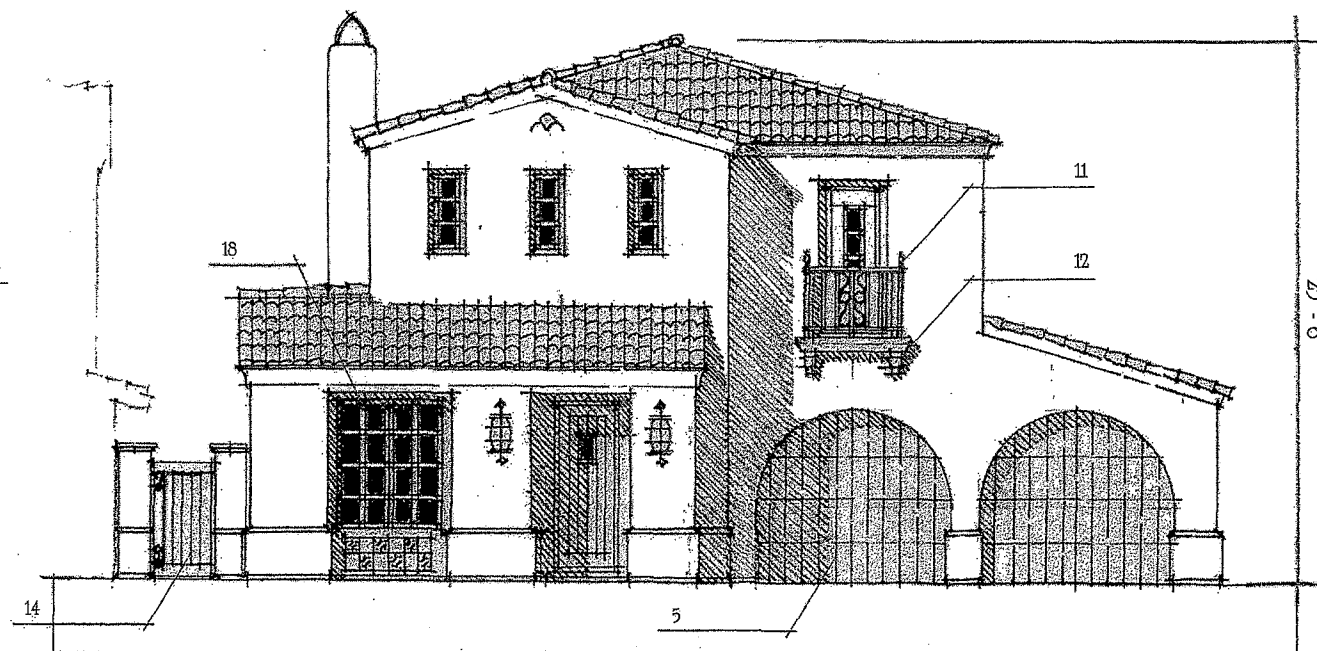
Plan 3A
Rear Elevation, Lot 17 and 20
All Second Story Windows with North Orientation are
Recessed High Clerestory Glass Windows.

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent



Plan 3B
Early California
Scale: 1/4" = 1' - 0"



Plan 3A
Classic Spanish
Scale: 1/4" = 1' - 0"

Villa Felice



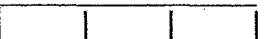
SANTA CLARA
DEVELOPMENT

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE:



NORTH

SHEET #: A-6

CONCEPTUAL
ELEVATIONS
PLAN 3



McLarand, Vasquez & Partners Int'l.

Villa Felice



**SANTA CLARA
DEVELOPMENT**
An Affiliates of The Green Communities

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE: 1/8" = 1'-0"

0 8 16

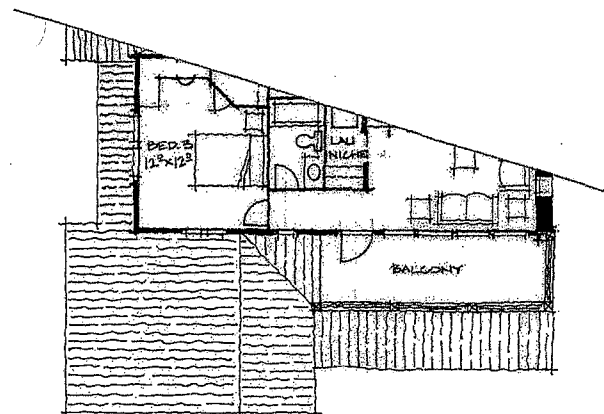
NORTH

SHEET #: A-7

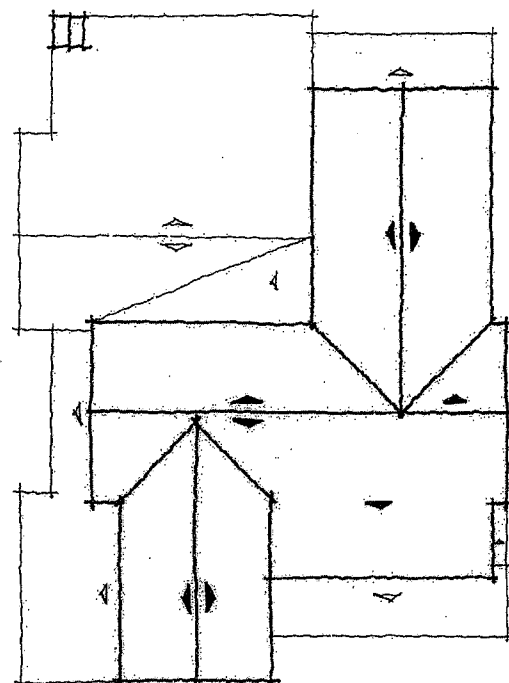
CONCEPTUAL
FLOOR PLANS
Plan 4A & 4B



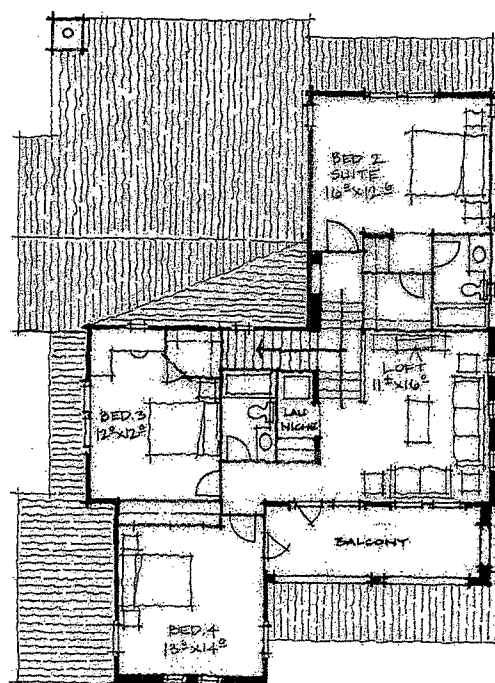
McLarand, Vasquez & Partners Int'l.



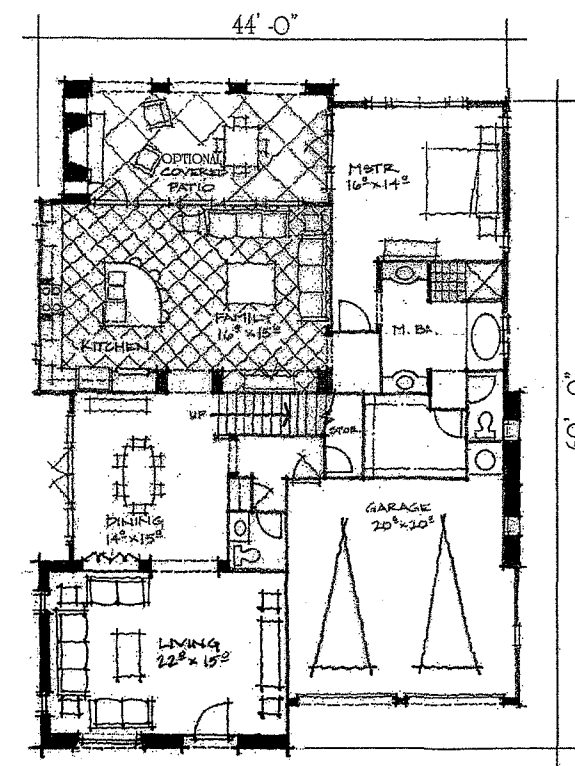
Second Floor
Plan 4B
+/- 896 s.f.



Roof Plan
3.5 : 12 Roof Pitch Typical

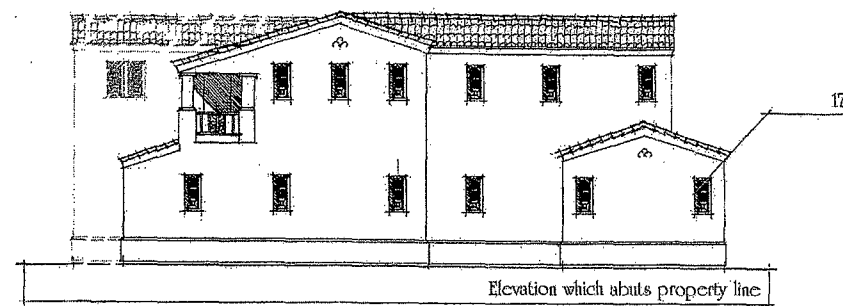


Second Floor
Plan 4A
+/- 1205 s.f.

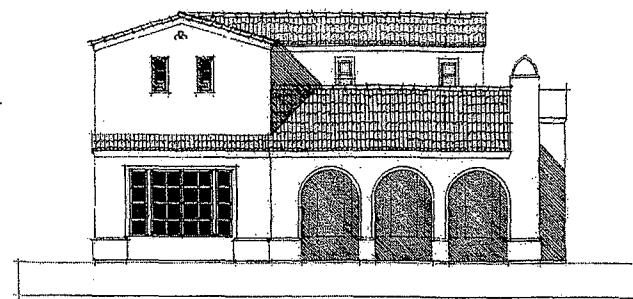


First Floor
Plan 4A & 4B
+/- 1816 s.f.

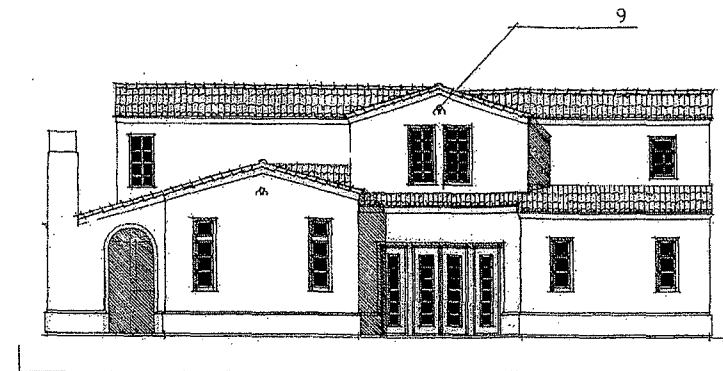
Total s.f.
Plan 4A : +/- 2943 s.f.
Plan 4B : +/- 2712 s.f.



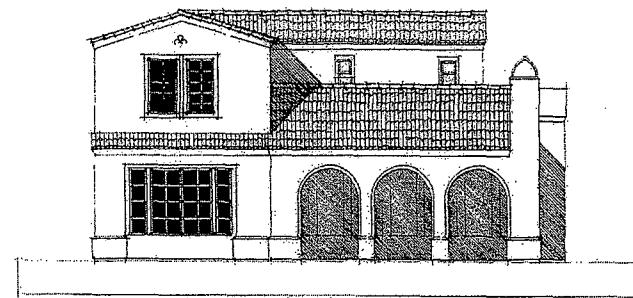
Plan 4A
Right Elevation
Scale : 1/8" = 1' - 0"



Plan 4A
Rear Elevation
(Elevation plots on all lots except view lots 13 and 15)
Scale : 1/8" = 1' - 0"



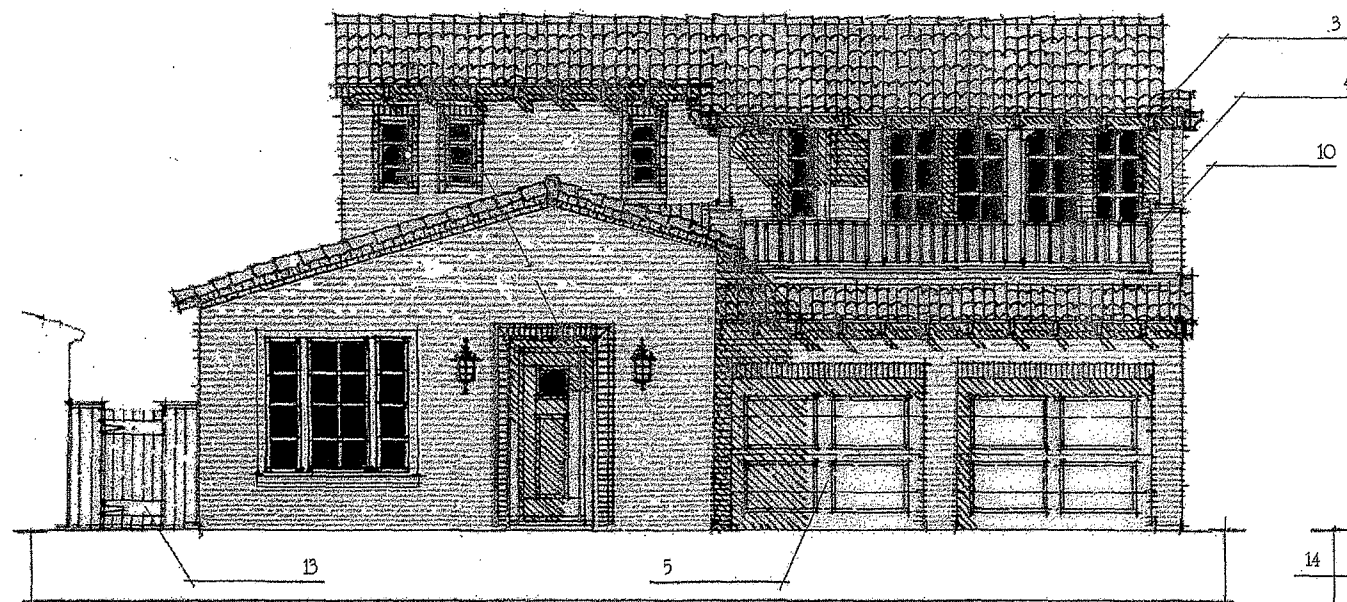
Plan 4A
Left Elevation
Scale : 1/8" = 1' - 0"



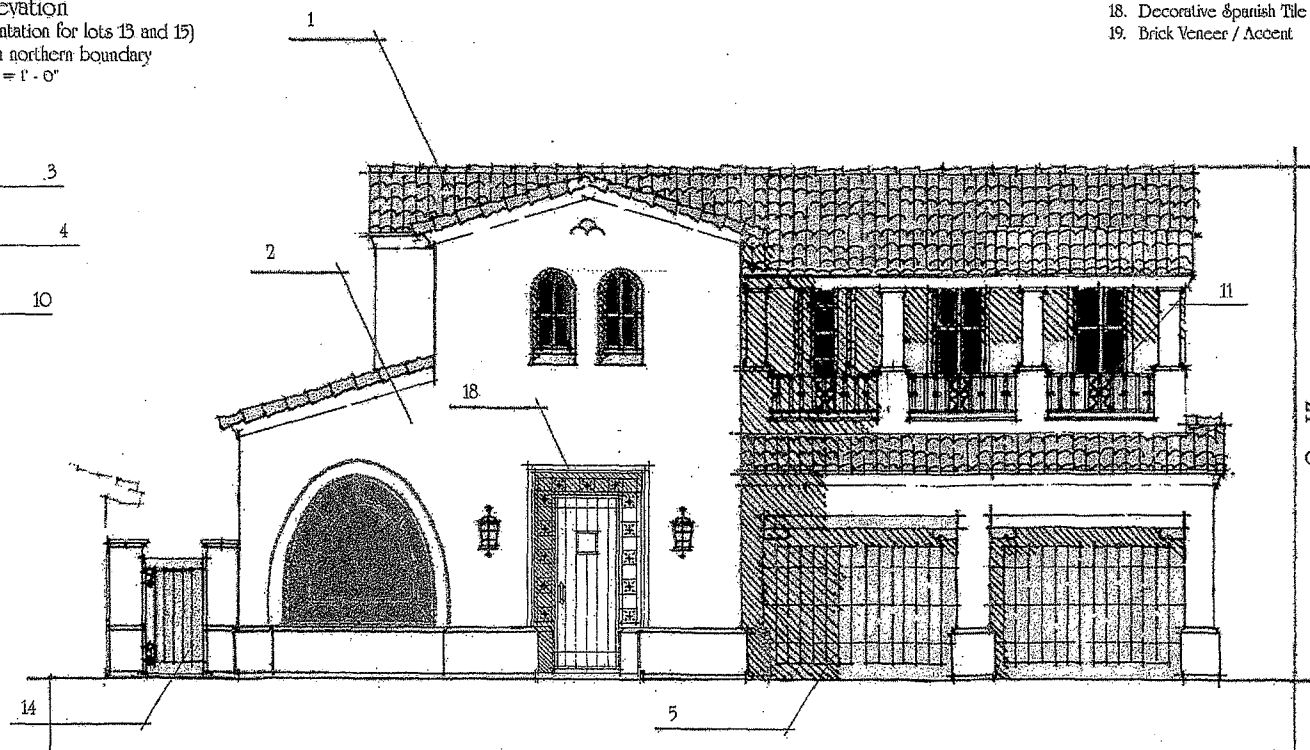
Plan 4A
Rear Elevation
(Showing Rear View Orientation for lots 13 and 15)
lot does not plot on northern boundary
Scale : 1/8" = 1' - 0"

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Deck
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Decorative Spanish Tile
19. Brick Veneer / Accent



Plan 4B
Early California
Scale : 1/4" = 1' - 0"



Plan 4A
Classic Spanish
Scale : 1/4" = 1' - 0"

Villa Felice



SANTA CLARA
DEVELOPMENT
An affiliate of Redwood Communities

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE:

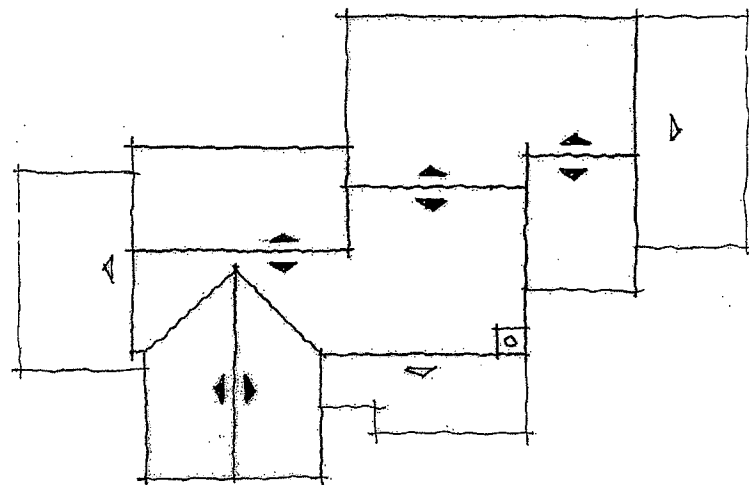
NORTH

SHEET #: A-8

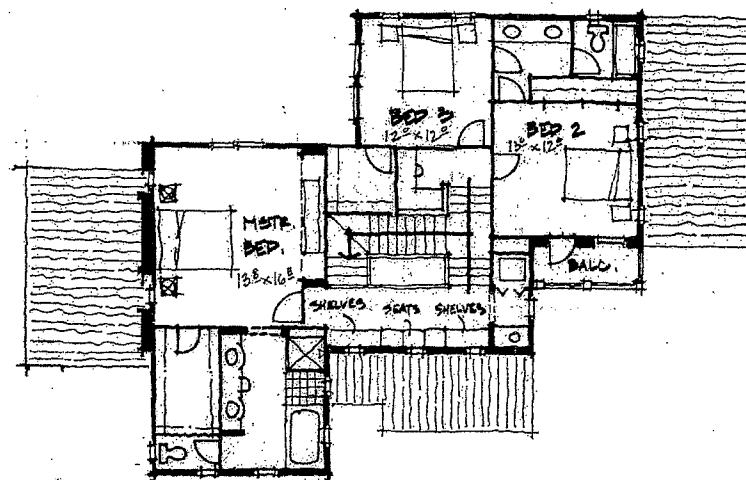
CONCEPTUAL
ELEVATIONS
PLAN 4



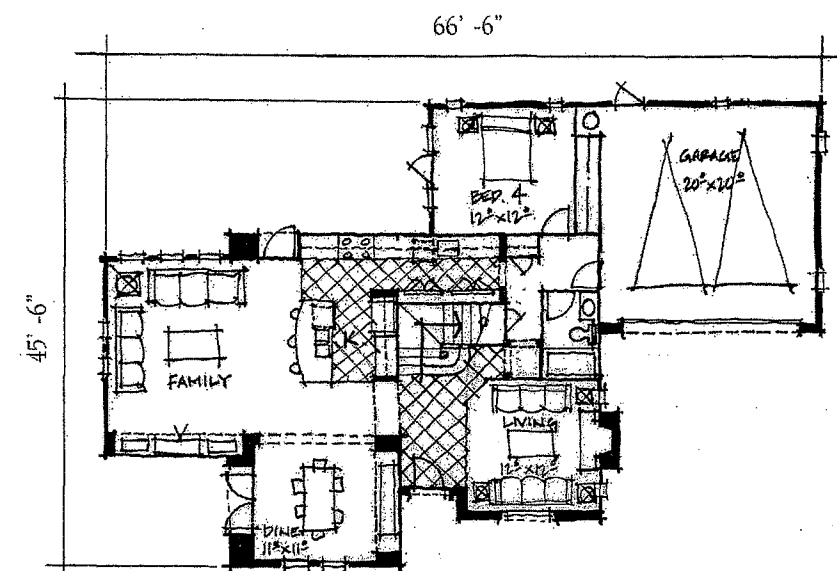
McLarand, Vasquez & Partners Int'l.



Roof Plan
35 : 12 Roof Pitch Typical



Second Floor
+/- 1200 s.f.



First Floor
+/- 1400 s.f.

Total
+/- 2600 s.f.

Villa Felice



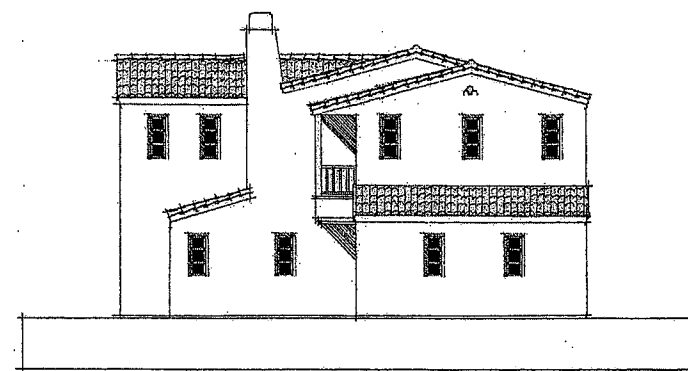
**SANTA CLARA
DEVELOPMENT**
An affiliate of Robinson Construction
2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE:	1.10.05	
PROJECT #:	03-642	
SCALE:	1/8" = 1'-0"	
0	8	16

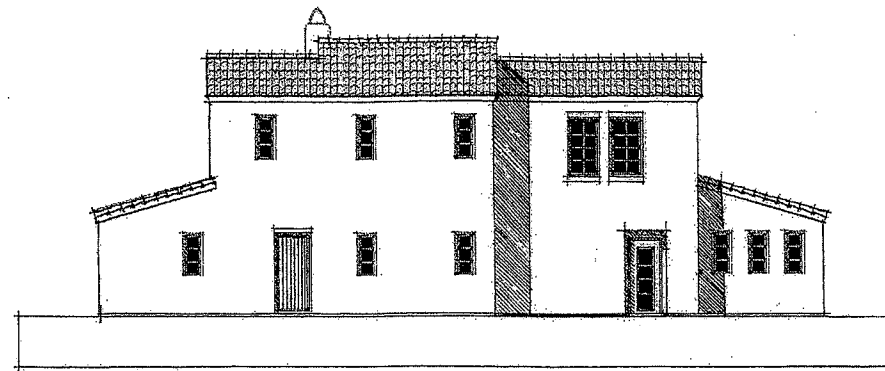
NORTH
SHEET #: A - 9

CONCEPTUAL
FLOOR PLANS
PLAN 5

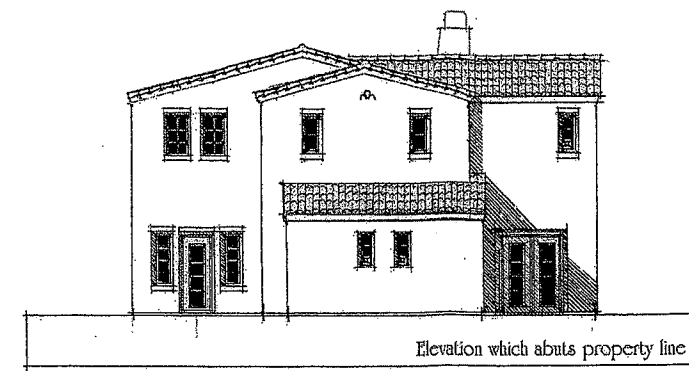




Right Elevation
Scale : 1/8" = 1' - 0"



Rear Elevation
Scale : 1/8" = 1' - 0"

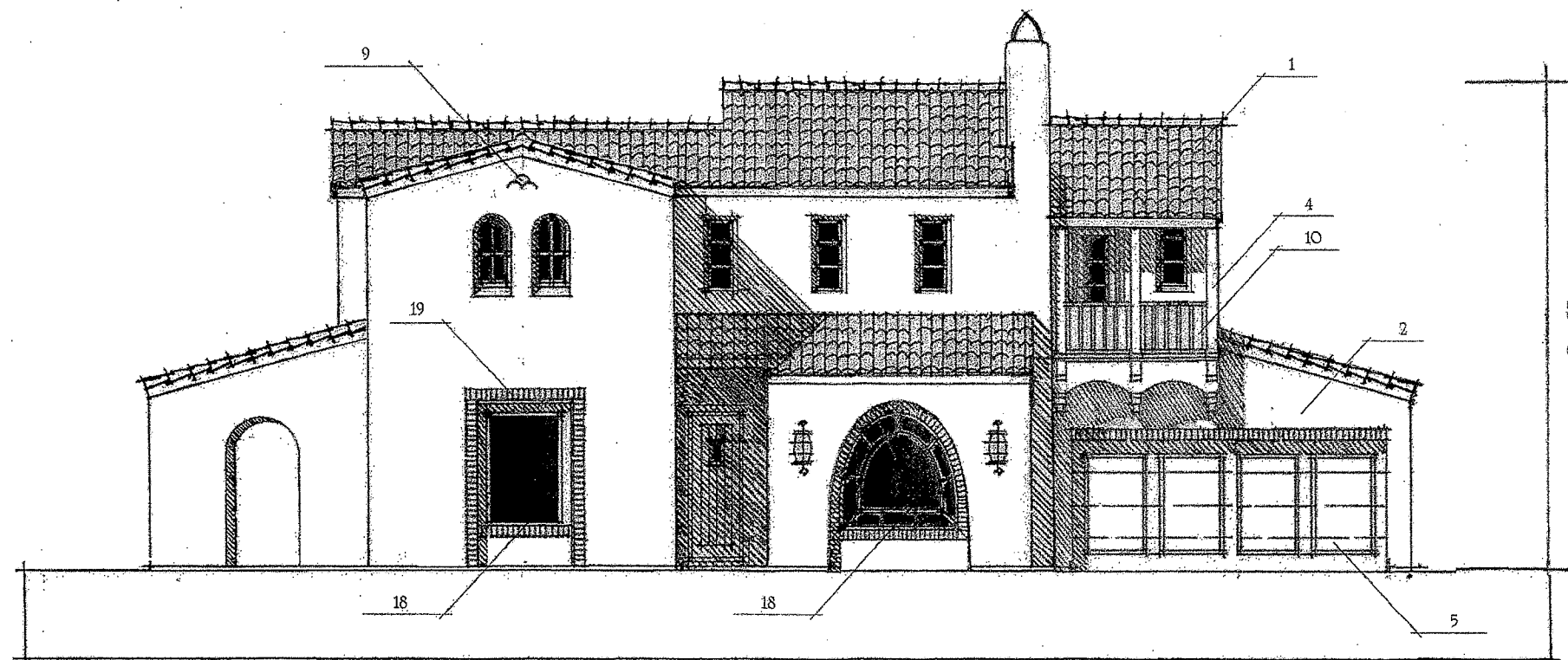


Left Elevation
Scale : 1/8" = 1' - 0"

Elevation which abuts property line

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent



Front Elevation
Scale : 1/4" = 1' - 0"



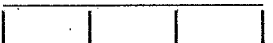
**SANTA CLARA
DEVELOPMENT**
An affiliate of Rubicon Companies

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.03

PROJECT #: 03-642

SCALE:



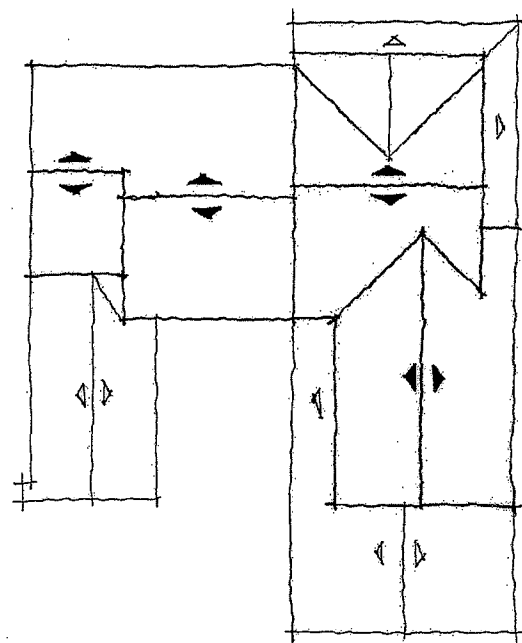
NORTH

SHEET #: A - 10

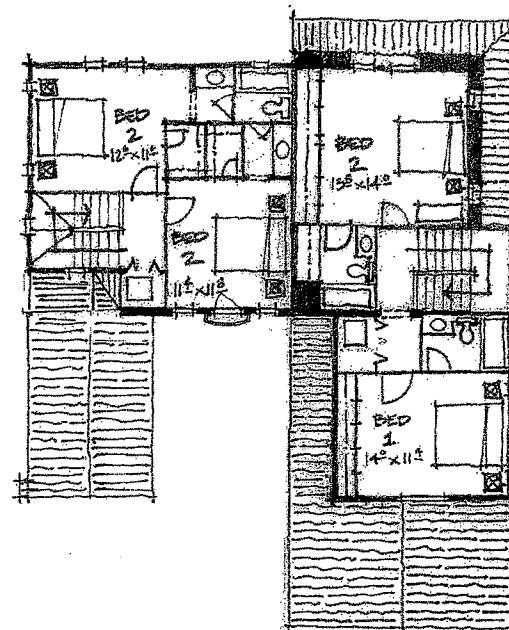
CONCEPTUAL
ELEVATIONS
PLAN 5



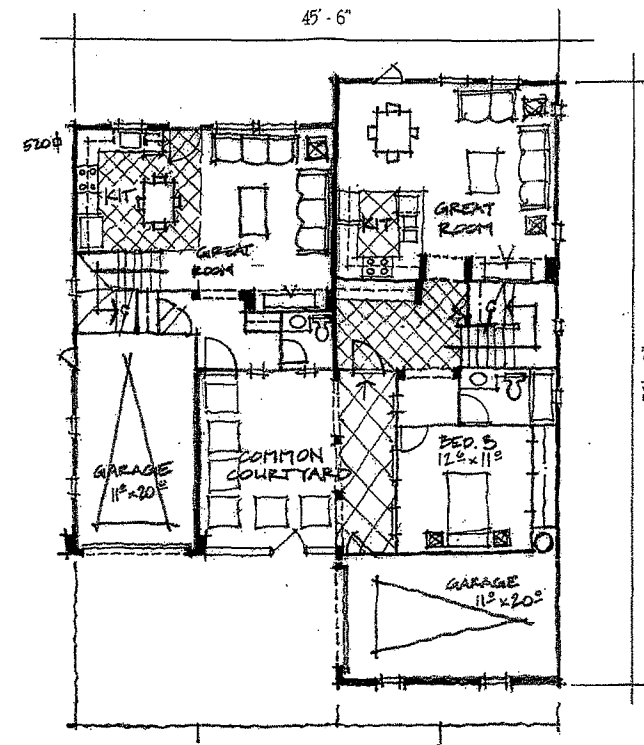
McLarand, Vasquez & Partners Int'l.



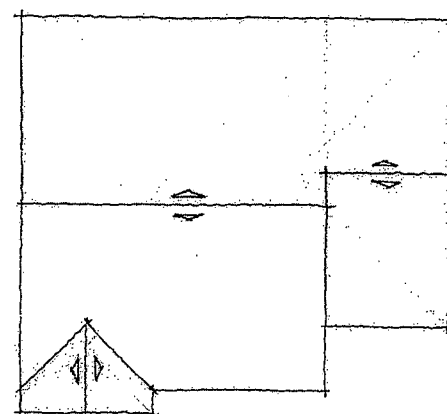
Attached BMR
Roof Plan
35 : 12 Roof Pitch Typical



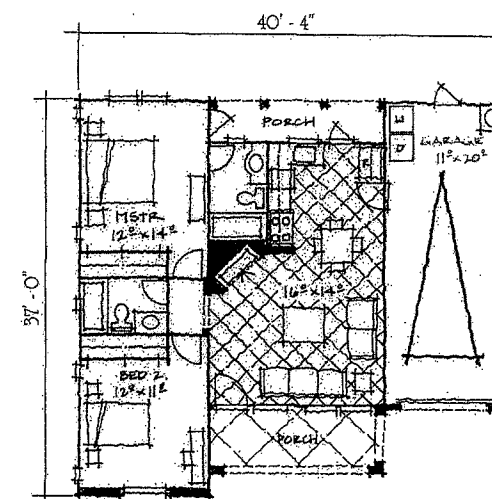
BMP 7 BMP 8
Second Floor
BMP 7 : +/- 508 s.f.
BMP 8 : +/- 632 s.f.



BMP 7 BMP 8
First Floor
BMP 7 : +/- 522 s.f.
BMP 8 : +/- 852 s.f.



BMP 6
Roof Plan
35 : 12 Roof Pitch Typical



BMP 6
Floor Plan

Total s.f.
BMP 6 : +/- 846 s.f.
BMP 7 : +/- 1030 s.f.
BMP 8 : +/- 1484 s.f.

Villa Felice



SANTA CLARA
DEVELOPMENT

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE: 1/8" = 1'-0"

0 8 16

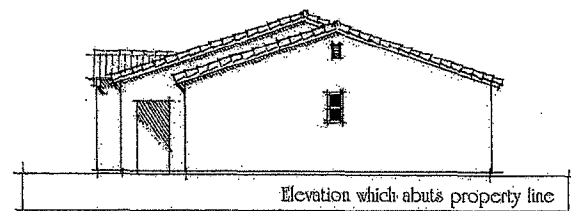
NORTH

SHEET #: A - 11

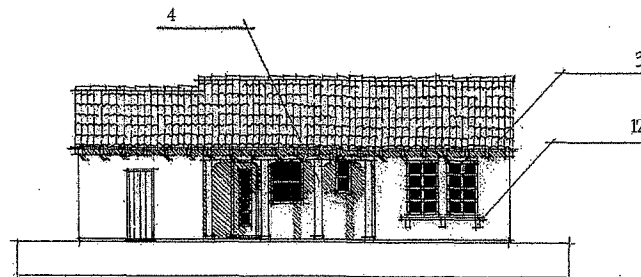
CONCEPTUAL
FLOOR PLANS
BMP PLANS



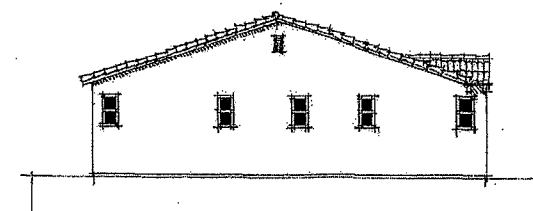
McLarand, Vasquez & Partners Int'l.



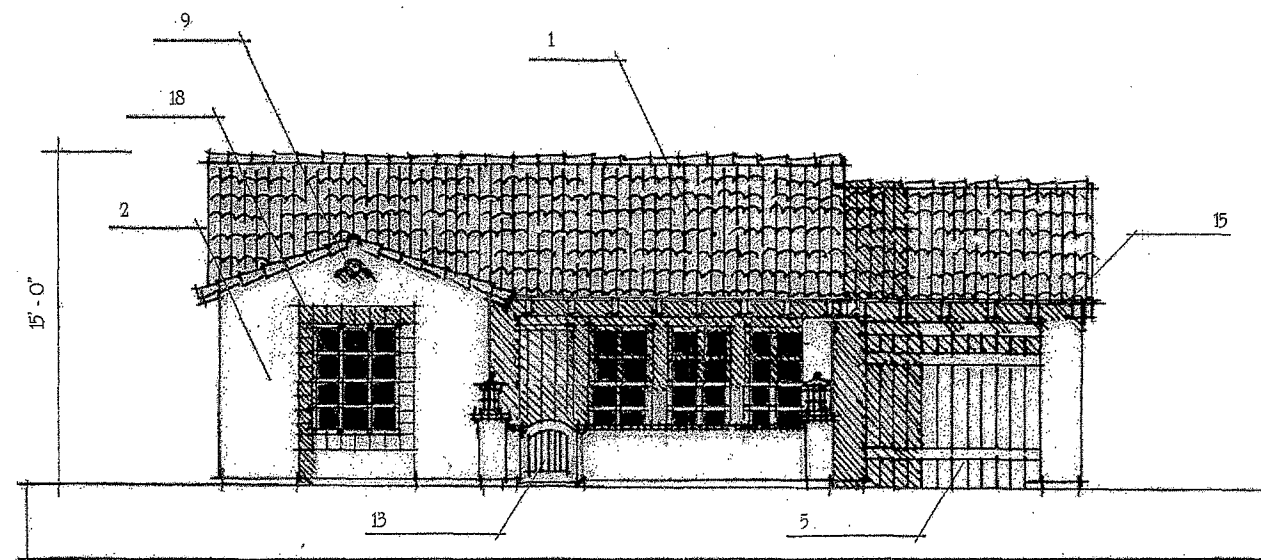
BMP 6
Right Elevation
Scale : 1/8" = 1' - 0"



BMP 6
Rear Elevation
Scale : 1/8" = 1' - 0"



BMP 6
Left Elevation
Scale : 1/8" = 1' - 0"



BMP 6
Front Elevation
Scale : 1/4" = 1' - 0"

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent

Villa Felice



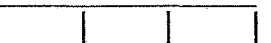
**SANTA CLARA
DEVELOPMENT**
An affiliate of The Santa Clara Group

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE:



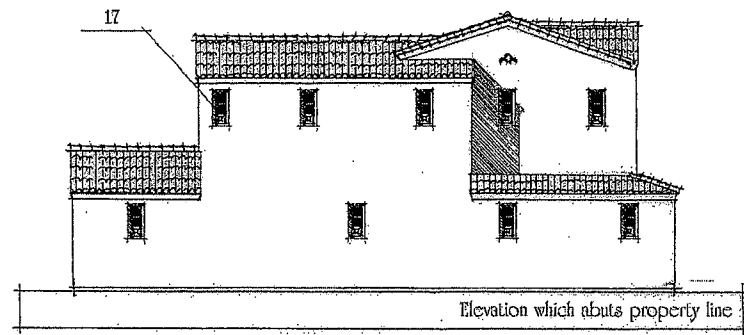
NORTH

SHEET #: A - 12

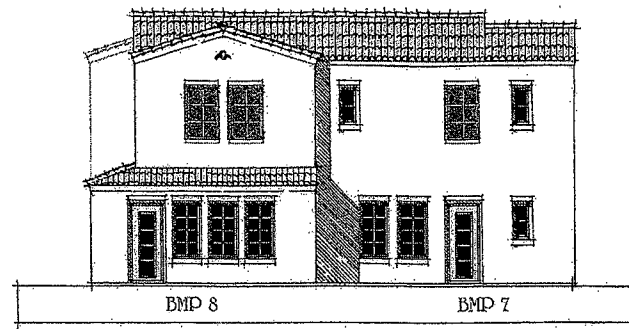
CONCEPTUAL
ELEVATIONS
SINGLE STORY
BMP 6 PLAN



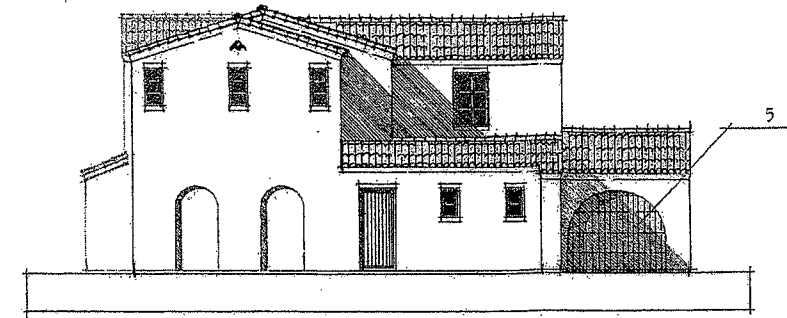
McLarand, Vasquez & Partners Int'l.



BMP 8
Right Elevation
Scale: 1/8" = 1' - 0"



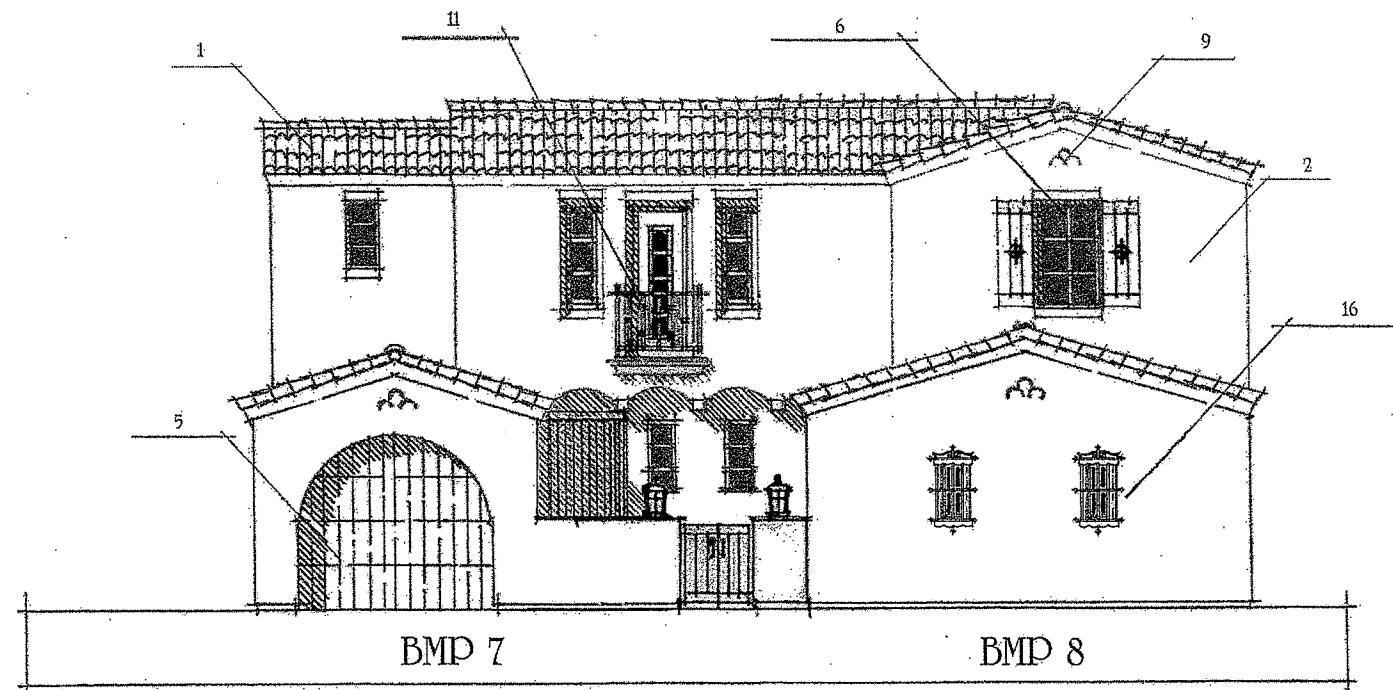
Rear Elevation
Scale: 1/8" = 1' - 0"



BMP 7
Left Elevation
Scale: 1/8" = 1' - 0"

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awning
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent



Front Elevation
Scale: 1/4" = 1' - 0"



**SANTA CLARA
DEVELOPMENT**
An Office of Planning Consultants

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1267

DATE: 1.10.05

PROJECT #: 03-642

SCALE:



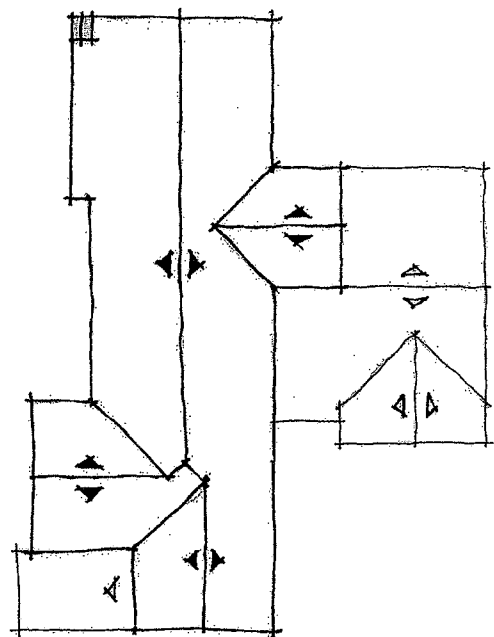
NORTH

SHEET #: A-13

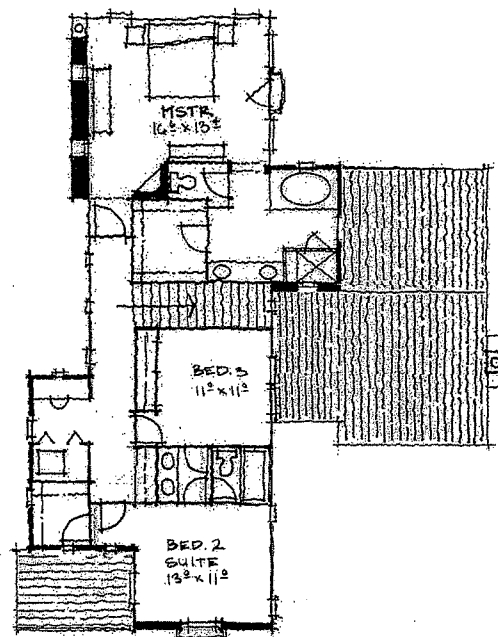
CONCEPTUAL
ELEVATIONS
PLAN BMP 7 & 8



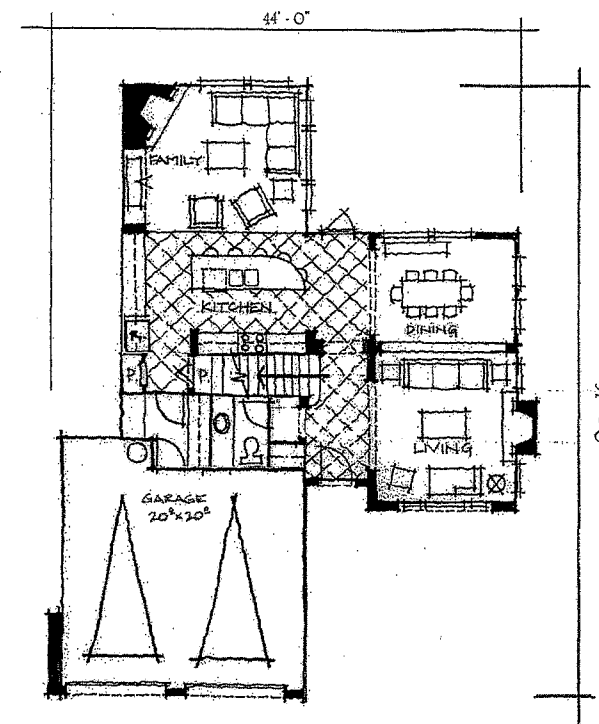
McLarand, Vasquez & Partners Int'l.



Roof Plan
35 : 12 Typical



Second Floor
+/- 1065 s.f.



First Floor
+/- 1100 s.f.

Total
+/- 2165 s.f.

Villa Felice



**SANTA CLARA
DEVELOPMENT**
An affiliate of Robert Construction
2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE: 1/8" = 1'-0"

0 8 16

NORTH

SHEET #: A-14

CONCEPTUAL
FLOOR PLANS
PLAN 9



McLarand, Vasquez & Partners Int'l.

Villa Felice



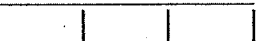
**SANTA CLARA
DEVELOPMENT**
An Office of Robison Communities

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

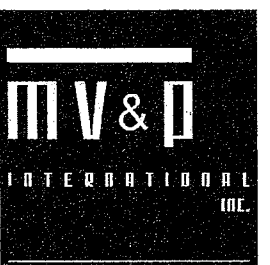
SCALE:



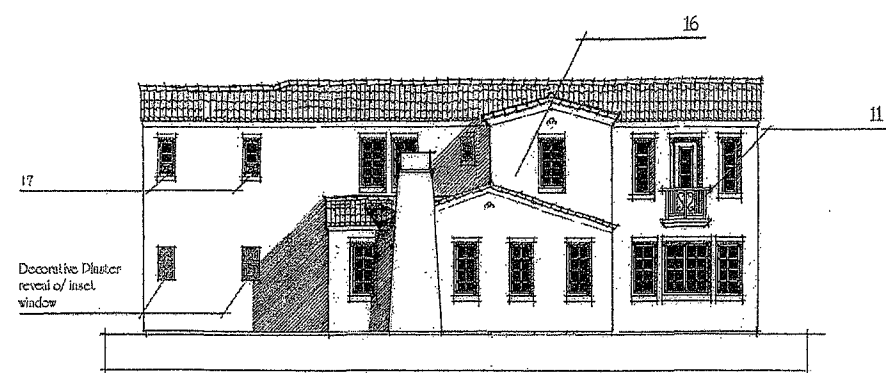
NORTH

SHEET #: A-15

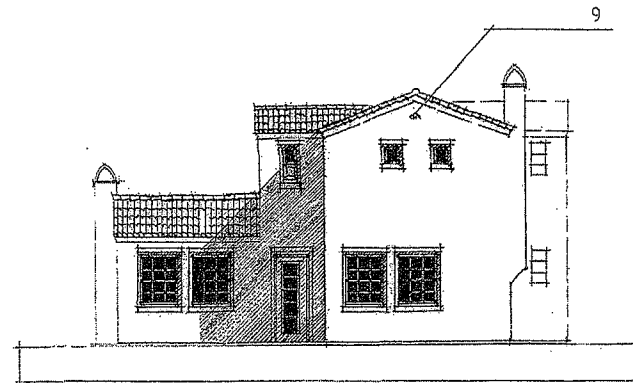
CONCEPTUAL
ELEVATIONS
PLAN 9



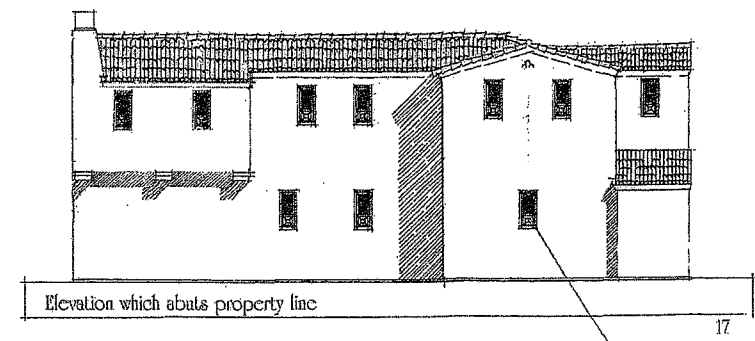
McLarand, Vasquez & Partners Int'l.



Right Elevation
Scale: 1/8" = 1' - 0"



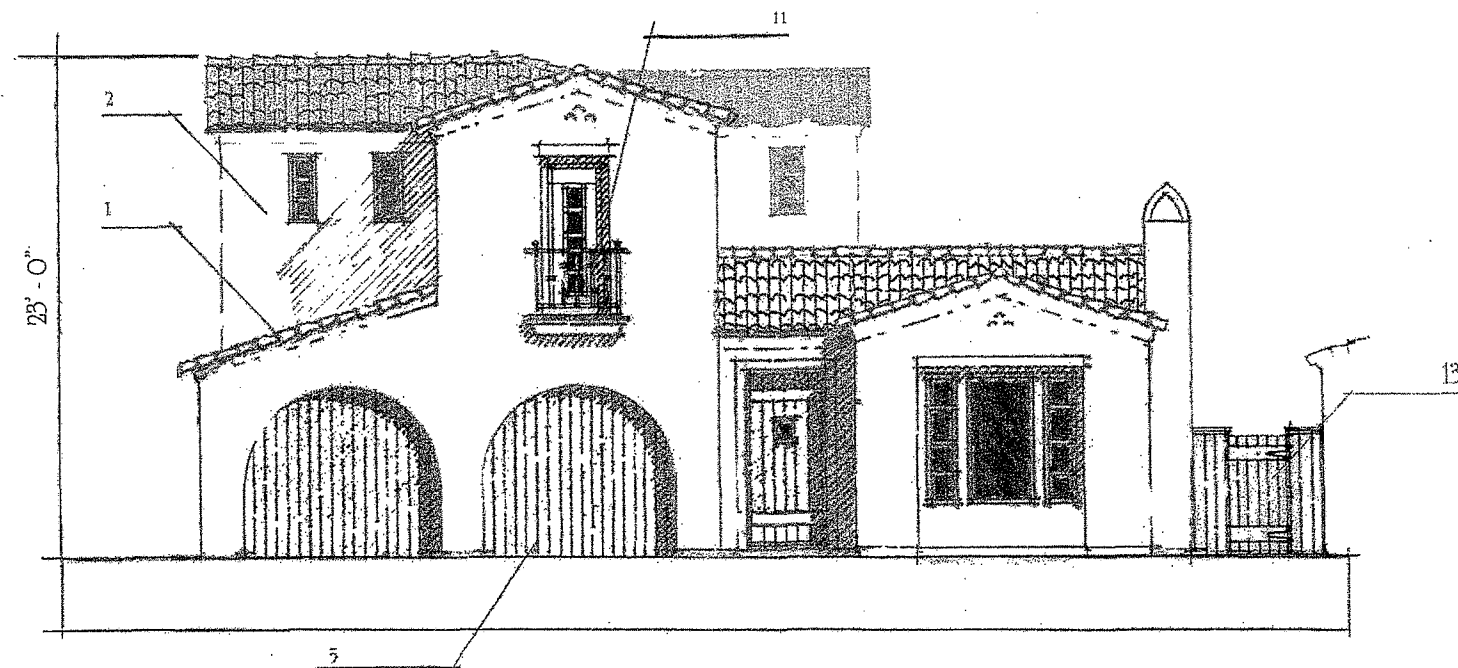
Rear Elevation
Scale: 1/8" = 1' - 0"



Left Elevation
Scale: 1/8" = 1' - 0"

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awning
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent

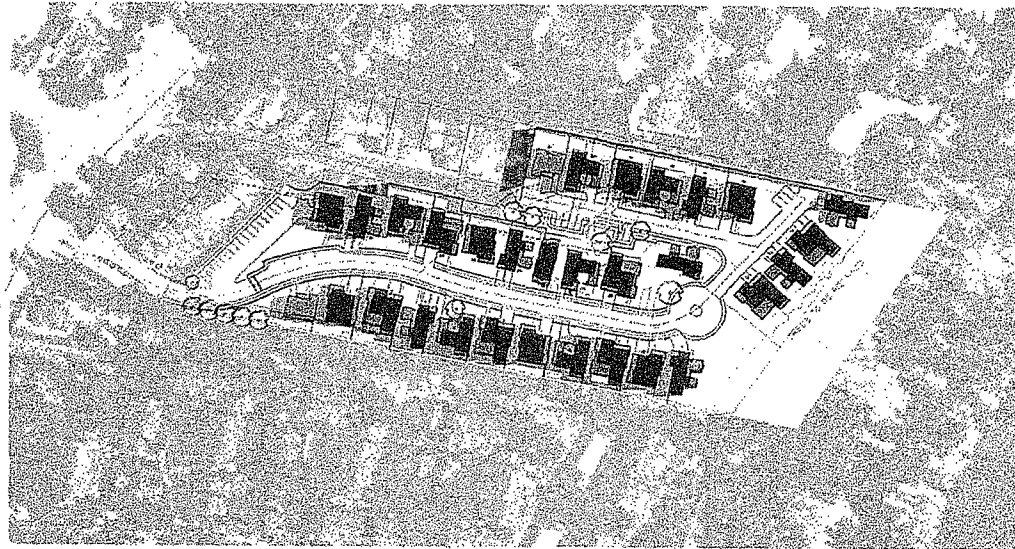


Front Elevation
Scale: 1/4" = 1' - 0"

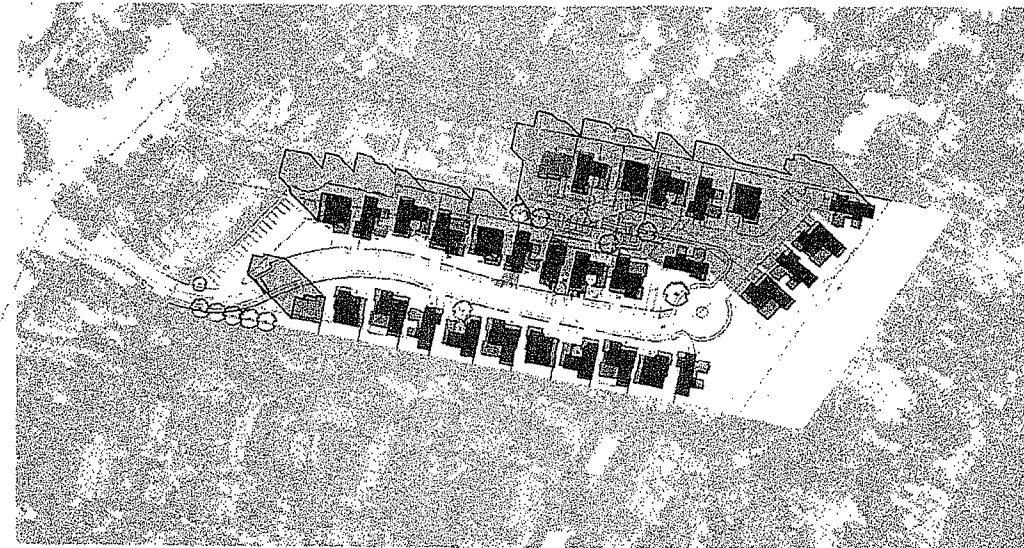
Summer Solstice (Jun. 21)

Winter Solstice (Dec. 21)

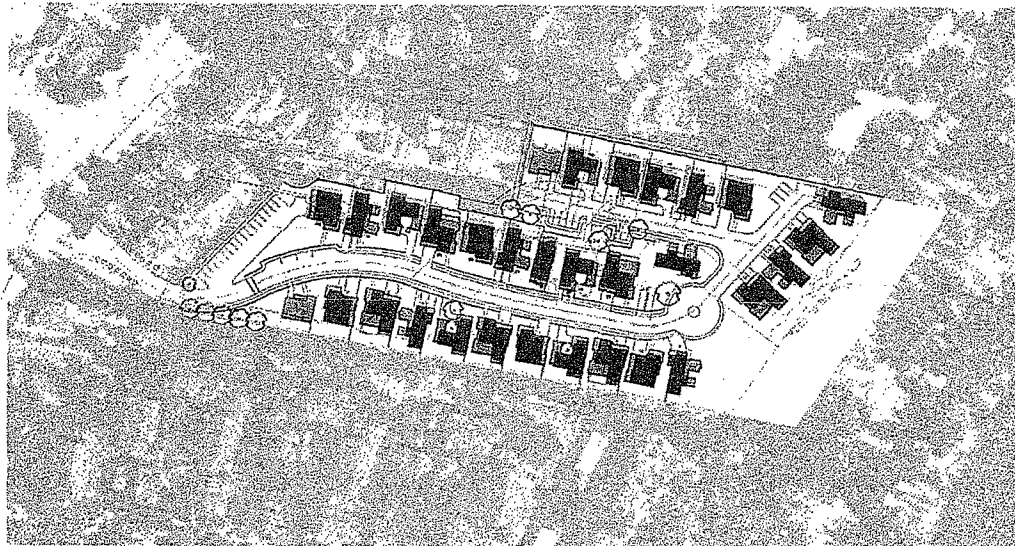
9:00 AM
Altitude: 35.4
Azimuth: 94.2



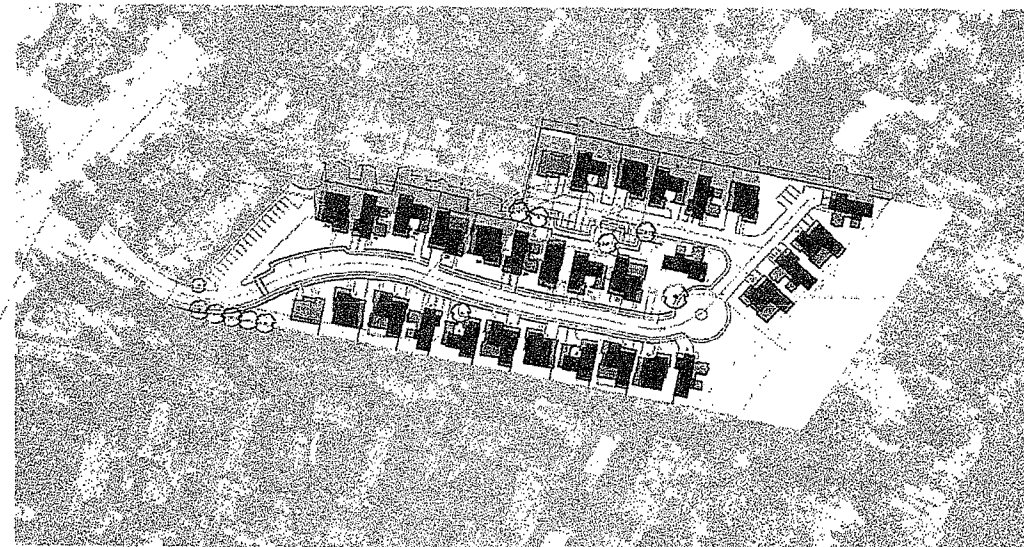
9:00 AM
Altitude: 15.15
Azimuth: 43.65



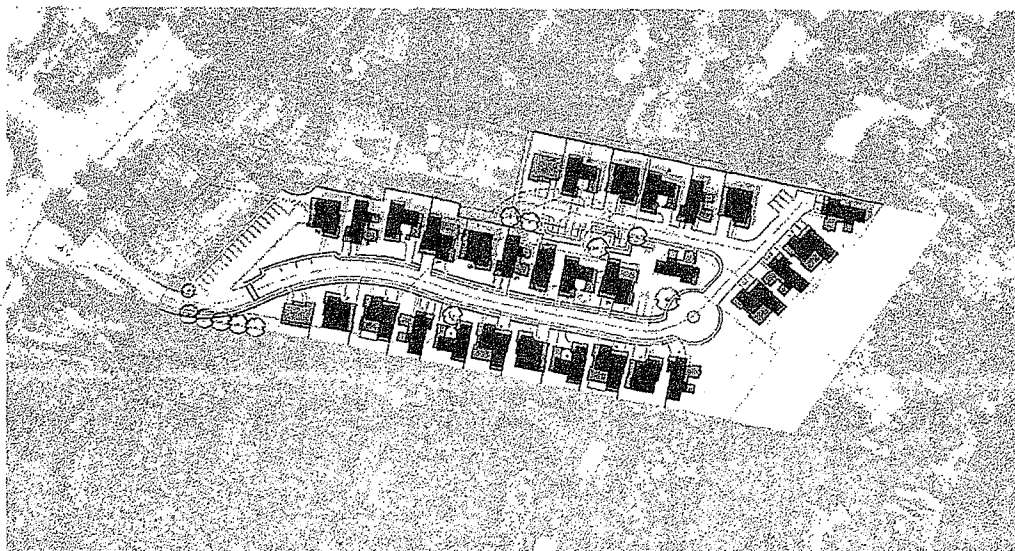
12:00 PM
Altitude: 69.6
Azimuth: 52.2



12:00 PM
Altitude: 29.30
Azimuth: 1.67



3:00 PM
Altitude: 62.7
Azimuth: -67.5



3:00 PM
Altitude: 16.85
Azimuth: -41.20



Project Site
Coordinates
Latitude: 37.245 N
Longitude: 121.972 W

Time Zone: Pacific Standard Time

Villa Felice



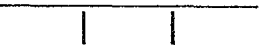
SANTA CLARA
DEVELOPMENT
An affiliate of Riosky Construction

2185 The Alameda, Ste. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE:

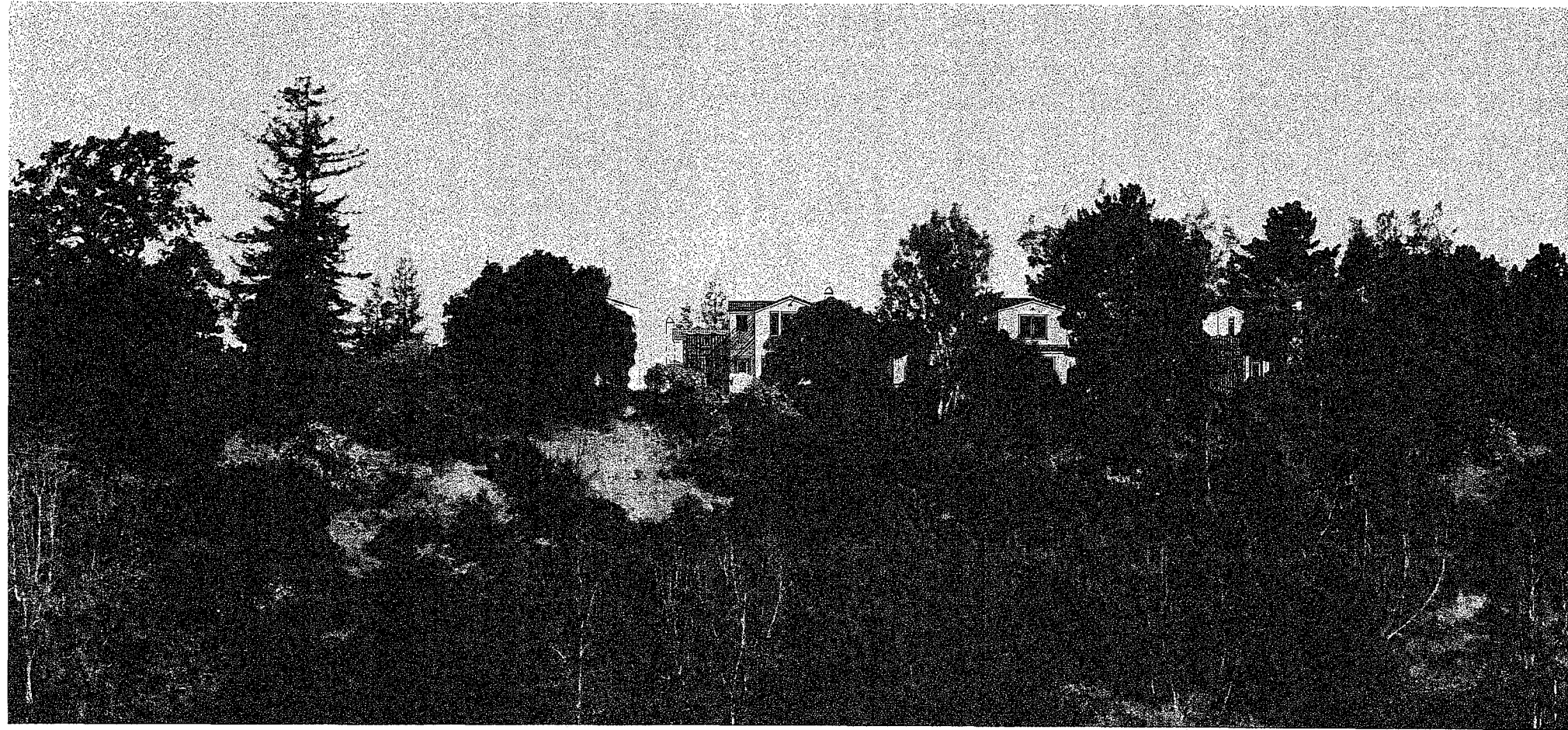


NORTH
SHEET #: A-16

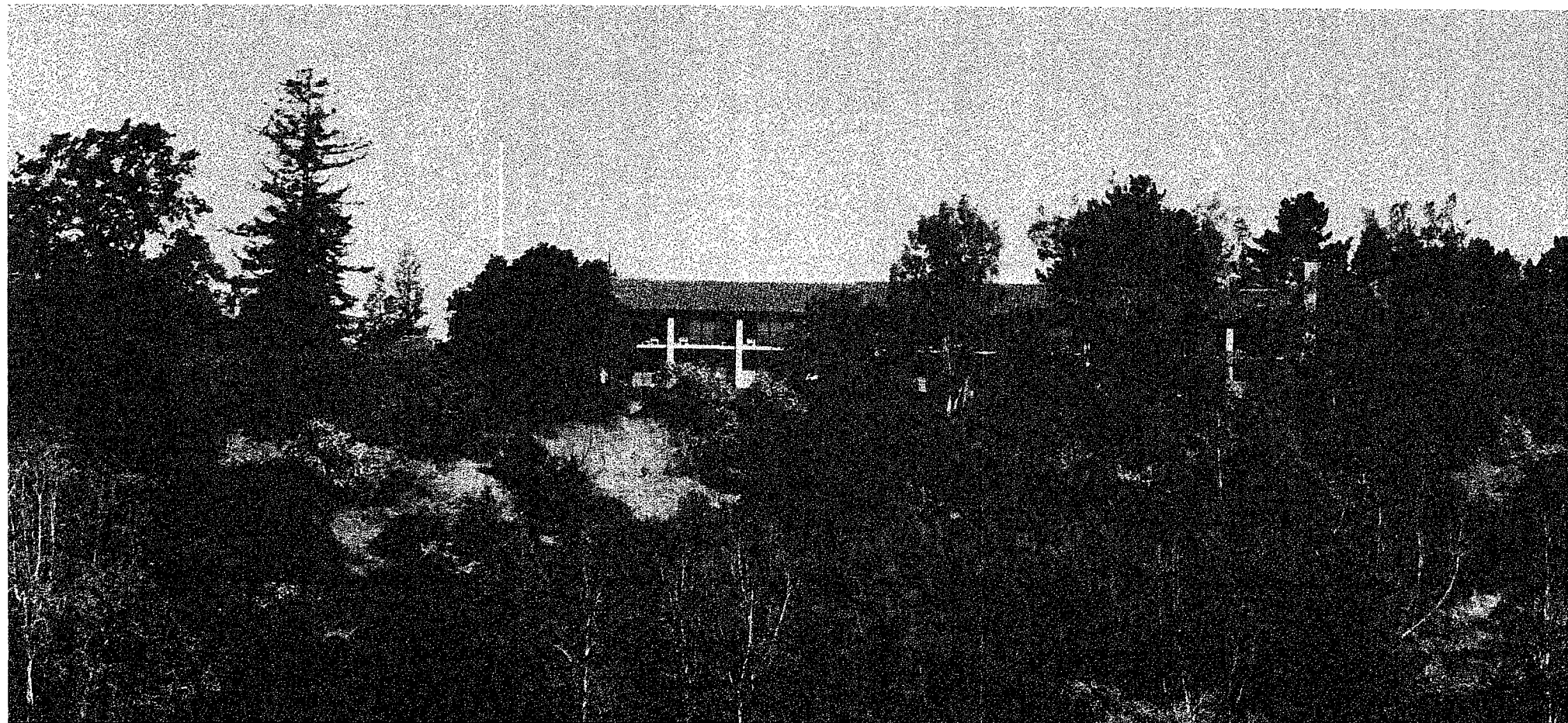
Preliminary
Shadow
Study



McLarand, Vasquez & Partners Int'l



NEW
CONDITION



EXISTING
CONDITION

Villa Felice



**SANTA CLARA
DEVELOPMENT**
An affiliate of Trizec Companies

2185 The Alameda, 8th Fl. 150
San Jose, CA 95126
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE:



NORTH

SHEET #: A-17

LAKE VASONA
HILLSIDE
EXHIBIT

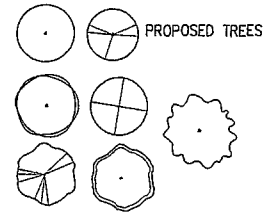
LAKE VASONA LOS GATOS, CA



m v & p
INTERNATIONAL
INC.

McLarand, Vasquez & Partners Int'l.

LEGEND

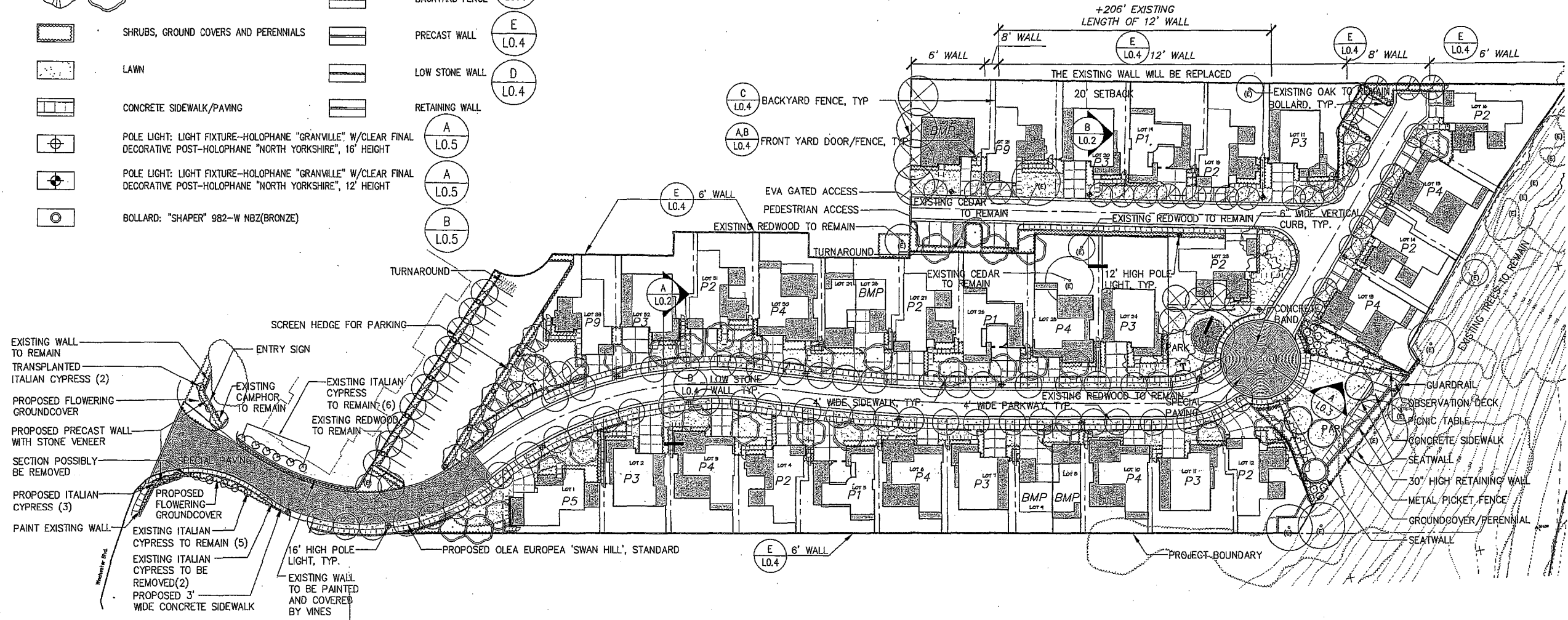


SHRUBS, GROUND COVERS AND PERENNIALS
LAWN
CONCRETE SIDEWALK/PAVING

POLE LIGHT: LIGHT FIXTURE-HOLOPHANE "GRANVILLE" W/CLEAR FINAL DECORATIVE POST-HOLOPHANE "NORTH YORKSHIRE", 16' HEIGHT
POLE LIGHT: LIGHT FIXTURE-HOLOPHANE "GRANVILLE" W/CLEAR FINAL DECORATIVE POST-HOLOPHANE "NORTH YORKSHIRE", 12' HEIGHT
BOLLARD: "SHAPER" 982-W NBZ(BRONZE)

SPECIAL PAVING
FRONT YARD DOOR/FENCE
BACKYARD FENCE
PRECAST WALL
LOW STONE WALL
RETAINING WALL

A, B L0.4
C L0.4
E L0.4
D L0.4
A L0.5
A L0.5
B L0.5



PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	ARBUS 'MARINI'	HARDY STRAWBERRY TREE	15 GAL
	CELTIS SINENSIS	CHINESE HACKBERRY	15 GAL
	CHITALPA TASHKENTENSIS	CHITALPA	15 GAL
	CITRUS	ORANGE TREE 'VALENCIA'	15 GAL
	CITRUS	NAVAL ORANGE	15 GAL
	CITRUS	LIME TREE 'BEARSS'	15 GAL
	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	15 GAL
	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	15 GAL
	CEURUS DEDARA	DEODAR CEDAR	15 GAL
	KOELREUTERIA PANICULATA	GOLDBENRAH TREE	15 GAL
	LAGERSTROEMIA INDICA SPP.	CRAPPE HYDRILE	15 GAL
	LIRIODENDRON TULIPIFERA	TULIP TREE	15 GAL
	MALUS 'ROBINSON'	ROBINSON CRABAPPLE	15 GAL
	MAGNOLIA GRANDIFLORA 'ST. HARY'	SOUTHERN MAGNOLIA	15 GAL
	OLEA EUROPEA 'SWAN HILL'	OLIVE TREE 'SWAN HILL'	24" BOX
	PINUS CAHARIENSIS	CANARY ISLAND PINE	15 GAL
	PINUS PINEA	ITALIAN STONE PINE	15 GAL
	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	15 GAL
	QUERCUS AGRIFFOLIA	COAST LIVE OAK	15 GAL
	SAPIUM SEBIFERUM	CHINESE TALLOW TREE	15 GAL
	SEQUOIA SEMPERVIRENS 'APTOS BLUE'	COAST REDWOOD	15 GAL
	TILIA CORDATA 'REDMOND'	LITTLELEAF LINDEN	15 GAL
LARGE SHRUBS			
	ARBUS UNEDD	STRAWBERRY TREE	5 GALLON
	CHOISYA TERNATA	MEXICAN ORANGE	5 GALLON
	KERRIA JAPONICA 'PLENIFLORA'	JAPANESE KERRIA	5 GALLON
	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GALLON
	RHODODENDRON 'LOBER'S WHITE'	L.V. RHODODENDRON	5 GALLON
	RHODODENDRON 'TRUDE WEBSTER'	T.V. RHODODENDRON	5 GALLON
	TIBOUCHINA URVILLEANA	PRINCESS FLOWER	5 GALLON
LOW AND MEDIUM SHRUBS			
	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	GLOSSY ABELIA	5 GALLON
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCNINI'	HOWARD MCNINI MANZANITA	5 GALLON
	BRUNFELSIA PAUCIFLORA	YESTERDAY, TODAY, TOMORROW	5 GALLON
	GARDENIA JASMINOIDES 'VEITCHII'	GARDENIA	5 GALLON
	PITTOSPORUM TORBIA	MOCK ORANGE	5 GALLON
	RAPHIOLEPIS INDICA 'SPRINGTIME'	INDIA HAWTHORN	5 GALLON
	RAPHIOLEPIS 'UMBELLATA MINOR'	YERBO HAWTHORN	5 GALLON
	PHORHUA TENAX	NEW ZEALAND FLAX	5 GALLON
	ROSA SPP.	ROSES	5 GALLON
	SARCOCODCA RUSCIFOLIA	FRAGRANT SARCOCODCA	5 GALLON

KEY	BOTANICAL NAME	COMMON NAME	SIZE
HEDGES			
	BUXUS SEMPERVIRENS	ENGLISH BOXWOOD	5 GALLON
	ESCALLONIA EXONIENSIS 'FRADES'	FRADES ESCALLONIA	5 GALLON
	ILEX VOMITORIA NANA	DWARF YALPON HOLLY	5 GALLON
	MYRTUS COMUNIS	CREAK MYRTLE	5 GALLON
	OSMANthus 'SAN JOSE'	FRAGRANT TEA OLIVE	5 GALLON
PERENNIALS & GROUND COVERS			
	ACANTHUS MOLLIS	BEAR'S BREECH	1 GALLON
	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GALLON
	ARCTOSTAPHYLOS UVA-URSI 'WOOD'S COMPACT'	BEARBERRY	1 GALLON
	ARTEMISIA 'POWIS CASTLE'	COMMON YORRWOOD	1 GALLON
	CAREX ALBULA	BLONDE SERGE	1 GALLON
	CERATOSTIGMA PLUMBAGINOIDES	DWARF PLUMBAGO	1 GALLON
	COTONEASTER DAMMERI 'CORAL BEAUTY'	BEARBERRY COTONEASTER	1 GALLON
	DESCHAMPSIA CAESPITOSA 'BRONZESCHLEIER'	TUFTED HAIR GRASS	1 GALLON
	DIETES VEGETA	FORTNIGHT LILY	6" POTS
	HEMEROCALLIS 'STELLA D' ORD'	STELLA D' ORD DAYLILY	6" POTS
	IRIS PACIFIC COAST HYBRIDS	PACIFIC COAST HYBRID IRIS	6" POTS
	LAVANDULA ANGSTIFOLIA 'HUNSTEAD'	ENGLISH DWARF LAVENDER	6" POTS
	LAVANDULA DENTATA INTERMEDIA PROVENCE	FRENCH LAVENDER	6" POTS
	LIRIOPE MUSCARI	BIG BLUE LILY TURF	6" POTS
	MULBERGIA CAPILLARIS	TRINIUS	6" POTS
	NEPATA FAASSENII	CATNIP	6" POTS
	PELARGONIUM HORTORUM	COMMON GERANIUM	6" POTS
	PLUMBAGO AURICULATA	CAPE PLUMBAGO	6" POTS
	RUSHARINUS 'HUNTINGTON CARPET'	ROSEMARY	6" POTS
	SALVIA GREGGII 'ALBA'	WHITE SAGE	1 GALLON
	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	1 GALLON
	SANTOLIMA VIRENS	GREEN LAVENDER COTTON	1 GALLON
	SARCOCODCA HOOKERIANA HUILIS	HIMALAYAN SWEET BOX	1 GALLON
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GALLON
	VINCA MINOR	DWARF PERIVINKLE	FLATS
VINES			
	CLYTOSTIGMA CALLISTEGIOIDES	VIOLET TRUMPET VINE	5 GALLON
	CLENATIS ARHANTII	EVERGREEN CLEMATIS	5 GALLON
	DISTICTIS BUCCINATORIA	BLOOD-RED TRUMPET VINE	5 GALLON
	FLOUS PUNILA	CREeping VINE	5 GALLON
	HARDENBERGIA VIOLACEA 'HAPPY VANDERER'	HAPPY VANDERER	5 GALLON
	PARTHENOCEISSUS TRICUSPIDATA	BOSTON IVY	5 GALLON
	ROSA MULTIFLORA 'CECILE BRUNER'	CLIMBING ROSE	5 GALLON
	SOLANUM JASMINOIDES	POTATO VINE	5 GALLON
	VISTERIA SINENSIS 'COOKIE SPECIAL'	CHINESE VISTERIA	5 GALLON

VILLA
FELICE

Project Address:
15350 Winchester Blvd.
Los Gatos, CA 95030



SANTA CLARA
DEVELOPMENT
An affiliate of Robson Communities

2185 The Alameda
San Jose, CA 95126
408.345.1767

1"=40'-0"

01/10/05

NORTH

SHEET #:

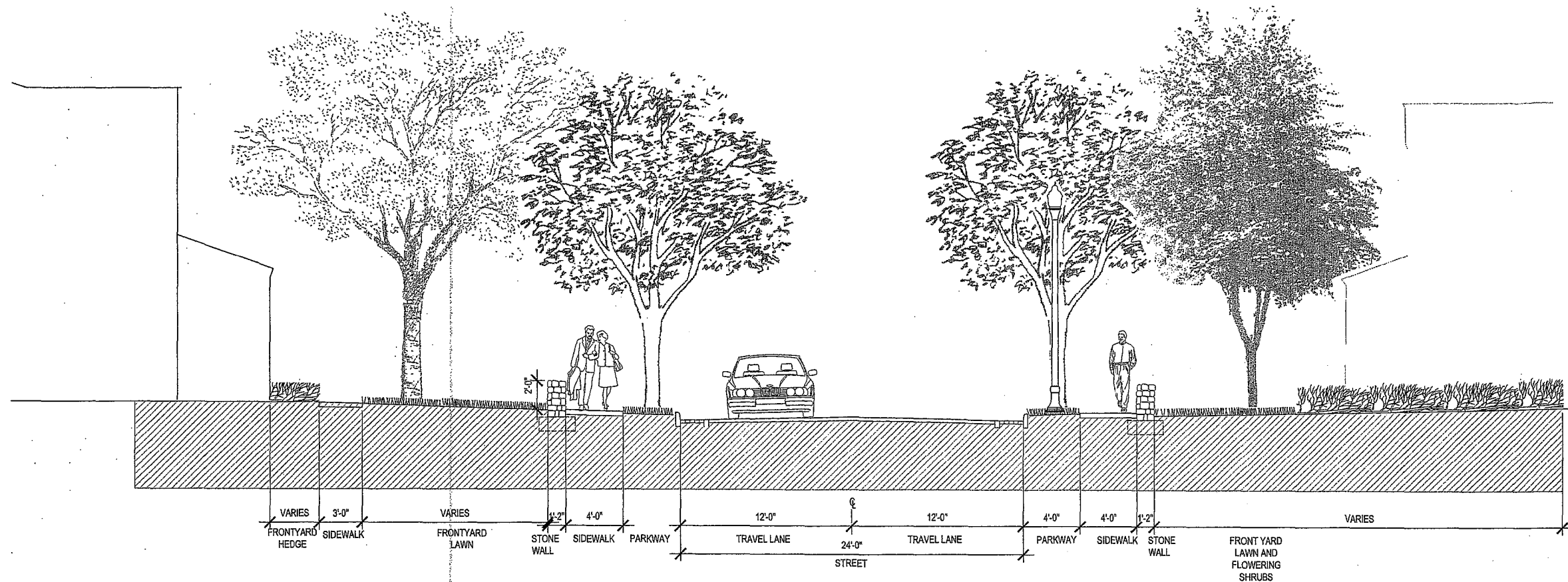
CONCEPTUAL
LANDSCAPE
SITE PLAN

L0.1

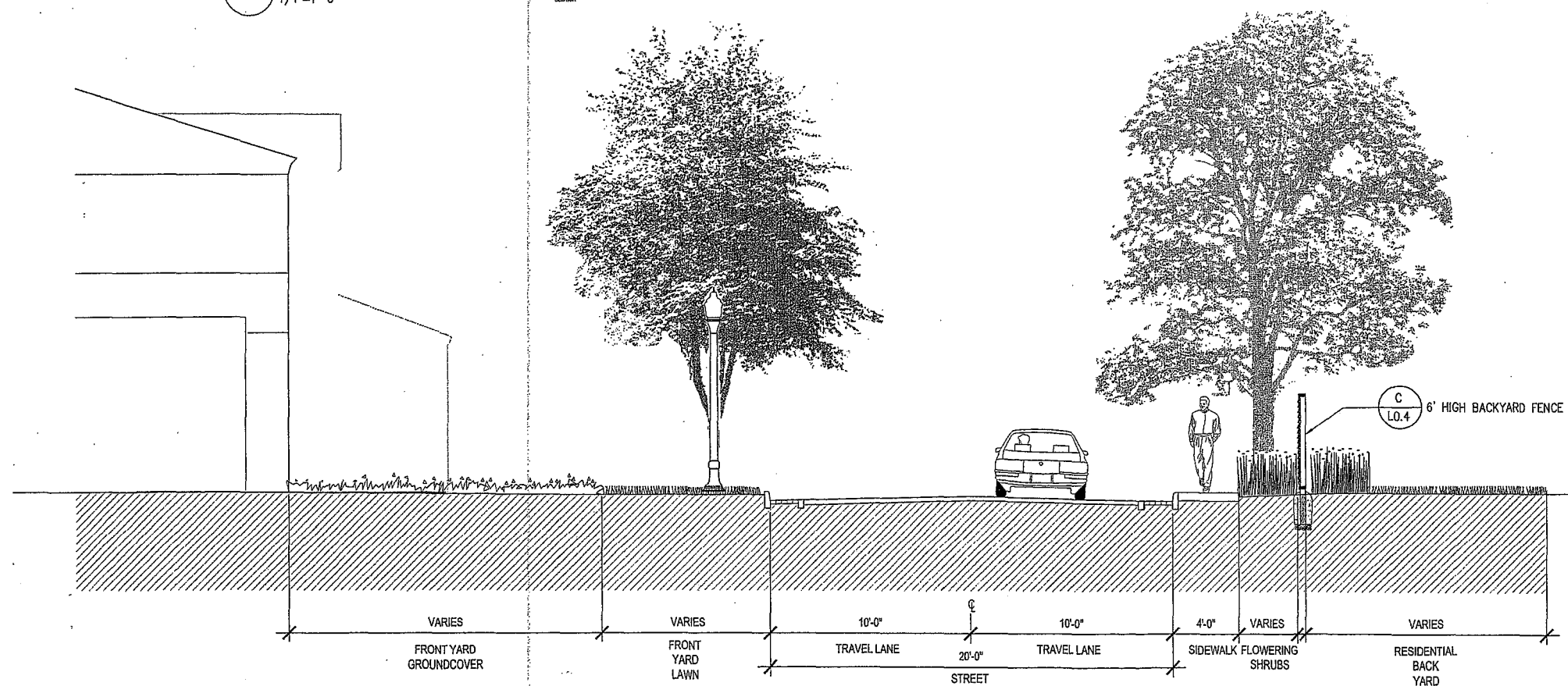


HMH
ENGINEERS





A LANDSCAPE STREET SECTION
1/4" = 1'-0"



B LANDSCAPE STREET SECTION
1/4" = 1'-0"

VILLA FELICE

Project Address:
15350 Winchester Blvd.
Los Gatos, CA 95030



**SANTA CLARA
DEVELOPMENT**
An affiliate of Robson Communities

2185 The Alameda
San Jose, CA 95126
408.345.1767

AS SHOWN

01/10/05

NORTH

SHEET #:

CONCEPTUAL
LANDSCAPE
SECTIONS

L0.2



HMH
ENGINEERS



VILLA FELICE

Project Address:
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Los Gatos, CA 95030



**SANTA CLARA
DEVELOPMENT**
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2185 The Alameda
San Jose, CA 95128
408.345.1767

SCALE: AS SHOWN

01/10/05

NORTH

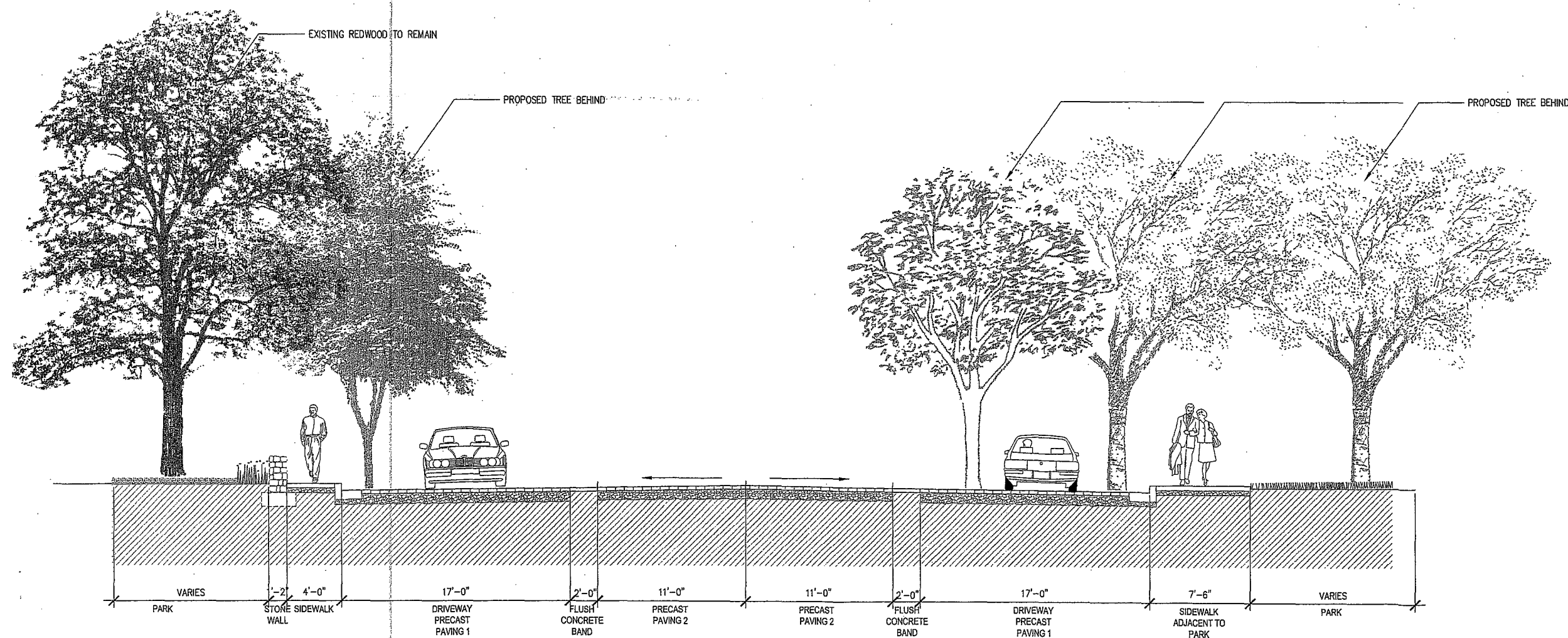
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LANDSCAPE
SECTIONS

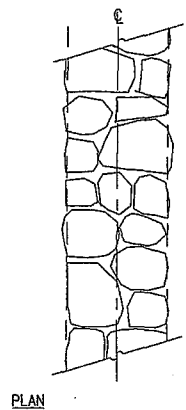
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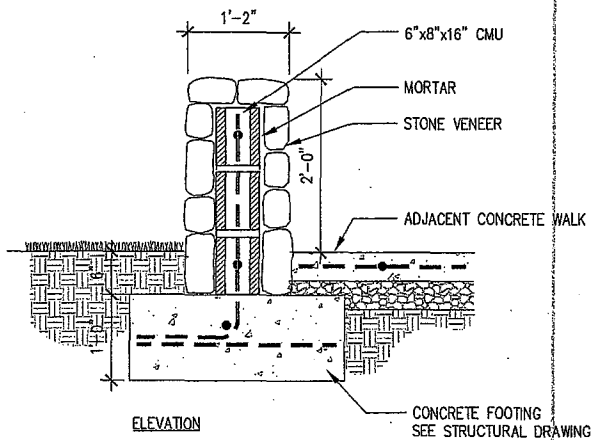
HMH
ENGINEERS



A LANDSCAPE STREET SECTION AT ROTARY
1/4"=1'-0"

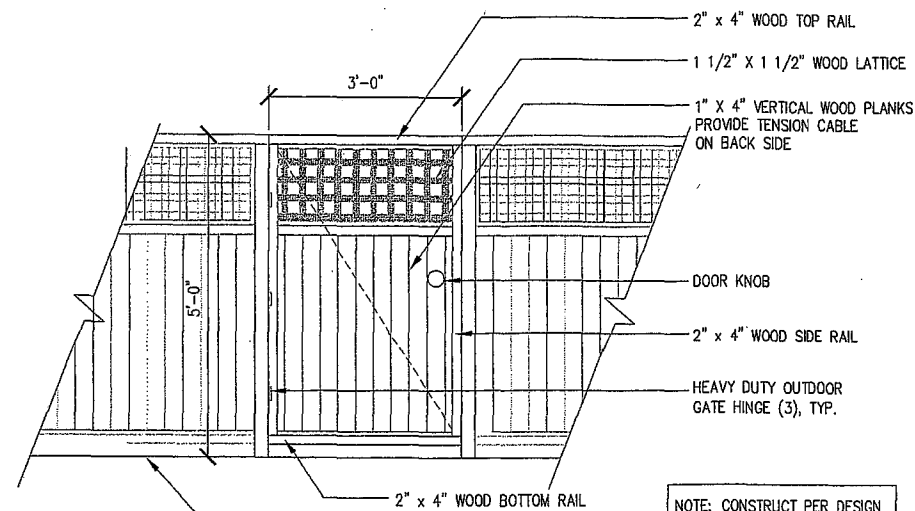


PLAN



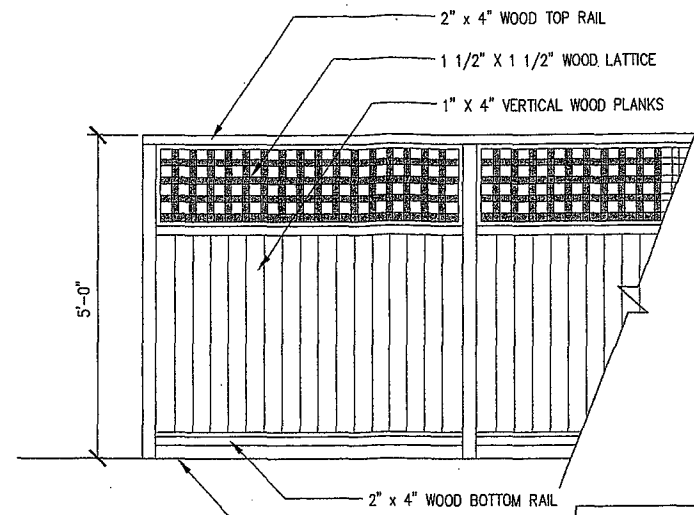
ELEVATION

D LOW STONE WALL
1" = 1'-0"



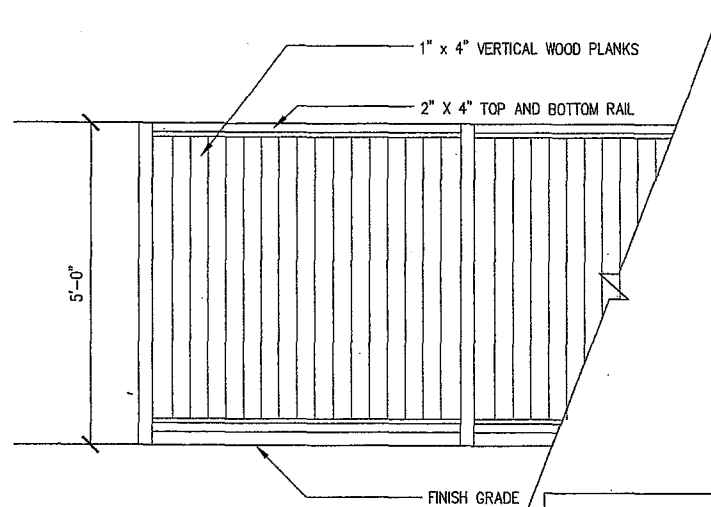
B FRONT YARD FENCE DOOR
3/4" = 1'-0"

NOTE: CONSTRUCT PER DESIGN
BUILD REQUIREMENTS AND PER
DIRECTION OF OWNER



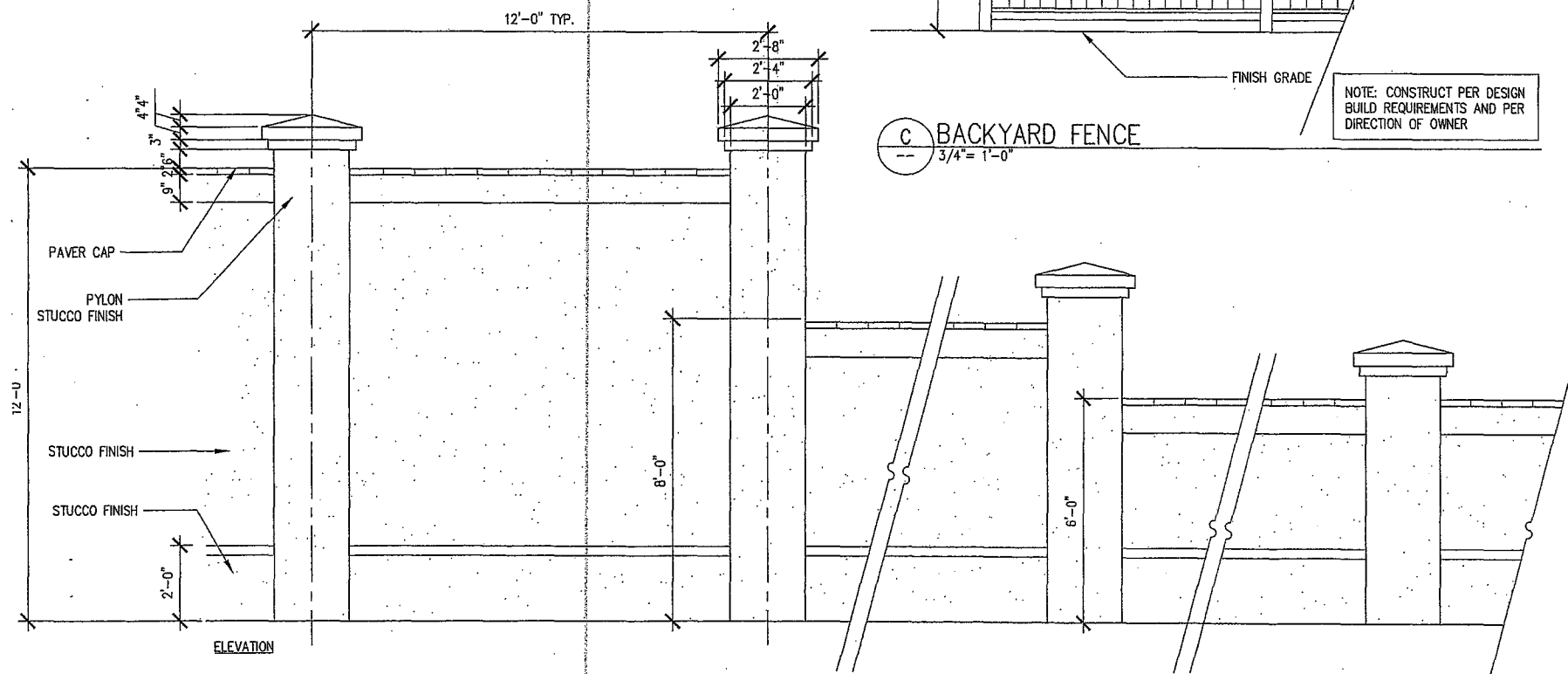
A FRONT YARD FENCE
3/4" = 1'-0"

NOTE: CONSTRUCT PER DESIGN
BUILD REQUIREMENTS AND PER
DIRECTION OF OWNER



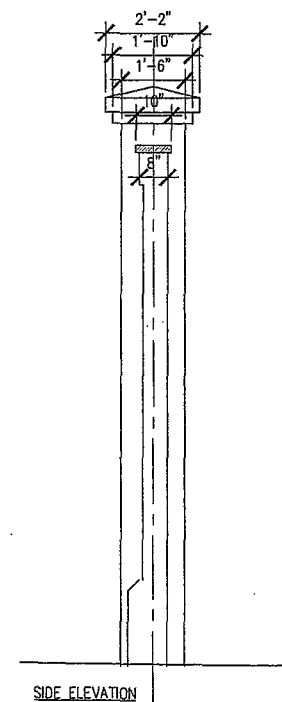
C BACKYARD FENCE
3/4" = 1'-0"

NOTE: CONSTRUCT PER DESIGN
BUILD REQUIREMENTS AND PER
DIRECTION OF OWNER



ELEVATION

E PRECAST WALL
1/4" = 1'-0"



SIDE ELEVATION

VILLA FELICE

Project Address:
15350 Winchester Blvd.
Los Gatos, CA 95030



**SANTA CLARA
DEVELOPMENT**
An affiliate of Robson Communities

2185 The Alameda
San Jose, CA 95126
408.345.1767

AS SHOWN

01/10/05

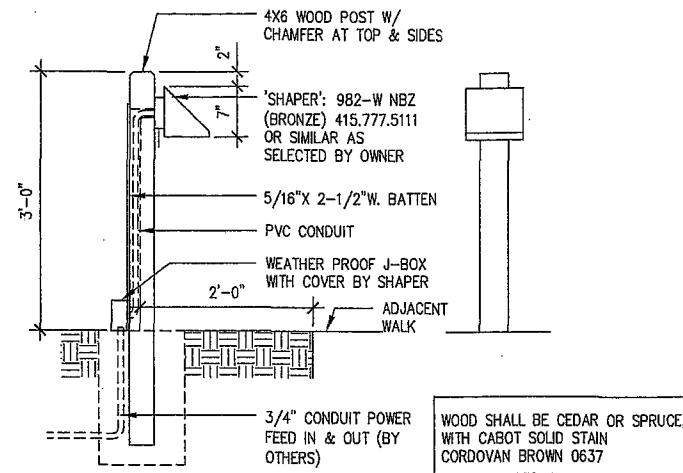
NORTH

SHEET #:

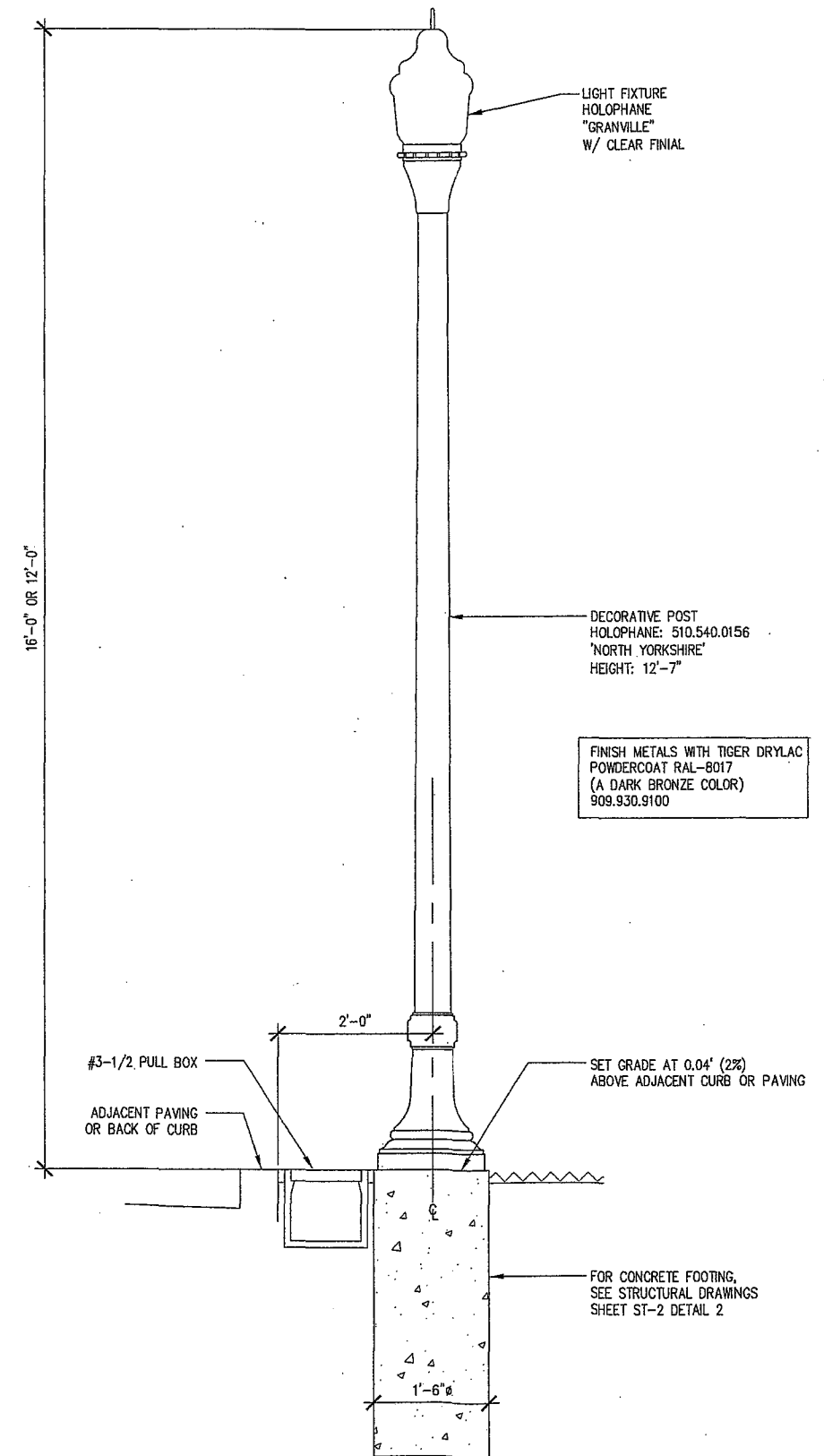
LANDSCAPE
DETAILS

L0.4





B BOLLARD
1" = 1'-0"



A STREET LIGHT
1" = 1'-0"

VILLA FELICE

Project Address:
15350 Winchester Blvd.
Los Gatos, CA 95030



2185 The Alameda
San Jose, CA 95126
408.345.1767

AS SHOWN

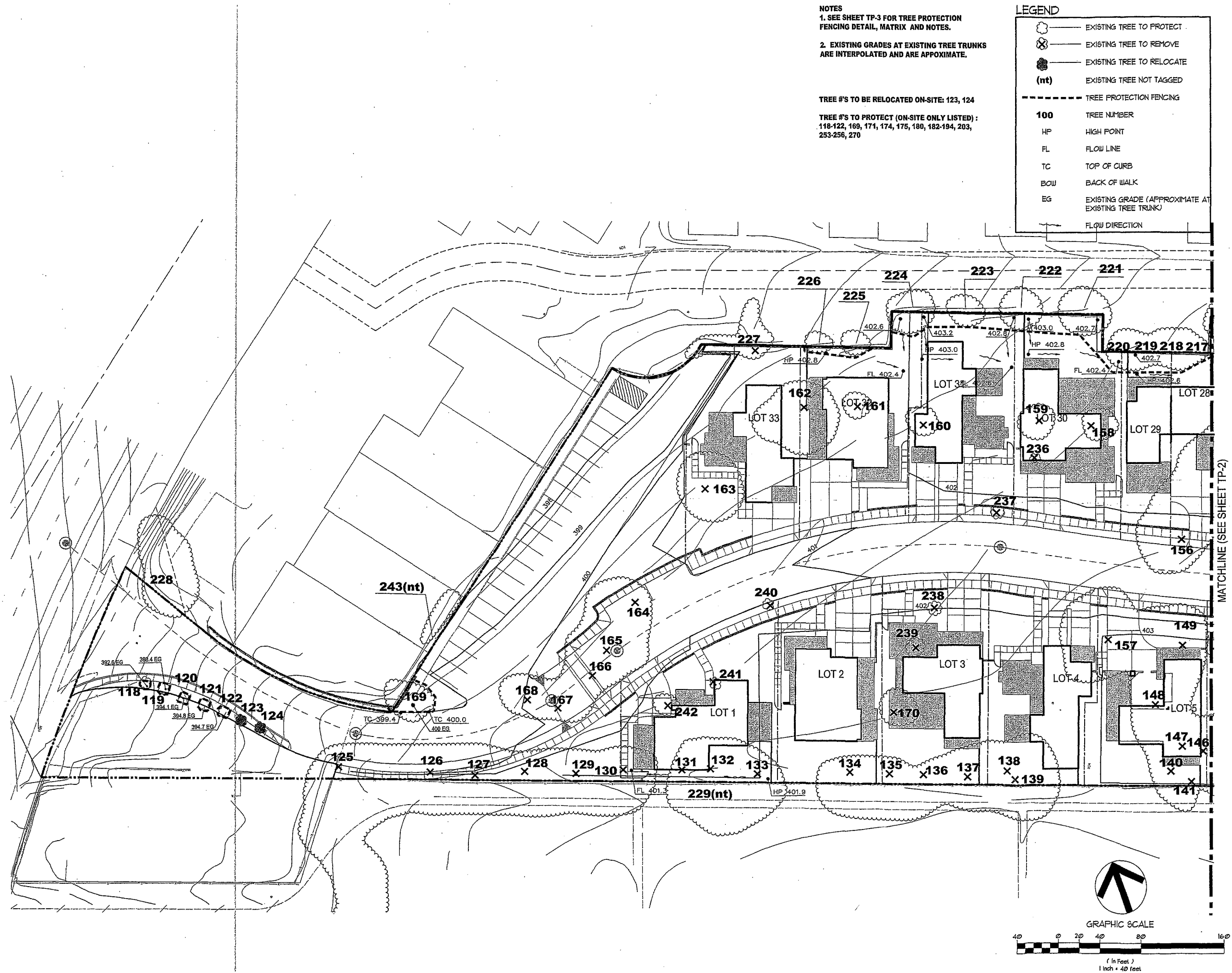
01/10/05

NORTH
SHEET #:

LANDSCAPE
DETAILS

L0.5





**VILLA
FELICE**

Project Address:
15350 Winchester Blvd.
Los Gatos, CA 95030



**SANTA CLARA
DEVELOPMENT**
An affiliate of Robson Communities

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San Jose, CA 95126
408.345.1767

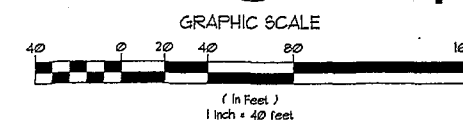
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REVISION:
DRAWING NO: 328300 TPP
SCALE: 1"=40'

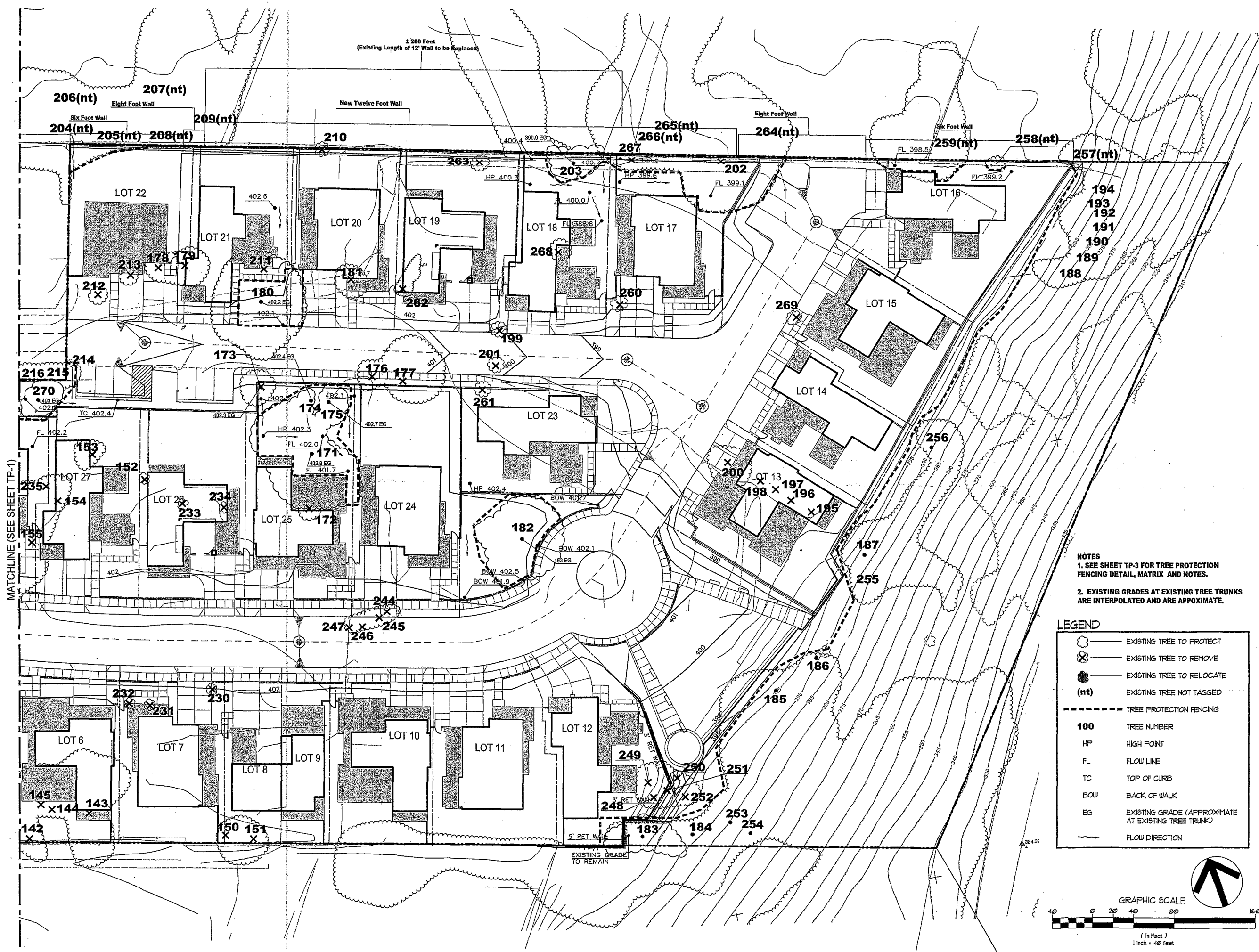
NORTH
SHEET #: TP-1
DATE: 1/10/05
CONCEPTUAL TREE
PROTECTION PLAN



HMH
ENGINEERS

SWA
Group





VILLA FELICE

Project Address:
15350 Winchester Blvd.
Los Gatos, CA 95030



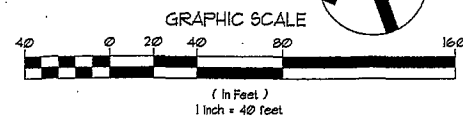
2185 The Alameda
San Jose, CA 95126
408.345.1767

NOTES
1. SEE SHEET TP-3 FOR TREE PROTECTION FENCING DETAIL, MATRIX AND NOTES.
2. EXISTING GRADES AT EXISTING TREE TRUNKS ARE INTERPOLATED AND ARE APPROXIMATE.

LEGEND

	EXISTING TREE TO PROTECT
	EXISTING TREE TO REMOVE
	EXISTING TREE TO RELOCATE
(nt)	EXISTING TREE NOT TAGGED
	TREE PROTECTION FENCING
100	TREE NUMBER
HP	HIGH POINT
FL	FLOW LINE
TC	TOP OF CURB
BOW	BACK OF WALK
EG	EXISTING GRADE (APPROXIMATE AT EXISTING TREE TRUNK)
	FLOW DIRECTION

NORTH
SHEET #: TP-2
DATE: 1/10/05
CONCEPTUAL TREE PROTECTION PLAN



TREE SURVEY

(PREPARED BY HORTSCIENCE
4025 MOHR AVENUE, SUITE F
PLEASANTON, CA 94566
11/19/04)

TREE SPECIES No.	TRUNK DIAMETER (inches)	HEIGHT	CROWN SPREAD	CONDITION 1=POOR 5=EXCELLENT	SUITABILITY FOR PRESERVATION	COMMENTS	
115	Coast redwood	30	75	20	3	Good	Bow in base of trunk.
116	Coast redwood	31	70	24	4	Good	Straight trunk, dense foliage.
117	Coast live oak	12	22	22	3	Moderate	Thin foliage; leaves damaged by gall wasp.
118	Italian cypress	13	35	6	4	Good	Good form.
119	Italian cypress	13	35	5	4	Good	Good form.
120	Italian cypress	10	35	4	4	Good	Good form.
121	Italian cypress	8,6	35	5	4	Good	Good form.
122	Italian cypress	12	35	5	4	Good	Good form.
123	Italian cypress	11	35	4	4	Good	Good form.
124	Italian cypress	10	35	6	4	Good	Good form.
125	Monterey pine	22	30	25	3	Moderate	Two trunks join at 5'.
126	Monterey pine	25	32	40	2	Poor	Foliage sparse, sequoia pitch moth.
127	Monterey pine	21	35	45	2	Poor	Foliage sparse, sequoia pitch moth.
128	Monterey pine	26	40	35	2	Poor	Two trunks join at 5'; red turpentine beetle.
129	Monterey pine	25	45	40	2	Poor	Foliage sparse, sequoia pitch moth; red turpentine beetle.
130	Monterey pine	22	30	30	3	Moderate	Trunk wound east side.
131	Monterey pine	20	35	45	3	Moderate	Trunk leans east.
132	Monterey pine	33	35	45	3	Moderate	Foliage sparse, sequoia pitch moth.
133	Monterey pine	24	35	40	3	Moderate	Foliage sparse, sequoia pitch moth; hip canker.
134	Monterey pine	23	30	30	2	Poor	Foliage sparse, sequoia pitch moth.
135	Monterey pine	24	35	35	3	Poor	Foliage sparse, sequoia pitch moth.
136	Monterey pine	16	30	24	2	Poor	Foliage sparse, sequoia pitch moth; red turpentine beetle.
137	Monterey pine	27	45	45	2	Poor	Foliage sparse, sequoia pitch moth; lower branches removed.
138	Monterey pine	20	40	30	2	Poor	Foliage sparse, sequoia pitch moth; basal hip canker.
139	Monterey pine	23	25	25	1	Poor	Was topped to 25'.
140	Monterey pine	25	50	35	2	Poor	Foliage sparse, sequoia pitch moth; red turpentine beetle.
141	Monterey pine	15	45	20	3	Moderate	Straight trunk; good form.
142	Monterey pine	23	40	25	3	Poor	Leans south; basal trunk wound.
143	Monterey pine	27	50	35	2	Poor	Lower branches removed, high crown.
144	Monterey pine	23	50	25	2	Poor	Lower branches removed, high crown.
145	Monterey pine	25	45	18	2	Poor	Lower branches removed, high crown.
146	Monterey pine	28	45	35	3	Poor	Lower branches removed, high crown.
147	Monterey pine	25	50	30	3	Poor	Two trunks join at 5'.
148	Monterey pine	26	45	30	2	Poor	Lower branches removed, high crown.
149	Monterey pine	26	50	35	3	Poor	Lower branches removed, high crown.
150	Monterey pine	25	35	20	2	Poor	Foliage sparse, sequoia pitch moth; red turpentine beetle.
151	Monterey pine	15	30	18	2	Poor	Foliage sparse, sequoia pitch moth; red turpentine beetle.
152	Italian cypress	10	30	5	4	Good	Dense foliage, good form.
153	Italian cypress	14	30	7	4	Good	Dense foliage, good form.
154	Monterey pine	22	35	35	3	Poor	Foliage sparse, sequoia pitch moth.
155	Monterey pine	29	45	45	3	Poor	Foliage sparse, sequoia pitch moth.
156	Monterey pine	29	40	35	2	Poor	Two trunks join at 4', included bark; red turpentine beetle.
157	Torrey pine	29	35	35	3	Moderate	Leans north-west.
158	Coast redwood	15	32	24	3	Moderate	Poor leaf color.
159	Coast redwood	12	32	24	3	Moderate	Poor leaf color.
160	Coast redwood	11	30	24	3	Moderate	Poor leaf color.
162	Monterey pine	21	30	35	3	Poor	Leans south.
165	Monterey pine	26	35	40	3	Poor	Foliage sparse, sequoia pitch moth.
166	Monterey pine	25	30	35	2	Poor	Foliage sparse, sequoia pitch moth.
167	Beefwood	6,5,4,4	25	20	2	Poor	Multi-stemmed at base.
168	Deodar cedar	14	30	30	3	Moderate	Foliage sparse; good form.
169	Coast redwood	17	40	20	3	Moderate	Poor color; good form.
170	Coast redwood	12	35	25	3	Moderate	Poor color; good form.
171	Deodar cedar	31	50	50	4	Good	Good color and form.
172	Holly	7	12	7	2	Poor	One-half of trunk dead at base.
173	Coast redwood	13	45	25	3	Moderate	Poor color; good form.
174	Coast redwood	10	24	14	3	Moderate	Poor color; good form.
175	Coast redwood	14	45	22	3	Moderate	Poor color; good form.
176	Coast live oak	9	18	18	3	Moderate	Foliage sparse, gall wasp damaged.
178	Hollywood juniper	9	20	15	2	Poor	Foliar dieback.
179	Hollywood juniper	16,8	25	20	3	Moderate	Full crown.
180	Deodar cedar	31	45	55	5	Good	Mature form; moderate interior dead branches.
182	Coast redwood	49	55	45	3	Moderate	Poor color; good form.
183	Coast live oak	24,16,12	35	45	3	Moderate	Ivy covering scaffold branches.
184	Coast live oak	14	22	18	3	Moderate	Ivy covering scaffold branches.
185	Valley oak	27	45	55	3	Moderate	Crown asymmetrical; heavy to south.
186	Coast live oak	10	18	15	4	Good	Lower branches were removed.
187	Coast live oak	16,12			4	Good	Lower branches were removed.
188	Red gum	17,17	35	35	2	Poor	Topped to 20' stump, resprouted.
189	Red gum	12	10	4	2	Poor	Topped to 10' stump, resprouted.
190	Red gum	18,16	35	15	2	Poor	Topped to 20' stump, resprouted.
191	Red gum	14	25	10	1	Poor	Topped to 10' stump, resprouted.
192	Red gum	18	18	4	1	Poor	Topped to 8' stump, resprouted.
193	Red gum	17	23	10	1	Poor	Topped to 12' stump, resprouted.
194	Red gum	23	25	18	2	Poor	Topped to 20' stump, resprouted.
195	Italian cypress	8	30	4	4	Good	Branch tips falling away from trunk.
196	Italian cypress	8	30	4	4	Good	Branch tips falling away from trunk.
197	Italian cypress	8	30	4	4	Good	Branch tips falling away from trunk.
198	Italian cypress	8	30	4	4	Good	Branch tips falling away from trunk.
199	Italian cypress	8	30	4	4	Good	Branch tips falling away from trunk.
200	Jacaranda	16	32	32	4	Good	Spreading form; full crown.
201	Strawberry tree	10	28	24	4	Good	Leans east.
203	Coast live oak	10	25	20	4	Good	Good form and health.
204	Deodar cedar	35	65	60	4	Good	Two main stems.
205	Coast live oak	21	35	50	4	Good	Good form and health.
206	Coast live oak	8	20	10	3	Moderate	Crown leans south.
207	Coast live oak	7	25	8	3	Moderate	Crown suppressed.
208	Valley oak	12	28	20	3	Moderate	Previously headed.
209	Coast live oak	24	30	40	4	Good	Trunks attach at 3'.
210	Glossy privet	5,5,4	14	12	3	Moderate	Multi-stemmed at 1'.
211	Kumquat	6,4	10	10	3	Moderate	Multi-stemmed at 1'.
212	Lemon	5	14	8	4	Moderate	Multi-stemmed at 4'.
213	Peach	3,3	12	9	4	Good	Good form and health.
214	Prunus sp	3,3,3,3...	12	20	4	Moderate	Hedge row.
215	Sweetgum	5	25	8	3	Moderate	Narrow, upright crown.
216	Prunus sp	5	8	5	3	Moderate	Hedge row.
217	Camphor	8	16	10	3	Moderate	Multi-stemmed at 7'.
218	Camphor	10	16	12	3	Moderate	Multi-stemmed at 7'.
219	Camphor	9	16	12	3	Moderate	Multi-stemmed at 7'.
220	Camphor	9	16	10	3	Moderate	Multi-stemmed at 7'.
221	Camphor	13	16	14	3	Moderate	Multi-stemmed at 7'.
222	Camphor	13	16	14	3	Moderate	Multi-stemmed at 7'.
223	Camphor	10	16	18	3	Moderate	Multi-stemmed at 7'.
224	Camphor	12	18	18	3	Moderate	Multi-stemmed at 7'.
225	Evergreen pear	7	14	10	3	Moderate	Multi-stemmed at 7'.
226	Evergreen pear	6	12	10	3	Moderate	Multi-stemmed at 7'.
227	Evergreen pear	7	12	10	3	Moderate	Multi-stemmed at 7'.
228	Camphor	7	15	10	2	Poor	Dieback in upper crown.
229	Sweetgum	7	20	18	2	Good	Narrow crown.
230	Fruitless mulberry	5,5,3	15	15	5	Moderate	Multi-stemmed at base.

TREE SPECIES No.	TRUNK DIAMETER (inches)	HEIGHT	CROWN SPREAD	CONDITION 1=POOR 5=EXCELLENT	SUITABILITY FOR PRESERVATION	COMMENTS	
231	Italian cypress	9,4	28	4	4	Good	Upright form.
232	Italian cypress	7,6	12	6	3	Moderate	Upper crown was removed.
233	Crape myrtle	4	14	10	4	Good	Multi-stemmed at 5'.
234	Crape myrtle	4	14	10	4	Good	Multi-stemmed at 5'.
235	Coast live oak	10	18	16	4	Good	Good form and health.
236	Coast redwood	5	12	6	3	Moderate	Poor leaf color.
237	Coast redwood	7	13	6	3	Moderate	Poor leaf color.
238	Coast redwood	8	14	8	4	Good	Poor leaf color.
239	Coast redwood	10	15	4	8	Good	Bronzing-mite damage.
240	Coast redwood	7	14	8	3	Moderate	Poor leaf color.
241	Coast redwood	5	12	8	3	Moderate	Poor leaf color.
242	Coast redwood	8	30	24	3	Moderate	Poor leaf color.
243	Bailey acacia	9	25	20	4	Moderate	Single trunk.
244	Oleander	7	15	7	3	Poor	Multi-stemmed at 5'.
245	Oleander	7	15	7	3	Poor	Multi-stemmed at 5'.
246	Oleander	7	15	7	3	Poor	Multi-stemmed at 5'.
247	Oleander	7	15	7	3	Poor	Multi-stemmed at 5'.
248	Japanese black pine	3,2,2	8	6	3	Moderate	Multi-stemmed at base.
249	Japanese black pine	3,2,2	8	6	3	Moderate	Multi-stemmed at base.
250	Japanese black pine	4,3,8	8	6	3	Moderate	Multi-stemmed at base.
251	Hollywood juniper	3,3	5	4	3	Moderate	Crown sheared.
252	Japanese black pine	3,3,2	8	6	3	Moderate	Multi-stemmed at base.
253	Coast live oak	12	25	15	3	Moderate	Ivy in crown.
254	Blue oak	15	25	18	3	Moderate	Ivy in crown.
255	Bailey acacia	3,3,3	6	12	3	Moderate	Multi-stemmed at base.
256	Blue oak	8,7,7	20	22	3	Moderate	Poison oak infested.
257	Coast live oak	9	20	15	4	Good	Crown encroaches on site.
258	Black locust	30	35	40	2	Poor	Dieback in upper crown.
259	Monterey pine	17	28	24	6	Moderate	Single trunk.
260	Cercis sp.	3,2,2	12	10	2	Poor	Multi-stemmed at base, split attachment.
261	Tulip tree	8	25	12	4	Moderate	Upright, narrow crown.
262	Beech	5	22	12	5	Good	Good form and health.
263	Crape myrtle	4	18	6	3	Moderate	Multi-stemmed at 6'.
264	Monterey pine	22	25	18	3	Moderate	Upper crown was removed.
265	Monterey pine	25	45	35	4	Moderate	Single trunk.
266	Monterey pine	18	35	20	3	Moderate	Leaning trunk.
267	Crape myrtle	5	18	6	3	Moderate	Multi-stemmed at 6'.
268	Southern magnolia	6	14	14	3	Moderate	Poor color foliage.
269	Victorian box	4	15	12	4	Good	Trunk divides at 4'.

TREE PRESERVATION GUIDELINES

TREE PROTECTION NOTES FROM TREE REPORT PREPARED BY HORTSCIENCE INC.

THE FINAL DESIGN SHALL INCORPORATE THE FOLLOWING DESIGN RECOMMENDATIONS.

1. A TREE PROTECTION ZONE (TPZ) SHALL BE ESTABLISHED AROUND EACH TREE. FOR DESIGN PURPOSES THE TPZ SHALL BE DEFINED AT THE EDGE OF THE DRIPLINE. NO GRADING, EXCAVATION, CONSTRUCTION OR STORAGE OF MATERIALS SHALL OCCUR WITHIN THAT ZONE. WHEN TRUNKS ARE ACCURATELY LOCATED AND DEVELOPMENT PLANS REFINED, THE CONSULTING ARBORIST WILL IDENTIFY SPECIFIC TREE PROTECTION ZONES FOR EACH TREE.

2. NO UNDERGROUND SERVICES INCLUDING UTILITIES, SUB-DRAINS, WATER OR SEWER SHALL BE PLACED IN THE TPZ.

3. TREE PRESERVATION NOTES, PREPARED BY THE CONSULTING ARBORIST, SHOULD BE INCLUDED ON ALL PLANS.

4. ANY HERBICIDES PLACED UNDER PAVING MATERIALS MUST BE SAFE FOR USE AROUND TREES AND LABELED FOR THAT USE.

5. IRRIGATION SYSTEMS MUST BE DESIGNED SO THAT NO TRENCHING WILL OCCUR WITHIN THE TPZ.

PRE-CONSTRUCTION TREATMENTS AND RECOMMENDATIONS:

1. THE CONSTRUCTION SUPERINTENDENT SHALL MEET WITH THE CONSULTING ARBORIST BEFORE BEGINNING WORK TO DISCUSS WORK PROCEDURES AND TREE PROTECTION.

2. FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TPZ PRIOR TO DEMOLITION GRUBBING OR GRADING. FENCES SHALL BE 6 FT CHAIN LINK OR EQUIVALENT AS APPROVED BY CONSULTING ARBORIST. FENCES ARE TO REMAIN UNTIL ALL GRADING AND CONSTRUCTION IS COMPLETED.

3. PRUNE TREES TO BE PRESERVED TO CLEAN THE CROWN AND TO PROVIDE CLEARANCE. ALL PRUNING SHALL BE COMPLETED BY A CERTIFIED ARBORIST OR TREE WORKER AND ADHERE TO THE BEST MANAGEMENT PRACTICES FOR PRUNING OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE. BRUSH SHALL BE CHIPPED AND SPREAD BENEATH THE TREES WITHIN THE TPZ.

RECOMMENDATIONS FOR TREE PROTECTION DURING CONSTRUCTION

1. NO GRADING, CONSTRUCTION, DEMOLITION OR OTHER WORK SHALL OCCUR WITHIN THE TPZ. ANY MODIFICATIONS MUST BE APPROVED AND MONITORED BY THE CONSULTING ARBORIST.

2. ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSED SHALL RECEIVE THE PRIOR APPROVAL OF, AND BE SUPERVISED BY, THE CONSULTING ARBORIST.

3. SUPPLEMENTAL IRRIGATION SHALL BE APPLIED AS DETERMINED BY THE CONSULTING ARBORIST.

4. IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION, IT SHOULD BE EVALUATED AS SOON AS POSSIBLE BY THE CONSULTING ARBORIST SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.

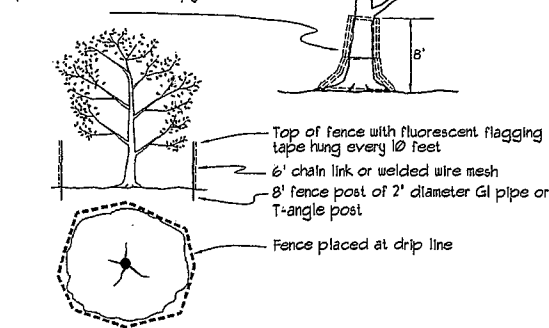
5. NO EXCESS SOIL, CHEMICALS, DEBRIS, EQUIPMENT OR OTHER MATERIALS SHALL BE DUMPED OR STORED WITHIN THE TPZ.

6. ANY ADDITIONAL TREE PRUNING NEEDED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A CERTIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.

NOTES:

Construction period protection for trees should be provided before grading or other equipment is allowed on the property. When construction is to take place beneath a tree canopy on one side, the fence should be sited 2 to 3 feet beyond that construction, but between construction and the tree trunk. If construction or paving is to take place throughout the area beneath canopy, and drip line fencing is not practical, snow fencing should be used to protect the trunks from damage.

SNOW FENCING Three layers of wire and lath snow fencing to 8 feet above ground on trees where construction will take place beneath the canopy.



A TYP. TREE PRESERVATION DETAIL
SCALE: NTS

VILLA
FELICE

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