TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT

MEETING DATE: 12/08/2021

ITEM NO: 4

DATE: December 3, 2021

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval for Demolition of an Existing Detached Garage, Construction of a New Detached Garage to Exceed the Floor Area Ratio, a Grading Permit for Site Improvements, Sport Court Fencing in Excess of Six Feet, and Removal of Large Protected Trees on Property Zoned R-1:20. Located at 140 Prospect Avenue. APN 529-44-021. Property Owner: Daniel Barragan. Applicant: David Kuoppamaki. Project Planner: Jocelyn Shoopman.

RECOMMENDATION:

Denial.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: R-1:20
Applicable Plans & Standards: General Plan; Hillside Development Standards and Guidelines
Parcel Size: 30,090 square feet
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:20 and R-1:8
South	Residential	Low Density Residential	R-1:20
East	Residential	Low Density Residential	R-1:20
West	Residential	Low Density Residential	R-1:8

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PREPARED BY: Jocelyn Shoopman
Associate Planner

Reviewed by: Planning Manager and Community Development Director

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of the requested fence height exceedance for the sports court.
- Make the required finding as required by Section 29.40.025 of the Town Code for granting approval of fencing over six feet in height to enclose a sports court;
- The project complies with the Hillside Development Standards and Guidelines with the exception to the allowable floor area.
- As required by the Hillside Development Standards and Guidelines for granting approval of an exception to the maximum allowable floor area.
- The project complies with the Hillside Specific Plan.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the west side of Prospect Avenue (Exhibit 1). The subject property is approximately 30,090 square feet with an average slope of 19.4 percent. The subject property is a part of the former Sisters of the Holy Names. On March 24, 2014, the Town Council approved Subdivision Application M-13-003 for the subdivision of a 10.3-acre parcel into 17 lots. On April 7, 2015, the Development Review Committee approved Architecture and Site application S-14-063 for construction of a new single-family residence on this property.

The current Architecture and Site application is being referred to the Planning Commission because the applicant is proposing to exceed the maximum allowable floor arear ratio (FAR), fencing in exceedance of six feet within the Hillside Area for a sports court, site improvements requiring a Grading Permit for a swimming pool, basketball court, and additional on-site parking, and removal of large, protected trees. The residence would have the largest floor area in terms of square footage in the immediate neighborhood based on Town and County records.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is approximately 30,090 square feet, located on the west side of Prospect Avenue (Exhibit 1). The subject site and surrounding properties are comprised of single-family homes.

B. Project Summary

The applicant proposes demolition of the existing 608-square foot detached garage and construction of a new 866-square foot detached garage and as a result the floor area on site would exceed the maximum allowable FAR. In addition, the proposed project includes sport court fencing in exceedance of six feet, site improvements requiring a Grading Permit for a swimming pool, basketball court, and additional on-site parking, and removal of large protected trees. The project also includes below-grade square footage that would not count towards the allowable floor area.

C. Zoning Compliance

A detached garage, pool, and sports court are permitted in the R-1:20 zone. The proposed detached garage is in compliance with the zoning regulations for height, setbacks, and on-site parking requirements for the property. The property is located within the Hillside area and is subject to the Hillside Development Standards and Guidelines (HDS&G). The applicant's request for installation of an eight-foot wood fence and 12-foot black, vinyl mesh fence enclosing the proposed sports court requires discretionary review through a Minor Residential Development application for sport court fencing over six feet in height. The required discretionary review of the sport court fencing is included as part of this proposal for consideration by the Planning Commission.

DISCUSSION:

A. Architecture and Site Analysis

The applicant proposes construction of a new 866-square foot detached garage which, when combined with existing floor area onsite, would exceed the maximum allowable FAR, site improvements including a swimming pool, basketball court, and additional on-site parking. Proposed exterior materials for the detached garage include a clay tile roof, smooth coat stucco siding, aluminum clad windows and doors, wood trim, and corbels to match the existing single-family residence (Exhibit 7). The applicant has provided a Letter of Justification detailing the project and the requested exception to the FAR and sport court fencing in excess of six feet in height (Exhibit 4). The proposal includes 956 square feet of below-grade square footage that does not count towards the allowable floor area.

PROJECT DESCRIPTION (continued):

A summary of the floor area for the existing residence and propose detached garage is included in the table on the following page.

Floor Area Chart				
	Existing SF	**Counts Towards FAR**	**Proposed SF**	**Counts Towards FAR**
Main House	4,628	4,628	4,718	4,718
Below-Grade Area *	0	0	956	0
Garage **	608	208	866	466
Total	**5,236**	**4,836**	**6,540**	**5,184**

** Pursuant to Sec. 29.10.020, floor area means the entire enclosed area of all floors that are more than four feet above the proposed grade, measured from the outer face of exterior walls or in the case of party walls from the centerline.*

*** Pursuant to the HDS&G a garage up to 400 square feet in area is not included in the floor area ratio calculation.*

B. Neighborhood Compatibility

Pursuant to Section 29.40.075 (d) of the Town Code, parcels greater than 30,000 square feet are subject to the FAR standards contained in the HDS&G. Pursuant to the HDS&G, the maximum allowable floor area for the subject property is 4,900 square feet. The proposed residence at 4,718 square feet plus 466 square feet of countable garage floor area would result in a total of 5,184 square feet, exceeding the maximum allowable floor area by 284 square feet. The table below reflects the current conditions of the homes in the immediate area and the proposed project.

Address	Zoning	House SF	Garage SF	Total SF	Site SF	Building FAR	Garage FAR
100 Reservoir Rd.	R-1:20	3,959	1,078	5,046	20,000	0.20	0.054
110 Reservoir Rd.	R-1:20	2,823	829	3,652	37,666	0.07	0.022
110 Sisters Ct.	R-1:20	4,379	818	5,197	20,062	0.22	0.041
120 Sisters Ct.	R-1:20	4,107	840	4,947	21,477	0.19	0.039
130 Sisters Ct.	R-1:20	4,945	454	5,399	30,134	0.16	0.015
100 Prospect Ave.	R-1:20	3,683	989	4,672	25,530	0.14	0.039
120 Prospect Ave.	R-1:20	3,757	539	4,296	26,665	0.14	0.020
130 Prospect Ave.	R-1:20	4,102	473	4,575	30,025	0.14	0.016
150 Prospect Ave.	R-1:20	4,294	761	5,055	20,127	0.21	0.038
160 Prospect Ave.	R-1:20	4,373	1,094	5,467	20,347	0.21	0.054
87 Prospect Ave.	R-1:20	2,758	720	3,478	14,750	0.19	0.049
140 Prospect Ave. (Existing)	**R-1:20**	**4,628**	**608**	**5,236**	**30,090**	**0.15**	**0.020**
140 Prospect Ave. (Proposed)	**R-1:20**	**4,718**	**866**	**5,584**	**30,090**	**0.16**	**0.029**

PROJECT DESCRIPTION (continued):

While the property is zoned R-1:20, it is located within the Hillside Area and subject to the HDS&G. Based on Town and County records, the homes in the immediate neighborhood range in size from 2,758 square feet to 4,945 square feet and garages range in size from 473 square feet to 1,094 square feet. The building FARs range from 0.07 to 0.22 and the garage FARs range from 0.016 to 0.054. The applicant is proposing 4,718 square feet of countable floor area for the home (including 90 square feet of bathroom floor area in the garage) on a 30,090-square foot parcel. The proposed residence would be the second largest in terms of total square footage and the seventh largest in terms of FAR. The proposed detached garage would be the fourth largest in terms of total square footage and the eighth largest in terms of FAR. There are no homes in the immediate neighborhood which currently exceed their maximum allowable floor area ratio.

Exhibit 4 contains the applicant's Letter of Justification addressing each of the findings required to grant an exception to the maximum allowable FAR. In addition, the applicant states that due to the topography and narrowness of the lot, there is a shortage of street parking and the enlarged garage would allow for additional on-site parking spaces. In addition, the applicant states that there are adjacent properties with garages that are larger in terms of square footage on lots that are smaller than the subject property.

C. Tree Impacts

The development plans were reviewed by the Town's Consulting Arborist who inventoried 12 protected trees within the project area and made recommendations for preservation (Exhibit 5). The project proposes removal of four protected trees, two of which are considered to be large protected trees (trees 254 and 261). The Consulting Arborist notes that all four trees recently planted along the front of the property (trees 746 through 749) would all require removal or transplanting based on the proposed site improvements. If the project is approved, tree protection measures would be implemented prior to construction and maintained for the duration of construction activity. Planting of replacement trees and/or payment of in-lieu fees would be required prior to issuance of a Certificate of Occupancy pursuant to Town Code. Arborist recommendations for tree protection have been included in the Conditions of Approval to mitigate impacts to protected trees (Exhibit 3).

D. Grading

The applicant is proposing site improvements with grading quantities in excess of 50 cubic yards, which requires a Grading Permit. The Town's Parks and Public Works Engineering staff have included a condition of approval requiring submittal and evaluation of a Grading Permit in parallel with the required Building Permits (Exhibit 3). Site improvements

PROJECT DESCRIPTION (continued):

including a sports court, a paved parking space, pool, and gazebo are proposed. The Site Planning section of the HDS&G limits site grading cut depths to a maximum of four feet and fill depths to a maximum of three feet. New below grade space is proposed under the footprint of the detached garage and is exempt from the site grading cut and fill depths. The grading associated with each site improvement has been reviewed by Planning and Engineering staff and it is in compliance with the maximum grading cut and fill depths as outlined in the HDS&G. The applicant has included a Letter of Justification addressing the proposed grading (Exhibit 4).

E. Fencing

The applicant has requested approval to construct an eight-foot wood fence along the north elevation of the proposed sports court, adjacent to the shared driveway, and a 12-foot black, vinyl mesh fence along the east, south, and west elevations of the proposed sports court (Exhibit 4). Section 29.40.025 of the Town Code requires discretionary review through a Minor Residential Development application for sport court lighting and fencing over six feet in height enclosing sport court areas. The required discretionary review of the sport court fencing is included as part of this proposal for consideration by the Planning Commission in the determination of whether it is appropriate. Pursuant to the HDS&G, lighting for night use of outdoor sport courts is prohibited and no lighting is proposed by the applicant.

F. Neighbor Outreach

The owners have indicated that they have shared the plans with surrounding neighbors as outlined in Exhibit 4.

G. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PUBLIC COMMENTS:

Public comments received by 11:00 a.m., Friday, December 3, 2021, are included as Exhibit 6.

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application for construction of a new detached garage to exceed the floor area ratio, installation of an eight-foot wood fence and 12-foot black, vinyl mesh fence enclosing a proposed sports court, site improvements requiring a Grading Permit for a swimming pool, basketball court, and additional on-site parking, and removal of large protected trees. The proposed residence would be the second largest in terms of total square footage and seventh largest in terms of FAR, while the proposed detached garage would be the fourth largest in terms of total square footage and the eighth largest in terms of FAR in the immediate neighborhood. There are no homes in the immediate neighborhood which currently exceed their maximum allowable floor area ratio. The applicant has proposed an eight-foot wood fence along the north elevation of the proposed sports court, adjacent to the shared driveway, and a 12-foot black, vinyl mesh fence along the east, south, and west elevations of the proposed sports court. The site improvements proposed for a swimming pool, basketball court, and additional on-site parking all comply with the maximum allowable cut and fill depths pursuant to the HDS&G.

B. Recommendation

Based on the analysis above, staff recommends denial of the Architecture and Site application.

C. Alternatives

Alternatively, the Commission can:

1. Approve the application by taking the following actions:
    a. Make the finding that the proposed project is Categorically Exempt, pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures (Exhibit 2);
    b. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of the requested fence height exceedance for the sports court (Exhibit 2);
    c. Make the required finding as required by Section 29.40.025 of the Town Code for granting approval of fencing over six feet in height to enclose a sports court (Exhibit 2);
    d. Make the finding that the project is in compliance with the Hillside Development Standards and Guidelines with the exception to the allowable floor area (Exhibit 2);
    e. Make the findings as required by the Hillside Development Standards and Guidelines

CONCLUSION (continued):

for granting approval of an exception to the maximum allowable floor area (Exhibit 2);

f. Make the finding that the project complies with the Hillside Specific Plan (Exhibit 2);
g. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
h. Approve Architecture and Site Application S-20-033 with the conditions contained in Exhibit 3 and the development plans in Exhibit 7.

2. Approve the application with additional and/or modified conditions; or
3. Continue the matter to a date certain with specific direction.

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description and Letter of Justification, dated August 2, 2021
5. Consulting Arborist's Report, dated October 13, 2021
6. Development Plans

140 Prospect Avenue

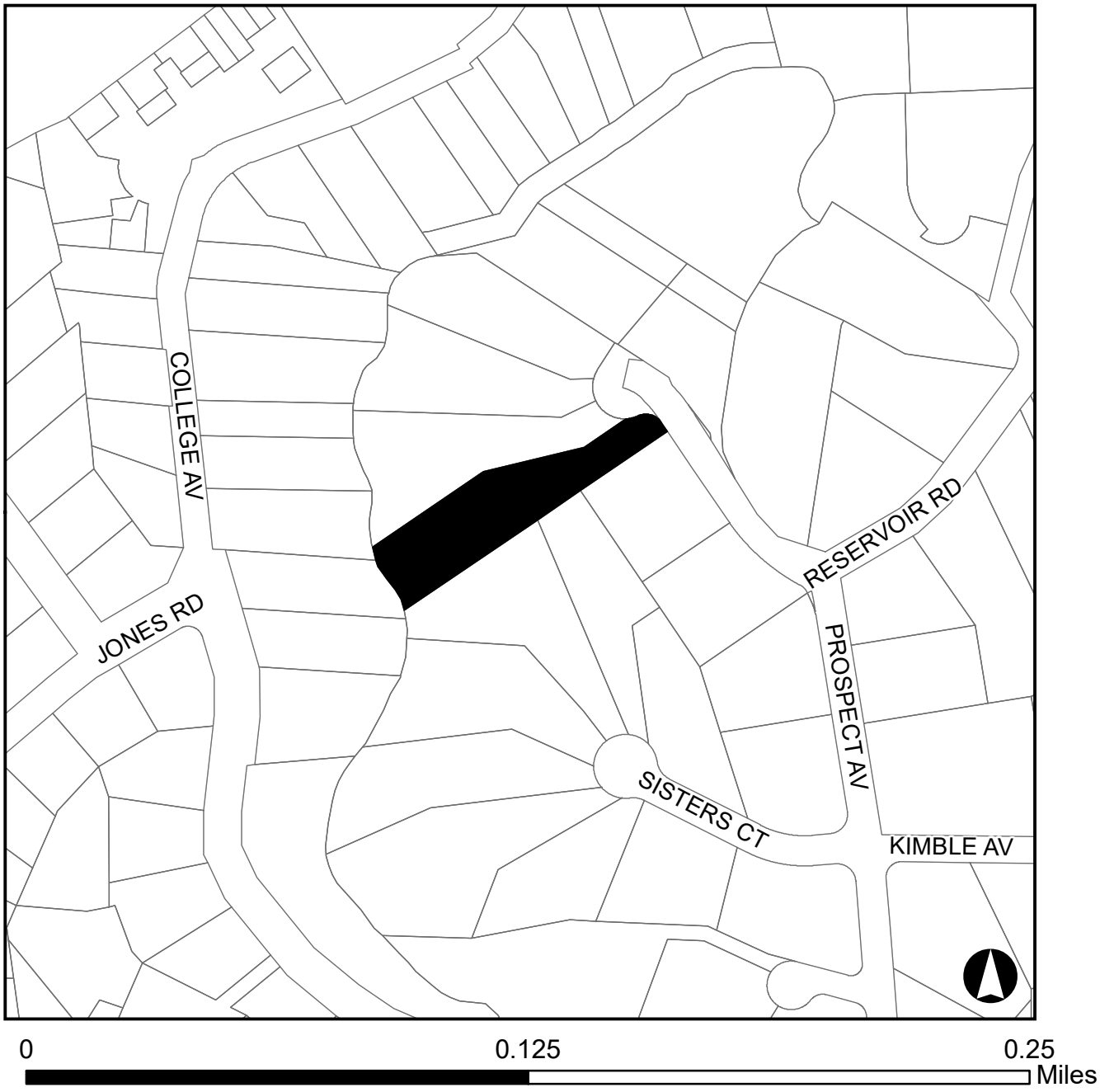


EXHIBIT 1

This Page
Intentionally
Left Blank

PLANNING COMMISSION – *December 8, 2021*
REQUIRED FINDINGS AND CONSIDERATIONS FOR:

140 Prospect Avenue
Architecture and Site Application S-20-033

Requesting Approval for Demolition of an Existing Detached Garage, Construction of a New Detached Garage to Exceed the Floor Area Ratio, a Grading Permit for Site Improvements, Sport Court Fencing in Excess of Six Feet, and Removal of Large Protected Trees on Property Zoned R-1:20. Located at 140 Prospect Avenue. APN 529-44-021.

PROPERTY OWNER: Daniel Barragan
APPLICANT: David Kuoppamaki
PROJECT PLANNER: Jocelyn Shoopman

FINDINGS

Required Finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

Required Compliance with the Zoning Regulations:

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of the requested fence height exceedance for the sports court.

Required Finding for Fence Height Enclosing A Sport Court:

- As required by Section 29.40.025 of the Town Code for granting approval of fencing over six feet in height to enclose a sports court.

Required Compliance with Hillside Development Standards and Guidelines (HDS&G):

- The project is in compliance with the Hillside Development Standards and Guidelines with the exception to the allowable floor area.

EXHIBIT 2

Exception to the Maximum Allowable Floor Area:

- The Commission may grant an exception to the maximum allowed floor area if the following conditions are satisfied. The applicant has provided reasons and evidence to support the granting of the floor area exception.

    1. The development will not be visible from any of the established viewing areas.
    2. There will be no significant impacts on protected trees, wildlife habitat or movement corridors.
    3. Any grading necessary to accommodate the building area that exceeds the allowed floor area ratio or any accessory building will be minimized.
    4. All standards and applicable guidelines are being met.
    5. Compliance to Title 24 Energy Efficiency Standards are shown using computer methods. The compliance margin must be at least 10.0.
    6. The house will be pre-wired for future photovoltaic (PV) installation.
    7. A minimum of 25% of hardscape material is permeable (certain types of interlocking pavers, grasscrete, pervious concrete, etc.)
    8. A significant below grade square footage element is included in the design, unless it conflicts with other standards.
    9. There will not be a significant visual impact to neighboring properties.

Required Compliance with the Hillside Specific Plan

- The project is in compliance with the Hillside Specific Plan.

CONSIDERATIONS

Required Considerations in Review of Architecture and Site Applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

PLANNING COMMISSION – *December 8, 2021*
CONDITIONS OF APPROVAL

<u>140 Prospect Avenue</u>
Architecture and Site Application S-20-033

Requesting Approval for Demolition of an Existing Detached Garage, Construction of a New Detached Garage to Exceed the Floor Area Ratio, a Grading Permit for Site Improvements, Sport Court Fencing in Excess of Six Feet, and Removal of Large Protected Trees on Property Zoned R-1:20. Located at 140 Prospect Avenue. APN 529-44-021.

PROPERTY OWNER: Daniel Barragan
APPLICANT: David Kuoppamaki
PROJECT PLANNER: Jocelyn Shoopman

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC, or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. TREE FENCING: Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
7. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.

EXHIBIT 3

8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
9. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
10. TREE REPLACEMENT: Prior to issuance of final occupancy replacement trees must be planted.
11. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the requirements of the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. Submittal of a Landscape Documentation Package pursuant to WELO is required prior to issuance of a building permit. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review. A completed WELO Certificate of Completion is required prior to final inspection/certificate of occupancy.
12. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.
13. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

14. PERMITS REQUIRED: A Demolition Permit is required for the demolition of the existing detached garage. A separate Building Permit is required for the construction of the new detached garage and future ADU. An additional Building Permit will be required for any detached structure such as the gazebo, swimming pool, and any retaining wall supporting a surcharge. An additional Building Permit will be required for the PV System if the system is required by the California Energy Code.
15. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
16. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
17. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
18. SIZE OF PLANS: Minimum size 24” x 36”, maximum size 30” x 42”.
19. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department

Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.

20. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
21. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
22. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
    a. Building pad elevation
    b. Finish floor elevation
    c. Foundation corner locations
    d. Retaining wall(s) locations and elevations
23. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
24. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
    a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
    b. All passage doors shall be at least 32-inch wide doors on the accessible floor level.
    c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
    d. A door buzzer, bell or chime shall be hard wired at primary entrance.
25. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
26. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.

27. WILDLAND-URBAN INTERFACE: This project is located in a Wildland-Urban Interface High Fire Area and must comply with Section R337 of the 2019 California Residential Code, Public Resources Code 4291 and California Government Code Section 51182.
28. PROVIDE DEFENSIBLE SPACE/FIRE BREAK LANDSCAPING PLAN: Prepared by a California licensed Landscape Architect in conformance with California Public Resources Code 4291 and California Government Code Section 51182.
29. PRIOR TO FINAL INSPECTION: Provide a letter from a California licensed Landscape Architect certifying the landscaping and vegetation clearance requirements have been completed per the California Public Resources Code 4291 and Government Code Section 51182.
30. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at www.losgatosca.gov/building.
31. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of $2 or at ARC Blueprint for a fee or online at www.losgatosca.gov/building.
32. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
    a. Community Development – Planning Division: (408) 354-6874
    b. Engineering/Parks & Public Works Department: (408) 399-5771
    c. Santa Clara County Fire Department: (408) 378-4010
    d. West Valley Sanitation District: (408) 378-2407
    e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

33. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner/Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition

may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner/Applicant's expense.

34. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
35. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
36. PRIOR APPROVALS: All conditions per prior approvals shall be deemed in full force and affect for this approval.
37. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over $5,000 will require construction security. It is the responsibility of the Owner/Applicant to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
38. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.
39. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
40. PUBLIC WORKS INSPECTIONS: The Owner/Applicant or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
41. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner/Applicant or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner/Applicant or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The

Owner/Applicant or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

42. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
43. STREET CLOSURE: Any proposed blockage or partial closure of the street requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
44. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
45. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any grading or building permits or recordation of the Parcel / Final Map.
46. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner/Applicant's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
47. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner/Applicant.
48. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner/Applicant's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.
49. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
50. GRADING ACTIVITY RESTRICTIONS: Upon receipt of a grading permit, any and all grading activities and operations shall not commence until after/occur during the rainy season, as

defined by Town Code of the Town of Los Gatos, Sec. 12.10.020, (October 15-April 15), has ended.

51. COMPLIANCE WITH HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES: All grading activities and operations shall be in compliance with Section III of the Town's Hillside Development Standards and Guidelines. All development shall be in compliance with Section II of the Town's Hillside Development Standards and Guidelines.
52. CONSTRUCTION EASEMENT: Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner/Applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
53. DRAINAGE IMPROVEMENT: Prior to the prior to the issuance of any grading/improvement permits, whichever comes first, the Owner/Applicant shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.
54. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.
55. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
    a. Retaining wall: top of wall elevations and locations.
    b. Toe and top of cut and fill slopes.
56. RETAINING WALLS: A building permit, issued by the Building Department, located at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
57. PROXIMITY OF RETAINING WALLS TO ADJACENT BUILDINGS: Prior to the issuance of a grading or building permit, structural details for the proposed retaining walls located immediately adjacent to or in the immediate vicinity of existing buildings on adjoining lots shall be submitted confirming that said walls will not negatively affect the structural integrity of these buildings.
58. SOILS REPORT: One electronic copy (PDF) of the soils and geologic report shall be submitted with the application. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.
59. GEOLOGY AND SOILS MITIGATION MEASURE: A geotechnical investigation shall be conducted for the project to determine the surface and sub-surface conditions at the site and to determine the potential for surface fault rupture on the site. The geotechnical study shall provide recommendations for site grading as well as the design of foundations, retaining walls, concrete slab-on-grade construction, excavation, drainage, on-site utility trenching and pavement sections. All recommendations of the investigation shall be incorporated into project plans.

60. SOILS REVIEW: Prior to issuance of a building permit, the Owner/Applicant's engineers shall prepare and submit a design-level geotechnical and geological investigation for review by the Town's consultant, with costs borne by the Owner/Applicant, and subsequent approval by the Town. In the event that the deciding body requests as such, the peer review shall be completed prior to approval of a development application. The Owner/Applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. Approval of the Owner/Applicant's soils engineer shall then be conveyed to the Town either by submitting a Plan Review Letter prior to issuance of grading or building permit(s).
61. SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Owner/Applicant's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Owner/Applicant's soils engineer and submitted to the Town before a certificate of occupancy is granted.
62. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the project's design-level geotechnical/geological investigation as prepared by the Owner/Applicant's engineer(s), and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner/Applicant.
63. WATER METER: The existing water meter, currently located within the Prospect Ave right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner/Applicant shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a building permit.
64. JOINT TRENCH PLANS: Joint trench plans shall be reviewed and approved by the Town prior to recordation of a map. The joint trench plans shall include street and/or site lighting and associated photometrics. A letter shall be provided by PG&E stating that public street light billing will by Rule LS2A, and that private lights shall be metered with billing to the homeowners' association. Pole numbers, assigned by PG&E, shall be clearly delineated on the plans.
65. SANITARY SEWER CLEANOUT: The existing sanitary sewer cleanout, currently located within the Prospect Avenue right-of-way, shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner/Applicant shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
66. UTILITIES The Owner/Applicant shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall

be placed underground. Underground conduit shall be provided for cable television service. The Owner/Applicant is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.

67. UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.
68. UTILITY EASEMENTS: Deed restrictions shall be placed on lots containing utility easements. The deed restrictions shall specify that no trees, fences, structures or hardscape are allowed within the easement boundaries, and that maintenance access must be provided. The Town will prepare the deed language and the Owner/Applicant's surveyor shall prepare the legal description and plat. The Owner/Applicant shall pay any recordation costs. The documents shall be recorded before any grading or permits are issued.
69. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
70. ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
71. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
72. CONSTRUCTION HOURS: The delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner/Applicant shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
73. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-

five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.

74. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.
75. EMERGENCY VEHICLE ACCESS: The Emergency Vehicle Access Easement (EVAE) that traverses the Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice shall be provided at least one week in advance of closure.
76. SANTA CLARA VALLEY WATER DISTRICT (SCVWD): Prior to start of any work along or within Santa Clara Valley Water District (SCVWD) right-of-way/easement, the Owner/Applicant shall submit construction plans to SCVWD for review and approval and obtain necessary encroachment permits for the proposed work. A copy of approved encroachment permit is required to be submitted to the Engineering Division of the Parks and Public Works Department prior to Building Permit issuance.
77. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.
78. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
79. BEST MANAGEMENT PRACTICES (BMPs): The Owner/Applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.

80. NPDES STORMWATER COMPLIANCE: In the event that, during the production of construction drawings for the plans approved with this application by the Town of Los Gatos, it is determined that the project will create and/or replace more than 2,500 square feet of impervious area, completion of the NPDES Stormwater Compliance Small Projects Worksheet and implementation of at least one of the six low impact development site design measures it specifies shall be completed and submitted to the Engineering Division before issuance of a grading/building permit.
81. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
    a. Protect sensitive areas and minimize changes to the natural topography.
    b. Minimize impervious surface areas.
    c. Direct roof downspouts to vegetated areas.
    d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
    e. Use landscaping to treat stormwater.
82. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.
83. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
84. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon

watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.

85. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
    a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
    b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
    c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
    d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
    e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
    f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
    g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
    h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
    i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
    j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
86. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
87. WATER FEATURES: New swimming pools, hot tubs, spas and/or fountains shall have a connection to the sanitary sewer system, subject to West Valley Sanitation District's

authority and standards, to facilitate draining events. Discharges from these features shall be directed to the sanitary sewer and are not allowed into the storm drain system.

88. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
89. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
90. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner/Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner/Applicant's expense.
91. NEIGHBORHOOD CONSTRUCTION COMMUNICATION PLAN: Immediately upon approval of an encroachment permit, the Owner/Applicant shall initiate a weekly neighborhood email notification program to provide project status updates. The email notices shall also be posted on a bulletin board placed in a prominent location along the project perimeter.
92. PERMIT ISSUANCE: Permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.
93. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

94. FIRE SPRINKLERS REQUIRED: *(As noted on Sheet CVR-1)* An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 SF whether by increasing the area of the primary residence or by creation of an attached Accessory Dwelling Unit. 2) In all new basements and in existing basements that are expanded by more than 50 percent. 3) In all attached Accessory Dwelling Units, additions or alterations

to an existing one- and two-family dwellings that have an existing fire sprinkler system. Exceptions: 1) One or more additions made to a building after January 1, 2011 that does not total more than 1,000 square feet of building area and meets all access and water supply requirements of Chapter 5 and Appendix B and C of the 2019 California Fire Code. 2) Detached Accessory Dwelling Units, provided that all of the following are met: a) The unit meets the definition of an Accessory Dwelling Unit as defined in the Government Code Section 65852.2. b) The existing primary residence does not have automatic fire sprinklers. c) The detached ADU does not exceed 1,200 square feet in size. d) The unit is on the same lot as the primary residence. e) The unit meets all access and water supply requirements of Chapter 5 and Appendix B and C of the 2019 California Fire Code. Sprinklers required for both detached ADU and gazebo.

95. GENERATOR: *(As noted on Sheet CVR-1)* New standby generator shall be on a deferral submittal for further review.
96. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7
97. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
98. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
99. GENERAL: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

KUOP DESIGNS
3141 Stevens Creek Blvd #104
San Jose, CA 95117
408.357.0818 Office
530.919.2921 Cell

DATE: AUGUST 2, 2021

TO: LOS GATOS BUILDING DEPARTMENT

PROJECT OWNER/ADDRESS:
Daniel Barragan
140 Prospect Ave
Los Gatos, CA 95030

Written Description of Proposed Project/ Letter of Justification

Garage:
This project has an existing 2 story 4,628 SF residence with a 608 SF detached garage. We are asking to:

1. Enlarge the existing 608 SF garage to a 956 SF building. It will be 866 SF garage with 90 SF bathroom counted toward main residence square foot. The enlarged garage will also have a basement below with a lightwell that opens to the existing sloping rear yard. This will make a 4,718 SF residence with a 866 SF garage. The max allowed is 4,900 SF residence with a 400 SF garage. This increase in FAR by 284 SF will require additional approval.
2. A sports court is also being proposed. For the sports court, we are asking for fencing that is taller than allowed by HDS&G. The fence height will require addition approval.
3. Grading will be required for the proposed pool, gazebo and front patio extension. The grading for these are within HDS&G requirements. We will also have grading for the basement lightwell which will require additional approval.
4. We will be adding retaining walls in specific locations to help create these areas on site and would like to address how these walls are consistent with the objectives of the HDS&G.
5. The garage and ADU will be designed to have similar architectural features to the existing residence. Please not the ADU is not a part of this approval, but it's design does impact architectural design of the garage.
6. We will be removing a heritage tree in poor condition and adding visual screen landscaping.
7. During this process we have reached out to neighbors and made adjustments to the plans to appease all parties.

Increase in FAR and neighborhood compatibility.
Per planning, the max FAR for this lot is 4,900 residence with 400 SF garage and 1,200 SF ADU on this 30,090 SF lot. We are asking for a 4,718 SF residence (90 SF increase as the bathroom in the garage is counted toward living space) and an 866 SF garage.

The Existing residence and detached garage sit atop a hill with a narrow driveway. Prospect Avenue has very little street parking and there is very little room for vehicles on this property. The proposal increases the garage size to help accommodate parking on this lot. Out of the twelve neighbors in the house size comparison chart, the average garage size is 768 SF and there are three residences with garages larger than 866 SF, on smaller lots. If you do a comparison of house size to garage size, 140 Prospect appears to have quite a small garage and enlarging it fits with the house to garage size comparison.
We are asking for exceptions of the maximum floor area and are following the requirements in the Hillside-Standards:

1. The developed area will not be visible from any of the established viewing areas.
2. There will be no significant impacts on protected trees, wildlife habitat or movement corridors. The main tree that is being removed near the addition is due to its condition per the arborist. (see arborist report)
3. All grading for the building extension is minimal.
4. All standards and guidelines are being met.
5. Since this is a garage, we will not need to be compliant with Title-24, but the living areas of basement and ADU will comply with Title-24. Please not the ADU is not a part of this application
6. The ADU roof will be pre-wired for future photovoltaic installation. Please not the ADU is not a part of this application
7. Over 25% of new hardscape material will be permeable.
8. A below grade square footage element is included in the design.
9. The visual impact to the neighbors will be minimal.

EXHIBIT 4

10. Other – also the size of the house is similar to all the neighboring properties, although there are 3 neighbors that have 3 car garages and that's what we are looking to have also – 150 Prospect Ave, 120 Sisters Ct and 110 Sisters Ct. all have 3 car garages.

Fencing.
The front yard we are proposing to extend the existing front patio with a new stairway going down to a landscape area. Past this lawn/landscape area is a proposed sports court (half a basketball court). The court is located adjacent to the neighbor's outdoor activity area. The sports court is proposing two types of fencing over 6 ft in height. The first is the 8ft tall redwood fence on the driveway side of the sports court. This is to provide protection from the shared driveway and traffic there and to keep the sports court balls within the court. Also, please note the fence elevations sheet A0.2. as the tallest portion of the fence is 8'-0" at the high side, the fence is under 6ft. This special privacy concern between the driveway and sports court cannot be practically addressed by additional landscaping or tree screening. The other three sides of the court we are proposing 12 ft tall black mesh (see through) fencing. This is to keep the sports court balls out of the neighboring property. The proposed see-through black mesh is also proposed to provide a view through the sports court to the landscaping and residence beyond. Again, this 12 ft black see-through mesh fencing is to accommodate special privacy concerns. There is little parking on site or in the cul-de-sac, so we are proposing permeable paver parking past the sports court.

Grading Depth Exceptions.
This project will have a new basement built under the proposed garage. There are no other basements on this site. Basements and pools are excluded from the maximum graded cuts and fills per HDS&G. The proposed detached garage basement with lightwell, while required for fire life and safety are not excluded. The rear of the property has a gradual slope downhill and we positioned the basement and lightwell within this sloping area to reduce any visual impact it may and retain the existing natural slope of the property. The excavation itself, will not be overly impactful to the site. Planning has asked for justification of the size of the lightwell. The initial SF of the lightwell was 274 SF and this included an outdoor seating and bbq area. The minimum area for a lightwell per fire life and safety for this basement would be 88 SF. This would be a 3ft clear space directly outside the basement for egress. We would like a little more space than the minimum so it is not so cramped and have updated the light well to be 175 SF. This will reduce the impact of grading and allow for a clear space outside of the basement.

Retaining walls.
There are many areas of this project that require grading and to reduce the overall grading and its potential impact to the site we are recommending adding retaining walls. The retaining wall height are consistent with the objectives of the HDS&G. The main areas for these retaining walls are the rear pool/gazebo area, front patio extension and sports court/parking area.
The rear yard has a flat area that can have construction based on LRDA. We are proposing a pool and 180 SF Gazebo in this area. We are proposing a 5ft tall retaining wall in this LRDA area to flatten the area for these improvements. Pool and Gazebo location will have little to no impact on adjacent properties. Grading will be minimal as our proposed location for the pool and gazebo are a naturally flat area of the rear yard. The retaining wall in this location will also provide slope stability for the pool and gazebo.

The front patio extension and sports court will need to two 3 foot retaining walls and one 5 foot retaining wall (to match the existing retaining wall height on the driveway. These retaining walls will follow the existing topography of the site and keep the visual aesthetics of the natural grade. They will also reduce the grading required to add these elements

Garage Architectural Features.
We are proposing a 10-foot garage level ceiling and an 8-foot ADU ceiling above. The request for 10 ft ceiling is to fit a car lift. The existing garage is below average size with no driveway parking. Optimal car lift height is 11 – 12 feet tall but we can fit a lift in a 10-foot-tall ceiling, giving more room for parking. Although the ADU is not a part of this application, it's ceiling height has a direct effect on the overall height and mass of this design.

The existing residence has a 9-foot 1st and 2nd floor. As the 10-foot garage level ceiling has concerned planning regarding bulk of the building, we have broken down the façade of all sides of the building to reduce the image of prominently visible mass of building. The front and rear of the building have porches to break up the façade, while the right side has a pop out with wood material instead of the main stucco material to help with bulk and the left side has a single-story roof from the garage below to alleviate the feeling of bulk. We have also proposed an 8ft ADU ceiling to maintain the similar height as the residence.

Landscaping.
The rear yard consists of a large oak tree that is in poor condition per our Arborist Report from Kevin Kielty, Certified Arborist #WE0476A. We are now proposing to remove this Oak tree and two other smaller Oak trees that are in the way of our proposed pool area.

We are also proposing 3 large, 48 inch box mature Black Oak trees to be planted between the garage and fence shared by the neighbor to provide a visual screen.

Neighborhood Outreach.

On March 23, 2021 we mailed out a letter to the following neighbors along with a set of plans. This letter and plans was provided to the planning department. 87, 100, 110, 120, 130, 150, 160 Prospect Ave & 110, 120, 130 Sisters Ct. We received comments back from Robert Khalipa at first who is the father of the owner Jason Khalipa at 130 Prospect. He had concerns about the ADU on top of the garage (which is not a part of this review). We had a conversation with Jason the owner of 130 Prospect and he had concerns about the roof top deck on top of the ADU. At that point we decided to remove that element from the plans and add mature privacy trees between the garage/ADU and 130 Prospect to create a visual screen.

This page
Intentionally
Left blank

Tree Inventory, Assessment, and Protection Report

140 Prospect Avenue, Los Gatos
Los Gatos, CA 95032

Prepared for:

Town of Los Gatos

October 13, 2021

Prepared By:

Monarch Consulting Arborists

Richard Gessner
P.O. Box 1010 - Felton, CA 95018
1 831 331 8982
www.monarcharborists.com

Table of Content

Summary

The applicant is requesting approval for the demolition of an existing detached garage, construction of a new detached garage to exceed the floor area ratio (FAR), and a grading permit for site improvements. The inventory contains eleven (11) trees comprised of three (3) different species (coast live oak (*Quercus agrifolia*), blue oak (*Quercus douglasii*), and black oak (*Quercus kelloggii*)). Six trees are considered Large Protected and none are Exempt. Three trees are in good condition, seven in fair shape, one poor (#749), and one very poor (#254). Large Protected blue oak #254 is void of foliage and in irreversible decline. Seven trees could highly impacted by the proposed plans including two Large Protected blue oaks #261 and #254. I considered #275 and #252A to be moderate-highly impacted. The four coast live oaks in front #746, #747, #748, and #749 would all require removal or transplanting. It may be possible to work around #261 and #254 or use alternative construction techniques to minimize impacts, but as displayed on the plans these trees would be destroyed. The applicant will be required to replace seven (7) protected trees according to the ordinance. Tree Protection would require exclusion from the lower terrace and trees #275 and #252A are close to the proposed grading and exclusion by fence, or relegating construction to the adjacent most upper plane in the terraces. The front of the site will require everything to be eradicated and no tree protection will be necessary. There were twelve (12) trees appraised for a rounded depreciated value of $88,530.00.

Introduction

Background

The Town of Los Gatos asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.

Assignment

- Provide an arborist's report including an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings. Affix number tags on the trees for reference on site and on plans.
- Provide tree protection specifications, guidelines, and impact ratings for those affected by the project.
- Provide appraised values using the Trunk Formula Technique.

Limits of the assignment

- The information in this report is limited to the condition of the trees during my inspection on September 21, 2021. No tree risk assessments were performed.
- Tree heights and canopy diameters are estimates.

- The plans reviewed for this assignment were as follows (Table 1)

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source
Existing Site Topographic			No	
Proposed Site Plan	June 1, 2021	A0.1	Yes	Kuop Designs
Erosion Control			No	
Grading and Drainage	July 2021	C2 C2.1	No	GKM Engineering
Utility Plan and Hook-up locations			No	
Exterior Elevations	June 1, 2021	A0.2	Yes	Kuop Designs
Landscape Plan			No	
Irrigation Plan			No	
T-1 Tree Protection Plan			No	

Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the Town of Los Gatos and the property owners as a reference for existing tree conditions to help satisfy planning requirements.

Observations

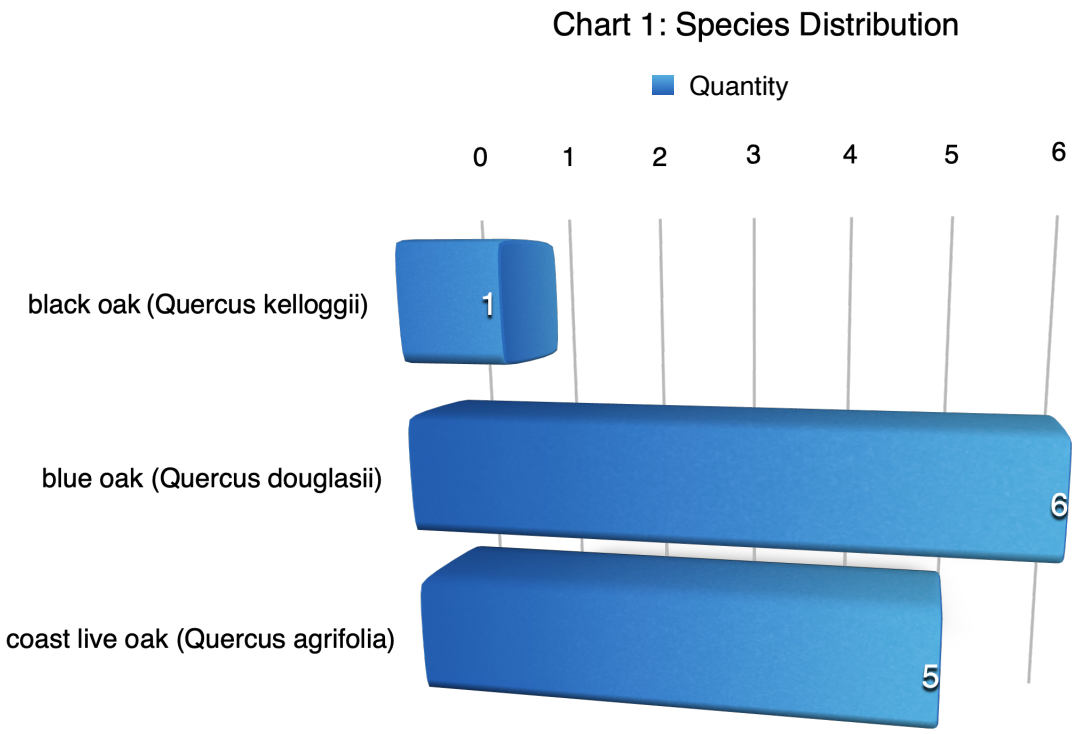
Tree Inventory

The inventory consists of trees protected by the Town of Los Gatos located on site and those in close proximity on neighboring properties. Sec. 29.10.0960. - Scope of protected trees. All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required. (Appendix A and B). Los Gatos Town Ordinance 29.10.0970 Exceptions (1) states the following: “A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).

Plans

Requesting approval for the demolition of an existing detached garage, construction of a new detached garage to exceed the floor area ratio (FAR), and a grading permit for site improvements.

The inventory contains eleven (11) trees comprised of three (3) different species (Chart 1). Six trees are considered Large Protected[1] and none are Exempt[2] (Chart 1).



[1] Large protected tree means any oak (*Quercus spp.*), California buckeye (*Aesculus californica*), or Pacific madrone (*Arbutus menziesii*) which has a 24-inch or greater diameter (75-inch circumference); or any other species of tree with a 48-inch or greater diameter (150-inch circumference).

[2] A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).

Analysis

Tree appraisal was performed according to the Council of Tree & Landscape Appraisers *Guide for Plant Appraisal 10th Edition, 2019* (CLTA) along with Western Chapter International Society of Arboriculture *Species Classification and Group Assignment, 2004*. The trees were appraised using the "Cost Approach" and more specifically the "Trunk Formula Technique" (Appendix B).

"Trunk Formula Technique" is calculated as follows: Basic Tree Cost = (Unit tree cost x Appraised trunk area), Appraised Value = (Basic tree cost X functional Limitations (percentage) X Condition (percentage) X External Limitations (percentage)).

The trunk formula valuations are based on four tree factors; size (trunk cross sectional area), condition, functional limitations, and external limitations. There are two steps to determine the overall value. The first step is to determine the "Basic Tree Cost" based on size and unit tree cost. Unit tree cost is calculated by dividing the nursery wholesale cost of a 24 inch box specimen and its replacement size (cost per square inch trunk caliper) which is determined by the *Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement*. The cost of the 24 inch box wholesale specimen was determined through personal communications with BrightView and Normans nurseries in Farmington and Central Wholesale in San Jose for an average of $214.00.

The second part is to depreciate the tree's Basic Cost through an assessment of condition, functional limitations, and external limitations. The condition assessment guidelines and percentages are defined in the "Condition Rating" section of this report. Functional limitations are based on factors associated with the tree's interaction to its planting site that would affect condition, limit development, or reduce the utility in the future and include genetics, placement, and site conditions for the individual tree. External limitations are outside the property, out of control of the owner and also affect condition, limit development, or reduce the utility in the future (i.e power lines, municipal restrictions, drought adaptations, or species susceptibility to pests).

There were twelve (12) trees appraised for a rounded depreciated value of $88,530.00.

Appraisal worksheets are available upon request

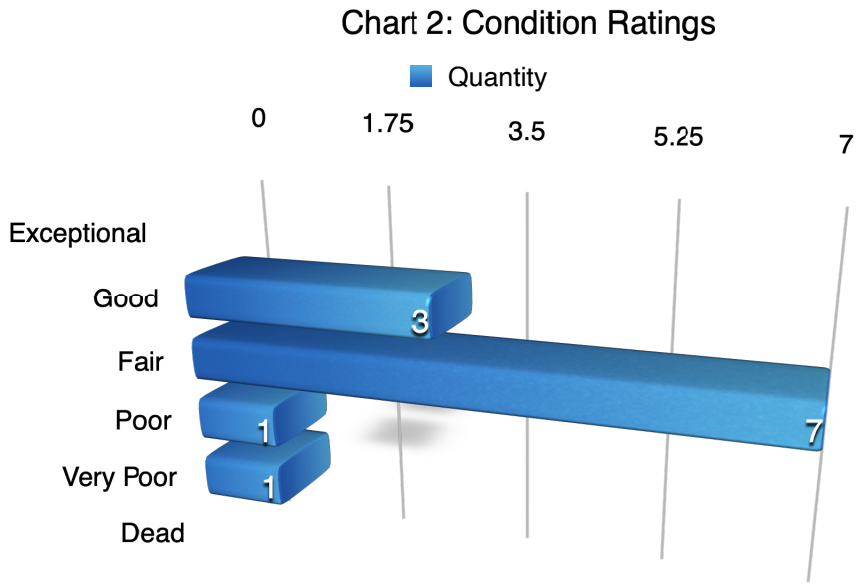
Discussion

Condition Rating

A tree's condition is a determination of its overall health, structure, and form. The assessment considered all three criteria for a combined condition rating.

- 100% - Exceptional = Good health and structure with significant size, location or quality.
- 61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% - Dead/Unstable = Dead or imminently ready to fail.

Three trees are in good condition and they are the newly planted coast live oaks in front with the exception of #749. Seven trees are in fair shape, one poor (#749), and one very poor (#254). Large Protected blue oak #254 is void of foliage and in irreversible decline. Black oak #275 and blue oak #252B have large columns of decay and the black oak leans.

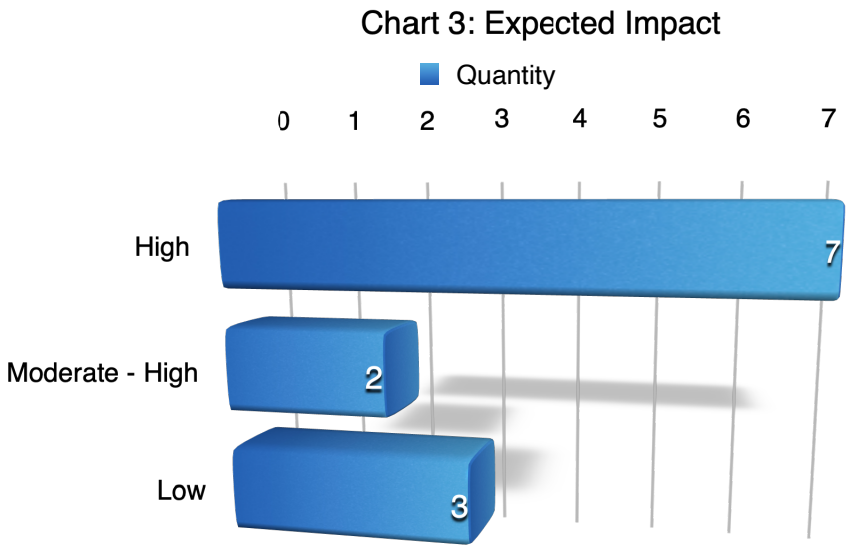


Expected Impact Level

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

Seven trees could highly impacted by the proposed plans including two Large Protected blue oaks #261 and #254. Tree #254 is in irreversible decline and may in fact be dead. Oaks #261 and #275 would be affected by the expanded garage while #257 and #254 are either adjacent to grading or within the footprint. I considered #275 and #252A to be moderate-highly impacted. The four coast live oaks in front #746, #747, #748, and #749 would all require removal or transplanting while #749 is a failed planting with a shifted root ball and leaning trunk. It may be possible to work around #261 and #254 or use alternative construction techniques to minimize impacts but as displayed these trees would be destroyed. The trees in front were all somewhat recently planted large specimens and technically that could be lifted out of the ground and moved to another location if feasible and desired.



Mitigation for Removals

The table below indicates the recommended replacement values (Table 2). The applicant will be required to replace seven (7) protected trees according to the ordinance. Alternatively it may be possible to create an approved landscape plan or provide an in-lieu payment.

Table 2: Town of Los Gatos Tree Canopy - Replacement Standard

Canopy Size of Removed Tree (1)	Replacement Requirement (2)(4)	Single Family Residential Replacement
10 feet or less	Two 24 inch box	Two 15 gallon
More than 10 feet to 25	Three 24 inch box	Three 15 gallon
More than 25 feet to 40 feet	Four 24 inch box trees or two 36 inch	Four 15 gallon trees
More than 40 feet to 55 feet	Six 24 inch box trees; or three 36	Not available
Greater than 55 feet	Ten 24 inch box trees; or five 36 inch	Not available

[1]To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.

[2]Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.

[3]Single Family Residential Replacement Option is available for developed single family residential lots under 10,000 square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All 15-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on 24" box tree rates as adopted by Town Council.

[4]Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillsides shall comply with the Hillside Development Standards and Guidelines Appendix A and Section 29.10.0987 Special Provisions—Hillsides.

Tree Protection

Typically there are three different tree protection schemes which are called Type I (Appendix D1), Type II and Type III (Appendix D2) trunk protection only. Tree protection focuses on avoiding damage to the roots, trunk, or scaffold branches (Appendix D). The most current accepted method for determining the TPZ is to use a formula based on species tolerance, tree age/vigor, and trunk diameter (Matheny, N. and Clark, J. 1998) (Fite, K, and Smiley, E. T., 2016). Preventing mechanical damage to the trunk from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle or using vertical timbers (Appendix D). Tree Protection would require exclusion from the lower terrace below the last retaining wall. Trees #275 and #252A are close to the proposed grading and exclusion by fence or relegating construction to the adjacent most upper plane in the terraces. The front of the site will require everything to be eradicated and no tree protection will be necessary.

Conclusion

The applicant is requesting approval for the demolition of an existing detached garage, construction of a new detached garage to exceed the floor area ratio (FAR), and a grading permit for site improvements. The inventory contains eleven (11) trees comprised of three (3) different species. Six trees are considered Large Protected and none are Exempt. Three trees are in good condition and they are the newly planted coast live oaks in front with the exception of #749. Seven trees are in fair shape, one poor (#749), and one very poor (#254). Large Protected blue oak #254 is void of foliage and in irreversible decline. Black oak #275 and blue oak #252B have large columns of decay and the black oak leans. Seven trees could highly impacted by the proposed plans including two Large Protected blue oaks #261 and #254. Tree #254 is in irreversible decline and may in fact be dead. Oaks #261 and #275 would be affected by the expanded garage while #257 and #254 are either adjacent to grading or within the footprint. I considered #275 and #252A to be moderate-highly impacted. The four coast live oaks in front #746, #747, #748, and #749 would all require removal or transplanting while #749 is a failed planting with a shifted root ball and leaning trunk. It may be possible to work around #261 and #254 or use alternative construction techniques to minimize impacts, but as displayed on the plans these trees would be destroyed. The trees in front were all somewhat recently planted large specimens and technically that could be lifted out of the ground and moved to another location if feasible and desired. The applicant will be required to replace seven (7) protected trees according to the ordinance. Tree Protection would require exclusion from the lower terrace and trees #275 and #252A are close to the proposed grading and exclusion by fence, or relegating construction to the adjacent most upper plane in the terraces. The front of the site will require everything to be eradicated and no tree protection will be necessary. There were twelve (12) trees appraised for a rounded depreciated value of $88,530.00.

Recommendations

1. Place tree numbers on all the plans. Add trees #746 and label tree #257 on the plans. Make sure the trees are clearly indicated for removal on all the plans. The trees should also be very clearly marked on site prior to removal.

2. Place tree protection adjacent to trees #275 and #252A at radii of 14 and 17 feet respectively. Exclude excavation from the terraced plane where the trees originate.

3. Consider revising the plans to retain tree #261 and work around it or use alternative construction methods to help preserve the root area. Consider relocating trees #746, #747, and #748.

4. Install temporary irrigation or soaker hoses in all tree protection zones and provide supplemental watering during construction within all TPZ areas. Monitor watering times or amounts to ensure adequate soil saturation. (A 5/8" soaker hose requires about 200 minutes to deliver one inch of water to a garden. This number is affected by the length of the hose and the overall rate of flow from the faucet. A good rule of thumb is to expect about ½ GPM as a standard faucet flow rate.). Infrequent deeper watering is preferred.

5. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.

6. Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line or designated TPZ/CRZ.

7. Place all the tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Create a separate plan sheet that includes all three protection measures labeled "T-1 Tree Protection Plan."

8. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.

9. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.

Bibliography

American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management : Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction)(Part 5). Londonderry, NH: Secretariat, Tree Care Industry Association, 2019. Print.

Fite, Kelby, and Edgar Thomas. Smiley. *Managing trees during construction*, second edition. Champaign, IL: International Society of Arboriculture, 2016.

ISA. *Guide For Plant Appraisal 9th Edition*. Savoy, IL: International Society of Arboriculture, 2000. Print.

ISA. *Guide For Plant Appraisal 10th Edition*. Savoy, IL: International Society of Arboriculture, 2018. Print.

ISA. Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement. Western Chapter ISA

Matheny, Nelda P., Clark, James R. Trees and development: A technical guide to preservation of trees during land development. Bedminster, PA: International Society of Arboriculture 1998.

Smiley, E, Matheny, N, Lilly, S, ISA. *Best Management Practices: Tree Risk Assessment:* International Society of Arboriculture, 2017. Print

Glossary of Terms

Basic Tree Cost: The cost of replacement for a perfect specimen of a particular species and cross sectional area prior to location and condition depreciation.

Cost Approach: An indication of value by adding the land value to the depreciated value of improvements.

Defect: An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

Diameter at breast height (DBH): Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

Drip Line: Imaginary line defined by the branch spread or a single plant or group of plants. The outer extent of the tree crown.

Form: describes a plant's habit, shape or silhouette defined by its genetics, environment, or management.

Health: Assessment is based on the overall appearance of the tree, its leaf and twig growth, and the presence and severity of insects or disease.

Mechanical damage: Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.

Scaffold branches: Permanent or structural branches that for the scaffold architecture or structure of a tree.

Straw wattle: also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials,
and have an average weight of 35 pounds.

Structural evaluation: focused on the crown, trunk, trunk flare, above ground roots and the site conditions contributing to conditions and/or defects that may contribute to failure.

Tree Protection Zone (TPZ): Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

Tree Risk Assessment: Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

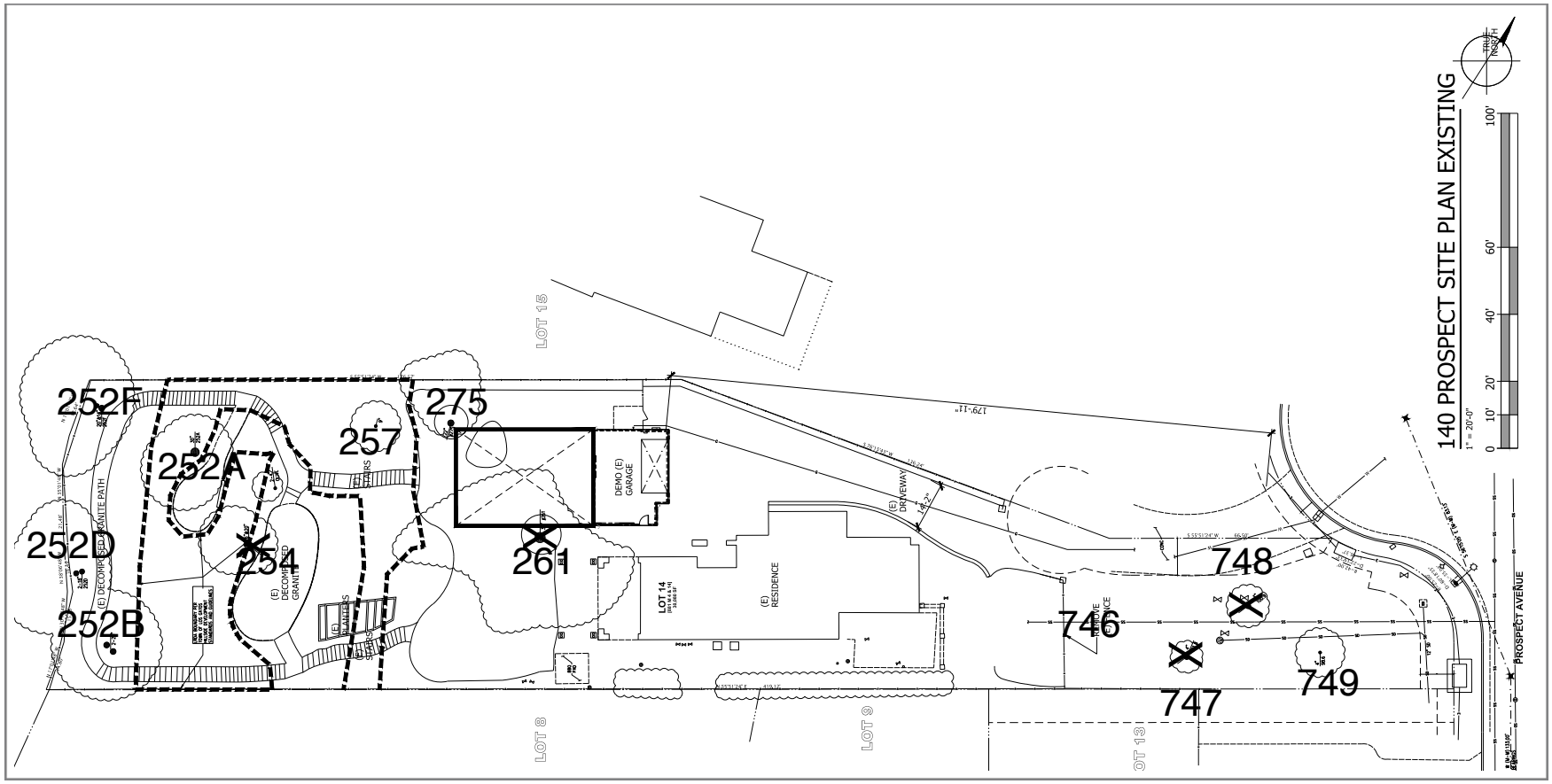
Trunk: Stem of a tree.

Trunk Formula Technique: Method to appraise the monetary value of trees considered too large to be replaced with nursery or field grown stock. Based on developing a representative unit cost for replacement with the same or comparable species of the same size and in the same place, subject to depreciation for various factors. Contrast with replacement cost method.

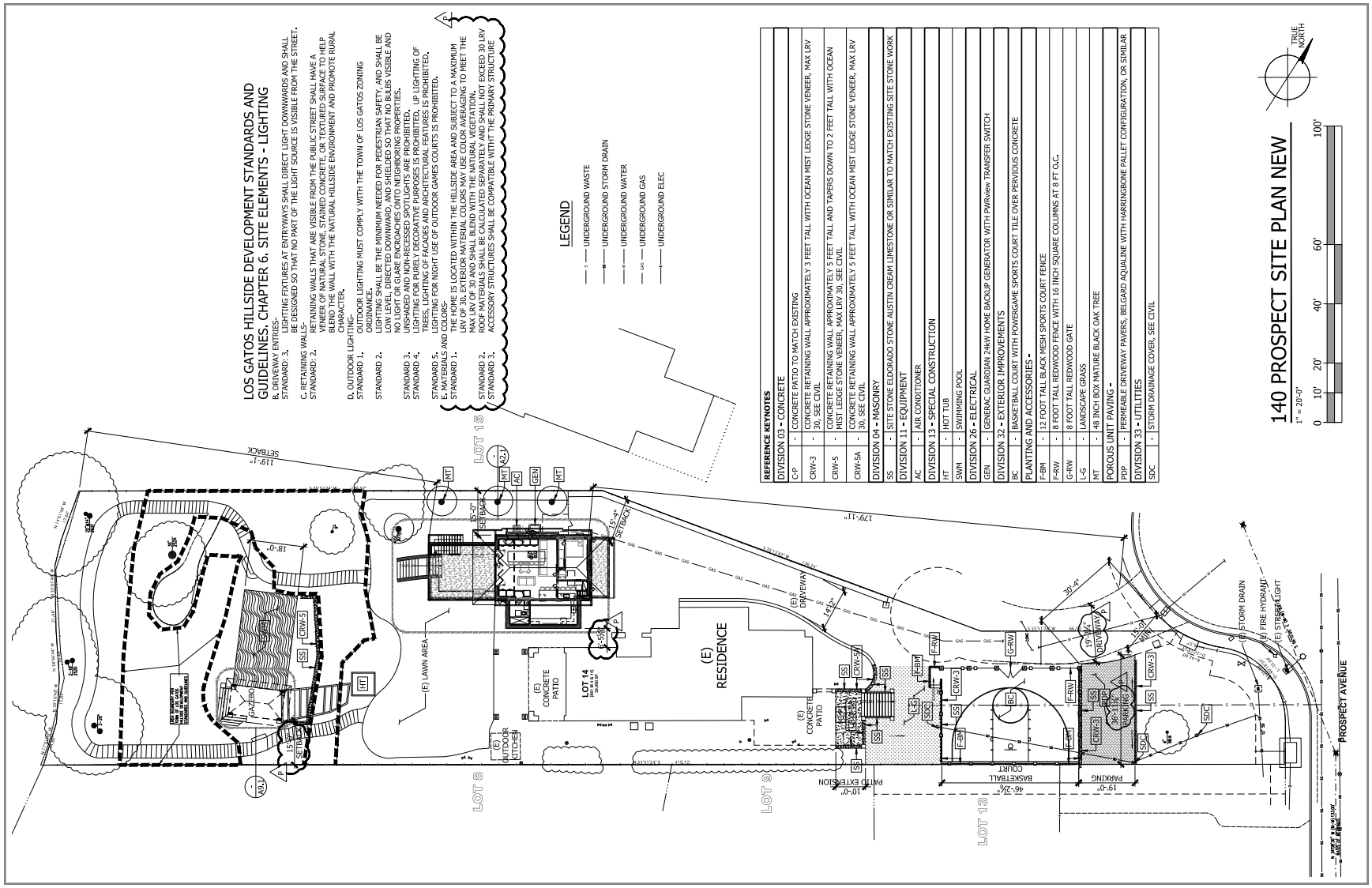
Volunteer: A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.

Appendix A: Tree Inventory Map and Site Plan

A1: Existing Site Plan



A2: Proposed Plan



Appendix B: Tree Inventory and Assessment Tables

Table 3: Inventory and Assessment Summary

Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Tree Protection Radii (ft.)
blue oak (*Quercus douglasii*)	261	33	45	Fair	High	Large Protected	$7,200.00	13
Black oak (*Quercus kelloggii*)	275	21	35	Fair	Moderate-High	Protected	$7,900.00	14
blue oak (*Quercus douglasii*)	257	10	25	Fair	High	Protected	$690.00	5
blue oak (*Quercus douglasii*)	254	18, 21	55	Very poor	High	Large Protected	$4,210.00	19
blue oak (*Quercus douglasii*)	252A	25	35	Fair	Moderate-High	Large Protected	$11,200.00	17
blue oak (*Quercus douglasii*)	252F	20, 17	45	Fair	Low	Large Protected	$16,900.00	17
coast live oak (*Quercus agrifolia*)	252D	16, 18	35	Fair	Low	Large Protected	$14,400.00	16
blue oak (*Quercus douglasii*)	252B	36	65	Fair	Low	Large Protected	$23,200.00	24
coast live oak (*Quercus agrifolia*)	746	4	8	Good	High	Protected	$400.00	3
coast live oak (*Quercus agrifolia*)	747	6	8	Good	High	Protected	$900.00	4
coast live oak (*Quercus agrifolia*)	748	5	8	Good	High	Protected	$630.00	3

Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Tree Protection Radii (ft.)
coast live oak (*Quercus agrifolia*)	749	6	8	Poor	High	Protected	$900.00	4

Appendix C: Photographs

C1: Blue oak #261

C2: Blue oak #254

C3: Blue oak #257

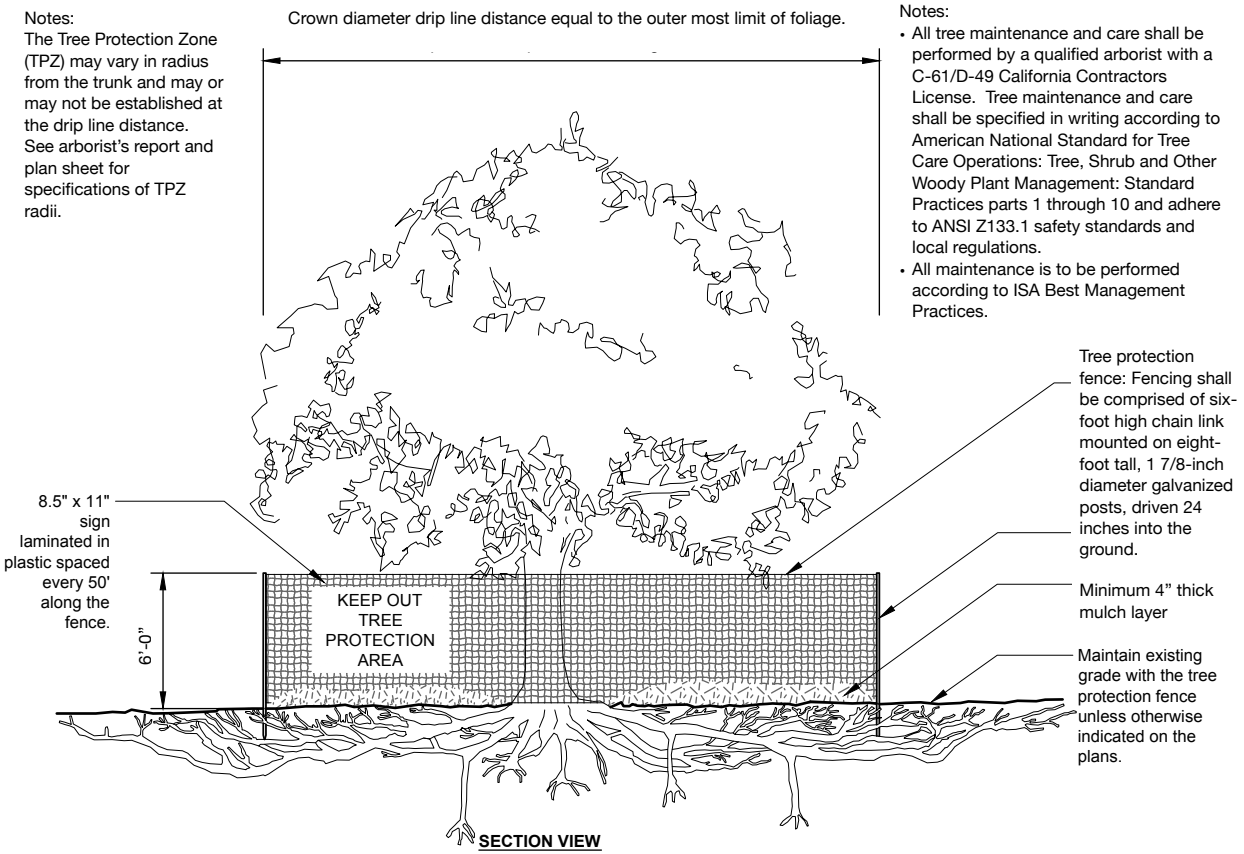
C5: Black oak #275

C6: Coast live oaks #746 and #747

C7: Coast live oaks #748 and #749

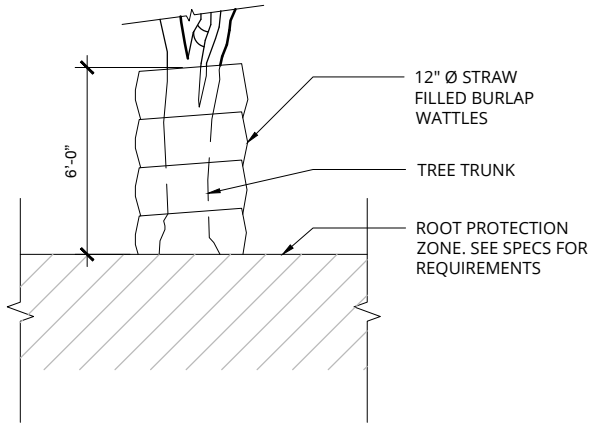
Appendix D: Tree Protection Guidelines

D1: Plan Sheet Detail S-X (Type I)



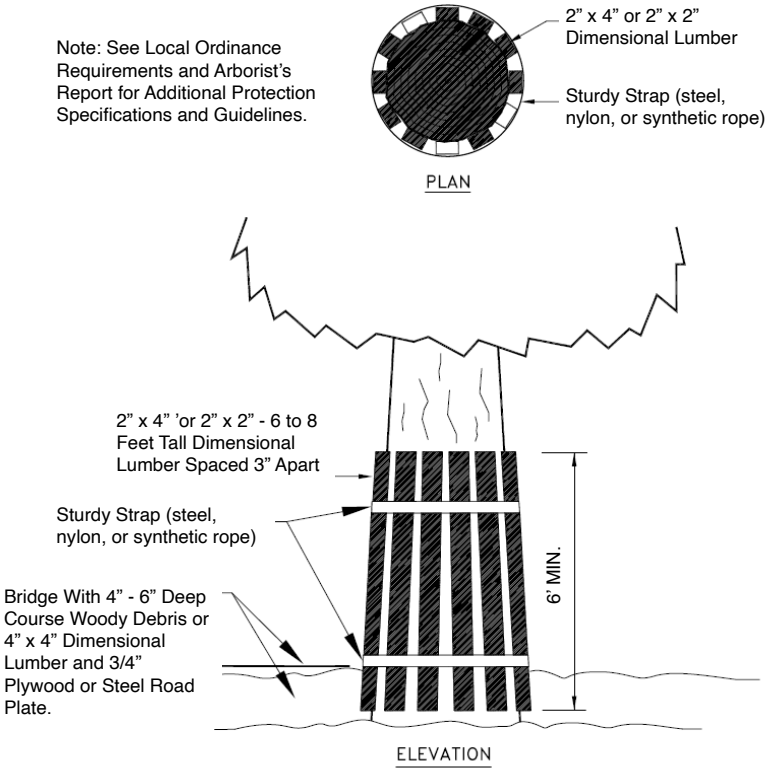
S-X TREE PROTECTION

D2: Plan Sheet Detail S-Y (Type III)



SECTION VIEW

S-Y TRUNK PROTECTION WITH WATTLE



Trunk Protection Vertical Timber Detail

D3: Section 29.10.1005. - Protection of Trees During Construction

Tree Protection Zones and Fence Specifications

1. **Size and materials:** Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
2. **Area type to be fenced:** Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
3. **Duration of Type I, II, III fencing:** Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
4. **Warning Sign:** Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning —Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025.” Text on the signs should be in both English and Spanish (Appendix E).

All persons, shall comply with the following precautions

1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
4. Prohibit the attachment of wires, signs or ropes to any protected tree.
5. Design utility services and irrigation lines to be located outside of the dripline when feasible.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

Prohibited Activities

The following are prohibited activities within the TPZ:

- Grade changes (e.g. soil cuts, fills);
- Trenches;
- Root cuts;
- Pedestrian and equipment traffic that could compact the soil or physically damage roots;
- Parking vehicles or equipment;
- Burning of brush and woody debris;
- Storing soil, construction materials, petroleum products, water, or building refuse; and,
- Disposing of wash water, fuel or other potentially damaging liquids.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Root Pruning

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.

Appendix E: Tree Protection Signs

E1: English

Warning
Tree Protection Zone

This Fence Shall Not Be Removed
And Is Subject To Penalty According To
Town Code 29.10.1025

E2: Spanish

Cuidado
Zona De Arbol Pretejido

Esta valla no podrán ser sacados
Y está sujeta a sanción en función de
Código Ciudad del 29.101025

Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner

ASCA Registered Consulting Arborist® #496
ISA Board Certified Master Arborist® WE-4341B

Copyright

This Page
Intentionally
Left Blank

GARAGE ADDITION W/ ADU AND BASEMENT

BARRAGAN RESIDENCE

OWNER

DANIEL BARRAGAN
140 PROSPECT AVE
LOS GATOS, CA 95030
408.438.2873
DANIEL.BARRAGAN@ZOOM.US

CONSULTANTS

CIVIL

GKM ENGINEERING
285 CARLTON WAY
LOS GATOS, CA 95032

STRUCTURAL

NAME
ADDRESS
CITY, CA ZIP

PROJECT SCOPE

DEMOLISH EXISTING GARAGE FOR NEW BASEMENT UNDER GARAGE.
ADDITION TO EXISTING GARAGE ENVELOPE. GARAGE TO BE BUILT IN SAME LOCATION AS PREVIOUSLY LOCATED. ~~NEW FUTURE ADU UNDER A SEPARATE PERMIT ABOVE THE GARAGE WITH A REAR AND FRONT DECK~~ AND BASEMENT BELOW THE GARAGE. RESIDENTIAL STANDBY GENERATOR AND SUMP PUMP FOR BASEMENT

REAR YARD - NEW POOL AND GAZEBO, REMOVE 2 TREES AND REPLACE WITH NEW TREES
FRONT YARD - NEW SPORTS COURT WITH 12FT BLACK MESH FENCE AND 8FT TALL REDWOOD FENCE,
SITE WORK INCLUDING RETAINING WALLS, FRONT PATIO EXTENSION, FRONT PAVER PARKING AREA.

BUILDING INFORMATION

APN	529-44-021
ZONING	SFR R-1:20 HILLSIDE
OCCUPANCY:	R-3 / U
CONSTRUCTION TYPE:	V-B
SPRKINLERED:	YES
YEAR BUILT	2017
WUI	YES
HISTORIC	NO
AVERAGE SLOPE	19.45% PER GKM ENGINEERING SURVEY (P)

PROJECT SUMMARY TABLE

DEVELOPMENT INTENSITY:
30,090 SF LOT SIZE
19.45% AVERAGE LOT SLOPE
28.9% REDUCTION OF NET SITE AREA
21,394 NET SITE AREA
(P)

NET LOT AREA	30,090 SF WITH ADU 0.219 FAR						
FLOOR AREA	MAIN RESIDENCE	GARAGE	ADU	TOTAL	ADU DECK	GAZEBO	BASEMENT
EXISTING	4,628	608	-	5,236	-	-	-
PROPOSED	90(GAR BATH)	258		348		180	956
TOTAL SF	4,718	866		5,584		180	956
MAX ALLOWED	4,900		400	1,200			
PROPOSED	4,718 +466 = 5,184 SF EXCEEDING MAX FAR BY 284 SF						

LOT COVERAGE
MAX LOT COVERAGE 40% ALL BUILDINGS 12,036 SF
PROPOSED LOT COVERAGE 6,497 SF
(P)

SETBACKS:
FRONT 30'
SIDE 15'
REAR 25'

HEIGHT REQUIREMENTS:
25 FEET IS THE MAXIMUM HEIGHT FROM THE NATURAL OR FINISHED GRADE, TO THE UPPERMOST POINT OF THE ROOF EDGE FOR ANY PRINCIPLE BUILDING

15 FEET IS THE MAXIMUM HEIGHT FOR AN ACCESSORY BUILDING

DETACHED ACCESSORY BUILDINGS MAY NOT OCCUPY MORE THAN 15 PERCENT OF THE LOT, TO BE CALCULATED EXCLUSIVE OF THE REQUIRED BUILDING SETBACKS.
15,720 SF EXCLUSIVE OF SETBACKS
15% = 2,358 SF MAX TOTAL

DETACHED GARAGE 956 SF
GAZEBO 180 SF
TOTAL 1,136 SF
(P)

INDEX TO DRAWINGS

WORK HOURS

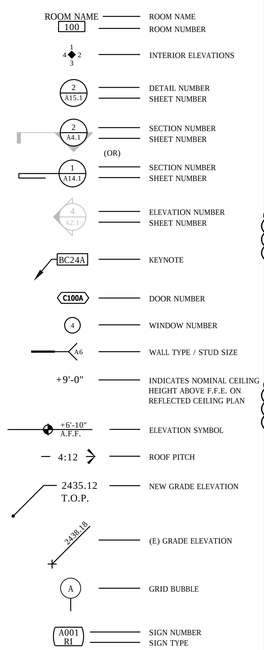
8:00AM - 6:00PM WEEKDAYS
9:00AM - 4:00PM SATURDAY

TOWN MUNICIPAL CODE SECTION 16.20.035

ABBREVIATIONS

A.B.	AGGREGATE BASE	F.O.S.	FACE OF STUD	P.T.	PRESSURE TREATED
A.C.	ASPHALT CONCRETE	FTG	FOOTING		
A/C	AIR CONDITIONING			Q.T.	QUARRY TILE
ACC	ACCESSIBLE	GA.	GAUGE		
A.D.	AREA DRAIN	GALV	GALVANIZED	RAD	RADIUS
ADJ	ADJUSTABLE	GLB	GLUE LAMINATED BEAM	R.D.	ROOF DRAIN
A.F.F.	ABOVE FINISH FLOOR	G.S.M.	GALVANIZED SHEET METAL	REINF	REINFORCE
ALT	ALTERNATE	GWB	GYPSUM WALLBOARD	REQ'D	REQUIRED
ALUM	ALUMINUM			RM	ROOM
APPROX	APPROXIMATE	H.B.	HOSE BIBB	R.O.	ROUGH OPENING
A.T.	ACOUSTIC TILE	H.C.	HOLLOW CORE	RWD	REDWOOD
		HDWR	HARDWARE	RWL	RAIN WATER LEADER
BLDG	BUILDING	HDWD	HARDWOOD	R.H.W.S.	ROUND HEAD WOOD SCREW
BLKG	BLOCKING	H.M.	HOLLOW METAL		
B.O.	BOTTOM OF	HORIZ	HORIZONTAL	SAF	SELF-ADHERED FLASHING
BOT	BOTTOM	HT	HEIGHT	S.C.	SOLID CORE
B.U.R.	BUILT UP ROOFING			SDE	SIDE DRAINAGE EASEMENT
		I.D.	INSIDE DIAMETER	SHT	SHEET
CAB	CABINET	INSUL	INSULATION	SIM	SIMILAR
CBC	CALIFORNIA BUILDING CODE	INT	INTERIOR	S.M.S.	SHEET METAL SCREW
C.J.	CONSTRUCTION JOINT			SPEC	SPECIFICATION
CLG	CEILING	JAN	JANITOR	SQ	SQUARE
CLR	CLEAR	JT	JOINT	S.S.	STAINLESS STEEL
CMU	CONCRETE MASONRY UNIT			STD	STANDARD
C.O.	CLEAN OUT	L	LENGTH	S.T.S.	SELF-TAPPING SCREW
COL	COLUMN	LAM	LAMINATED	STL	STEEL
COMP	COMPOSITION	LAV	LAVATORY	STOR	STORAGE
CONT	CONTINUOUS	LB.	POUND	STRUCT	STRUCTURAL
CONC	CONCRETE	L.S.	LAG SCREW	SUSP	SUSPENDED
CTSK	COUNTERSUNK	LT	LIGHT	SYM	SYMMETRICAL
D	DEPTH	MFR	MANUFACTURER	T&G	TONGUE & GROOVE
DTL	DETAIL	MAX	MAXIMUM	TEL	TELEPHONE
D.F.	DRINKING FOUNTAIN	MECH	MECHANICAL	THK	THICK
DIA	DIAMETER	MIN	MINIMUM	T.O.	TOP OF
DIM	DIMENSION	MISC	MISCELLANEOUS	T.O.C.	TOP OF CONCRETE
DN	DOWN	MPE	MULTI-PURPOSE EASEMENT	TYP	TYPICAL
DS	DOWNSPOUT	M.O.	MASONRY OPENING		
DW	DISHWASHER	M.R.	MOISTURE RESISTANT	U.O.N.	UNLESS OTHERWISE NOTED
DWG	DRAWING			UNREINF	UNREINFORCED
		(N)	NEW	UR	URINAL
(E)	EXISTING	N.I.C.	NOT IN CONTRACT		
EA	EACH	NO.	NUMBER	VCT	VINYL COMPOSITION TILE
E.J.	EXPANSION JOINT	NOM	NOMINAL	VERT	VERTICAL
ELEC	ELECTRICAL			VEST.	VESTIBULE
ELEV	ELEVATION	OBSC	OBSCURE	VWC	VINYL WALL COVERING
EQ	EQUAL	O.C.	ON CENTER		
EQUIP	EQUIPMENT	O.D.	OUTSIDE DIAMETER	W	WIDTH
EXT	EXTERIOR	OPP	OPPOSITE	WC	WATER CLOSET
		OZ.	OUNCE	WD	WOOD
(F)	FUTURE	O.F.C.I.	OWNER FURNISHED,	W.H.	WATER HEATER
F.D.	FLOOR DRAIN		CONTRACTOR INSTALLED	WSCT	WAINSCOT
F.E.	FIRE EXTINGUISHER	O.F.O.I.	OWNER FURNISHED,	WT	WEIGHT
F.E.C.	FIRE EXTINGUISHER CABINET		OWNER INSTALLED		
F.F.E.	FINISH FLOOR ELEVATION			CHARACTER SYMBOLS	
F.G.	FINISH GRADE	PERF	PERFORATED	&	AND
F.H.	FIRE HYDRANT	PL	PLATE	∠	ANGLE
F.H.W.S.	FLAT HEAD WOOD SCREW	PLAS	PLASTIC	@	AT
FIN.	FINISH	PLUMB.	PLUMBING	℄	CENTER LINE
FLR	FLOOR	PLYWD	PLYWOOD	ϕ	DIAMETER
FLUOR	FLUORESCENT	PMF	PRESSED METAL FRAME	#	NUMBER
F.O.F.	FACE OF FINISH	PR	PAIR	O/	OVER
F.O.M.	FACE OF MASONRY	PSI	POUNDS PER SQUARE INCH	W/	WITH

SYMBOLS



APPLICABLE CODES

2019 CALIFORNIA CODE OF REGULATIONS (CCR) APPLICABLE CODES EFFECTIVE JAN 1, 2019:

TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
TITLE 24 CCR, PART 1 - 2019 BUILDING STANDARDS ADMINISTRATIVE CODE
TITLE 24 CCR, PART 2 - 2019 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC)
TITLE 24 CCR, PART 2.5 - 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
TITLE 24 CCR, PART 3 - 2019 CALIFORNIA ELECTRICAL CODE (CEC)
TITLE 24 CCR, PART 4 - 2019 CALIFORNIA MECHANICAL CODE (CMC)
TITLE 24 CCR, PART 5 - 2019 CALIFORNIA PLUMBING CODE (CPC)
TITLE 24 CCR, PART 6 - 2019 CALIFORNIA ENERGY CODE
TITLE 24 CCR, PART 7 - 2019 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
TITLE 24 CCR, PART 8 - 2019 CALIFORNIA HISTORICAL BUILDING CODE
TITLE 24 CCR, PART 9 - 2019 CALIFORNIA FIRE CODE (CFC)
TITLE 24 CCR, PART 10 - 2019 EXISTING BUILDING CODE
TITLE 24 CCR, PART 11 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
TITLE 24 CCR, PART 12 - 2019 CALIFORNIA REFERENCED STANDARDS

LOCAL MUNICIPAL CODE

(P)

DEFERRED SUBMITTAL

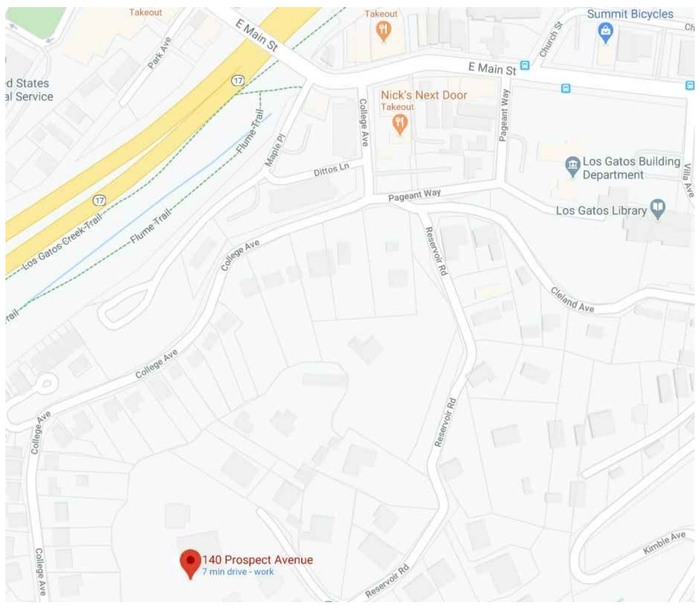
- A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- FIRE SPRINKLERS PER NFPA 13D
- STANDBY GENERATOR
-

(P)

CONDITIONS OF APPROVAL

- THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020

PROJECT LOCATION



NORTH

REVISIONS	DATE

KUOP DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

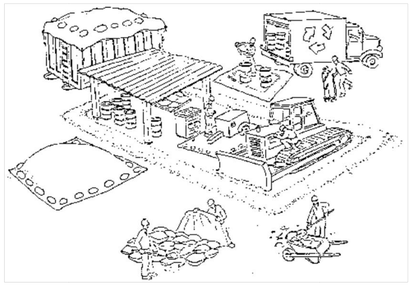
PAGE TITLE
COVER SHEET

NEW ADU OVER GARAGE:
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934
SHEET: CVR-1

EXHIBIT 6

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- ✔ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✔ Use (but don't overuse) reclaimed water for dust control as needed.
- ✔ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✔ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✔ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✔ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✔ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✔ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✔ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✔ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✔ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✔ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✔ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✔ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✔ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✔ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

Earthwork & contaminated soils

- ✔ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✔ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✔ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✔ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✔ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✔ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✔ Manage disposal of contaminated soil according to Fire Department instructions.

Dewatering operations

- ✔ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✔ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✔ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- ✔ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✔ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✔ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- ✔ Do not pave during wet weather or when rain is forecast.
- ✔ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✔ Place drip pans or absorbent material under paving equipment when not in use.
- ✔ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✔ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✔ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✔ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✔ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

- ✔ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✔ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Painting

- ✔ Never rinse paint brushes or materials in a gutter or street!
- ✔ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✔ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✔ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

BASMAA Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to $10,000 per day!

FILENAME:E:\EGNYTE\SHARED_KUOP DESIGNS_PROJECTS\20-005 140 PROSPECT_140 PROSPECT\SHEETS\CVR-2 BLUEPRINT FOR A CLEAN BAY.DWG

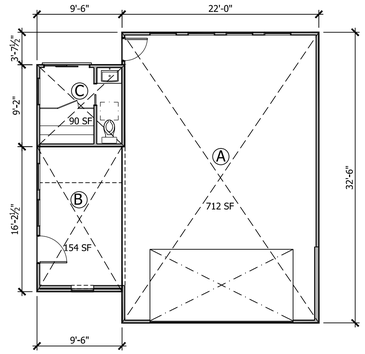
REVISIONS	DATE

KUOP DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE
BLUEPRINT FOR A CLEAN BAY

NEW ADU OVER GARAGE:
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934
SHEET: CVR-2



A	GARAGE	712 SF
B	GARAGE	154 SF
TOTAL GARAGE		866 SF
C	LIVING	90 SF

140 PROSPECT FLOOR AREA CALCULATION

1/8" = 1'-0"

REVISIONS	DATE

KUOP DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE:

FLOOR AREA RATIO

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 1934

SHEET: PLN-1

87 PROSPECT

100 PROSPECT

120 PROSPECT

130 PROSPECT

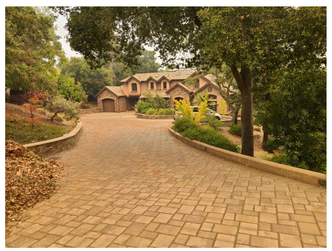
140 PROSPECT FRONT

140 PROSPECT REAR

140 PROSPECT REAR

150 PROSPECT

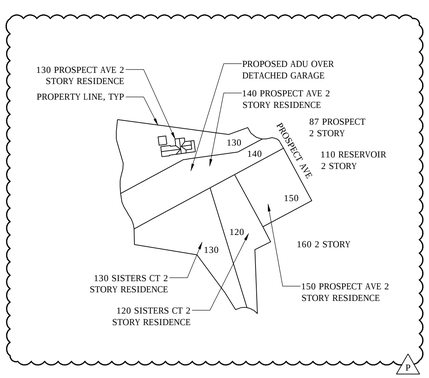
160 PROSPECT



110 RESEVOIR

120 SISTERS

130 SISTERS



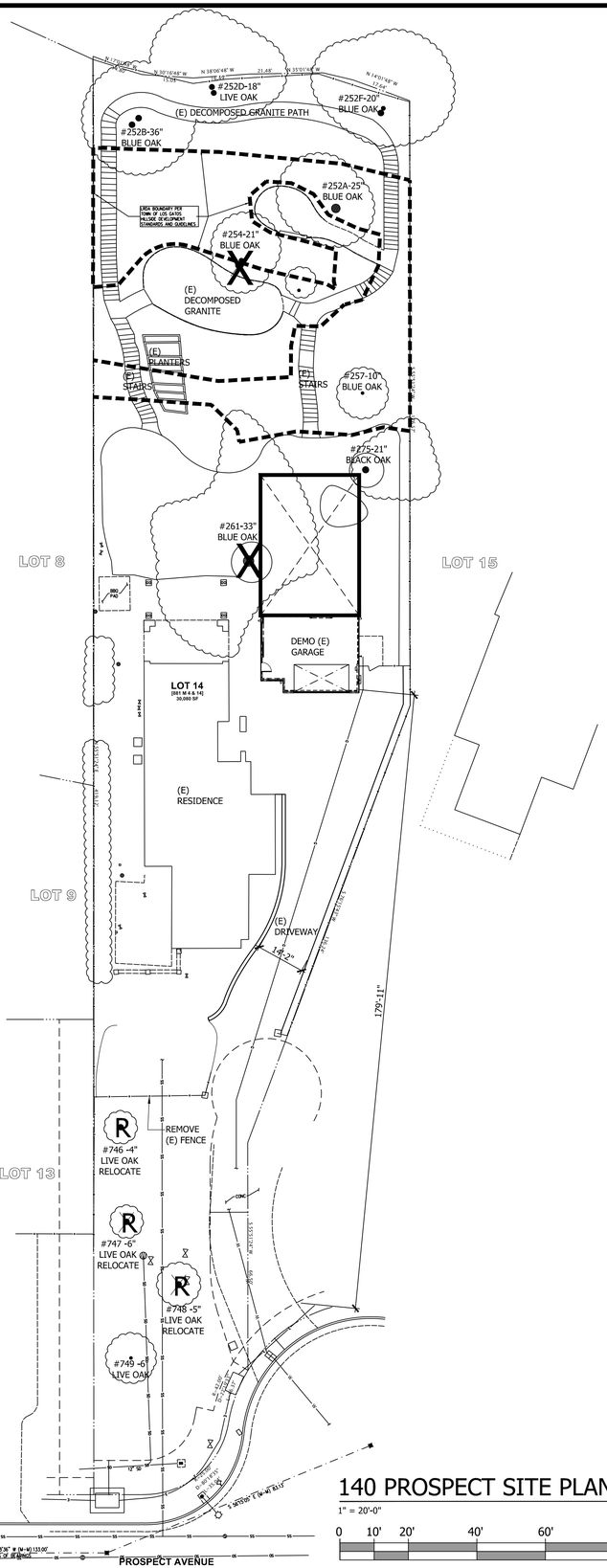
REVISIONS	DATE

KUOP DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE
NEIGHBORHOOD ELEVATIONS

NEW ADU OVER GARAGE:
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934
SHEET: **PLN-2**

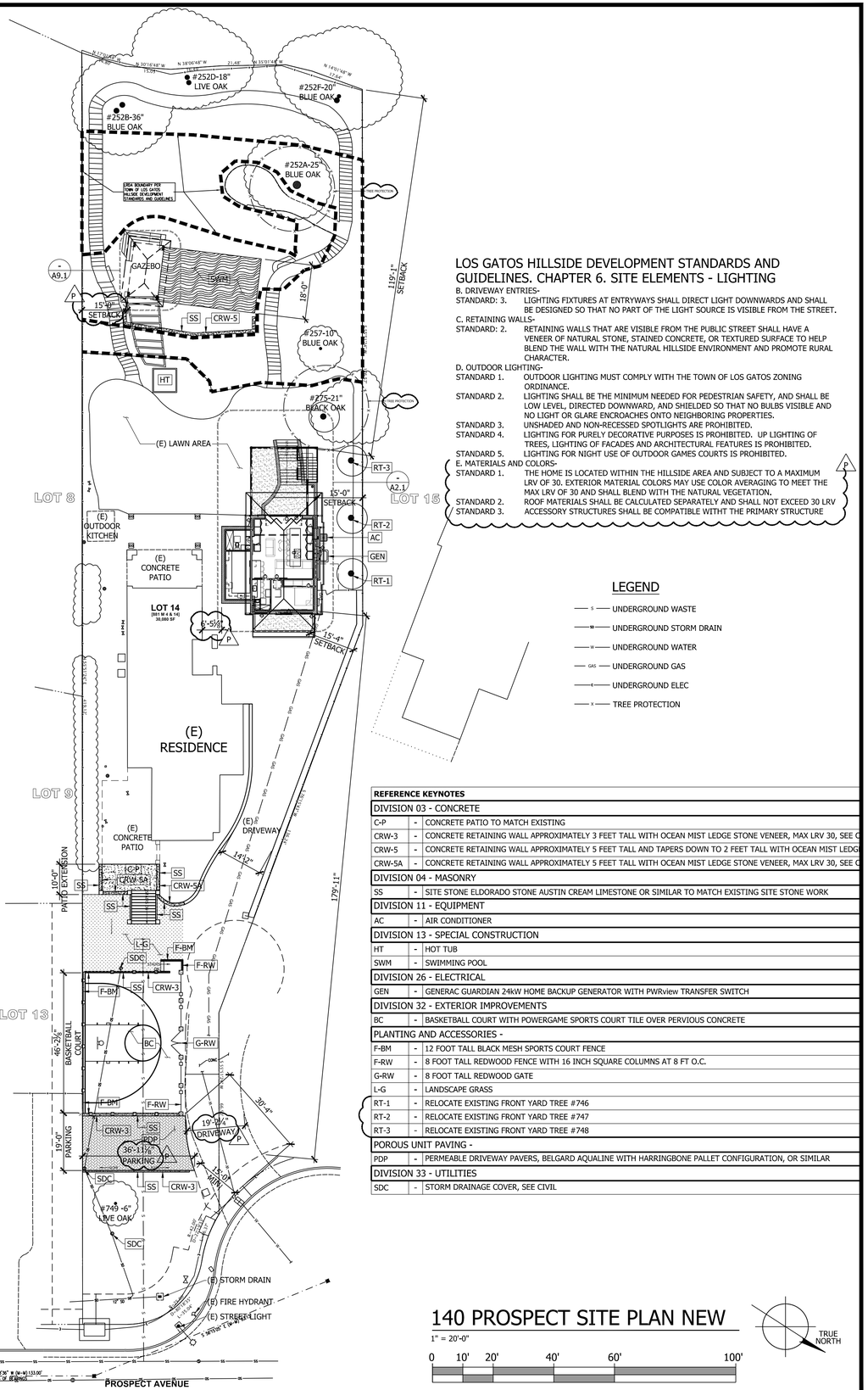


140 PROSPECT SITE PLAN EXISTING

1" = 20'-0"

0 10' 20' 40' 60' 100'

TRUE NORTH



140 PROSPECT SITE PLAN NEW

1" = 20'-0"

0 10' 20' 40' 60' 100'

TRUE NORTH

LOS GATOS HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES. CHAPTER 6. SITE ELEMENTS - LIGHTING

B. DRIVEWAY ENTRIES-

STANDARD: 3. LIGHTING FIXTURES AT ENTRYWAYS SHALL DIRECT LIGHT DOWNWARDS AND SHALL BE DESIGNED SO THAT NO PART OF THE LIGHT SOURCE IS VISIBLE FROM THE STREET.

C. RETAINING WALLS-

STANDARD: 2. RETAINING WALLS THAT ARE VISIBLE FROM THE PUBLIC STREET SHALL HAVE A VENEER OF NATURAL STONE, STAINED CONCRETE, OR TEXTURED SURFACE TO HELP BLEND THE WALL WITH THE NATURAL HILLSIDE ENVIRONMENT AND PROMOTE RURAL CHARACTER.

D. OUTDOOR LIGHTING-

STANDARD 1. OUTDOOR LIGHTING MUST COMPLY WITH THE TOWN OF LOS GATOS ZONING ORDINANCE.

STANDARD 2. LIGHTING SHALL BE THE MINIMUM NEEDED FOR PEDESTRIAN SAFETY, AND SHALL BE LOW LEVEL, DIRECTED DOWNWARD, AND SHIELDED SO THAT NO BULBS VISIBLE AND NO LIGHT OR GLARE ENCROACHES ONTO NEIGHBORING PROPERTIES.

STANDARD 3. UNSHADED AND NON-RECESSED SPOTLIGHTS ARE PROHIBITED.

STANDARD 4. LIGHTING FOR PURELY DECORATIVE PURPOSES IS PROHIBITED. UP LIGHTING OF TREES, LIGHTING OF FACADES AND ARCHITECTURAL FEATURES IS PROHIBITED.

STANDARD 5. LIGHTING FOR NIGHT USE OF OUTDOOR GAMES COURTS IS PROHIBITED.

E. MATERIALS AND COLORS-

STANDARD 1. THE HOME IS LOCATED WITHIN THE HILLSIDE AREA AND SUBJECT TO A MAXIMUM LRV OF 30. EXTERIOR MATERIAL COLORS MAY USE COLOR AVERAGING TO MEET THE MAX LRV OF 30 AND SHALL BLEND WITH THE NATURAL VEGETATION.

STANDARD 2. ROOF MATERIALS SHALL BE CALCULATED SEPARATELY AND SHALL NOT EXCEED 30 LRV

STANDARD 3. ACCESSORY STRUCTURES SHALL BE COMPATIBLE WITHT THE PRIMARY STRUCTURE

LEGEND

- S — UNDERGROUND WASTE
- SD — UNDERGROUND STORM DRAIN
- W — UNDERGROUND WATER
- GAS — UNDERGROUND GAS
- E — UNDERGROUND ELEC
- X — TREE PROTECTION

REFERENCE KEYNOTES		
DIVISION 03 - CONCRETE		
C-P	-	CONCRETE PATIO TO MATCH EXISTING
CRW-3	-	CONCRETE RETAINING WALL APPROXIMATELY 3 FEET TALL WITH OCEAN MIST LEDGE STONE VENEER, MAX LRV 30, SEE C
CRW-5	-	CONCRETE RETAINING WALL APPROXIMATELY 5 FEET TALL AND TAPERS DOWN TO 2 FEET TALL WITH OCEAN MIST LEDG
CRW-5A	-	CONCRETE RETAINING WALL APPROXIMATELY 5 FEET TALL WITH OCEAN MIST LEDGE STONE VENEER, MAX LRV 30, SEE C
DIVISION 04 - MASONRY		
SS	-	SITE STONE ELDORADO STONE AUSTIN CREAM LIMESTONE OR SIMILAR TO MATCH EXISTING SITE STONE WORK
DIVISION 11 - EQUIPMENT		
AC	-	AIR CONDITIONER
DIVISION 13 - SPECIAL CONSTRUCTION		
HT	-	HOT TUB
SWM	-	SWIMMING POOL
DIVISION 26 - ELECTRICAL		
GEN	-	GENERAC GUARDIAN 24kW HOME BACKUP GENERATOR WITH PWRview TRANSFER SWITCH
DIVISION 32 - EXTERIOR IMPROVEMENTS		
BC	-	BASKETBALL COURT WITH POWERGAME SPORTS COURT TILE OVER PERVIOUS CONCRETE
PLANTING AND ACCESSORIES -		
F-BM	-	12 FOOT TALL BLACK MESH SPORTS COURT FENCE
F-RW	-	8 FOOT TALL REDWOOD FENCE WITH 16 INCH SQUARE COLUMNS AT 8 FT O.C.
G-RW	-	8 FOOT TALL REDWOOD GATE
L-G	-	LANDSCAPE GRASS
RT-1	-	RELOCATE EXISTING FRONT YARD TREE #746
RT-2	-	RELOCATE EXISTING FRONT YARD TREE #747
RT-3	-	RELOCATE EXISTING FRONT YARD TREE #748
POROUS UNIT PAVING -		
PDP	-	PERMEABLE DRIVEWAY PAVERS, BELGARD AQUALINE WITH HARRINGBONE PALLET CONFIGURATION, OR SIMILAR
DIVISION 33 - UTILITIES		
SDC	-	STORM DRAINAGE COVER, SEE CIVIL

REVISIONS	DATE

KUOP DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE

ARCHITECTURAL SITE PLAN

NEW ADU/ OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

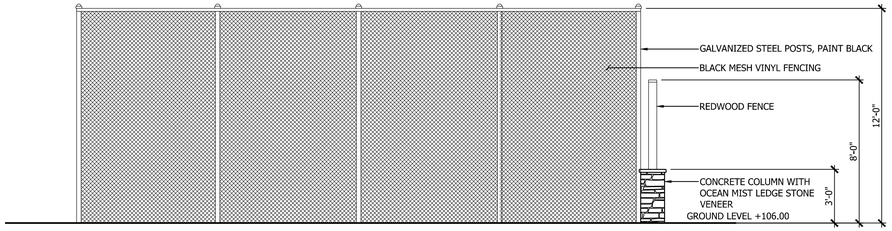
DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 1934

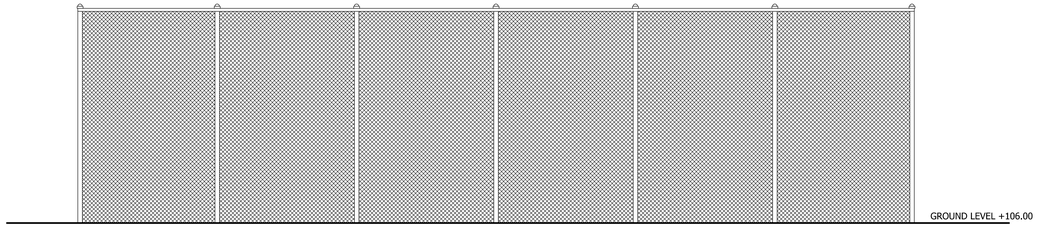
SHEET: **A0.1**



FRONT (EAST) ELEVATION

1/4" = 1'-0"

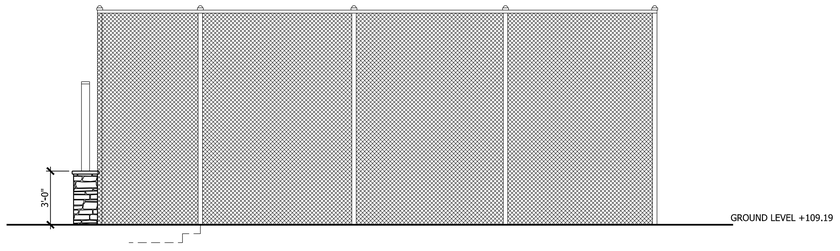
0 1' 2' 3' 4' 5' 10'



LEFT (SOUTH) ELEVATION

1/4" = 1'-0"

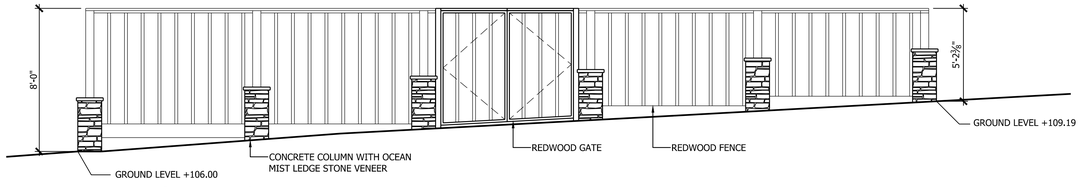
0 1' 2' 3' 4' 5' 10'



REAR (WEST) ELEVATION

1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'



RIGHT (NORTH) ELEVATION

1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'

REVISIONS	DATE

KUOP DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE

SITE ELEVATIONS

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

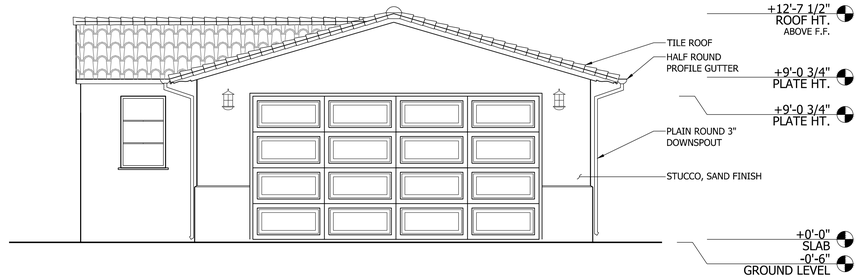
DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO. 1934

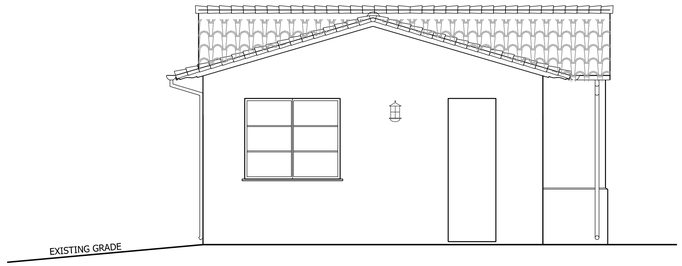
SHEET: **A0.2**



FRONT (EAST) ELEVATION

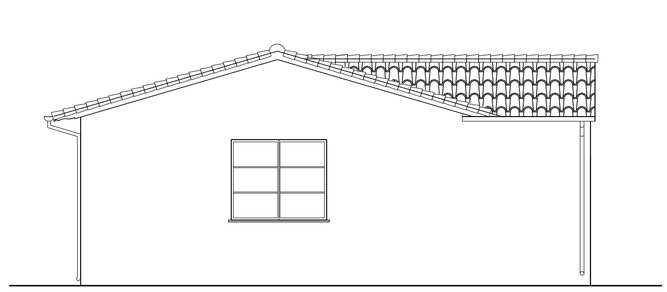
1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'



LEFT (SOUTH) ELEVATION

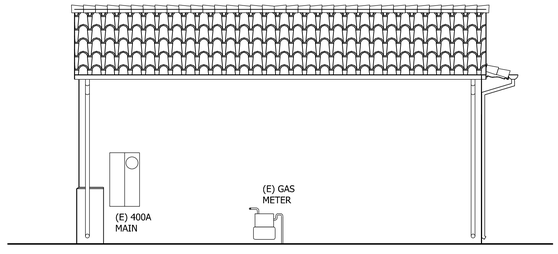
1/4" = 1'-0"



REAR (WEST) ELEVATION

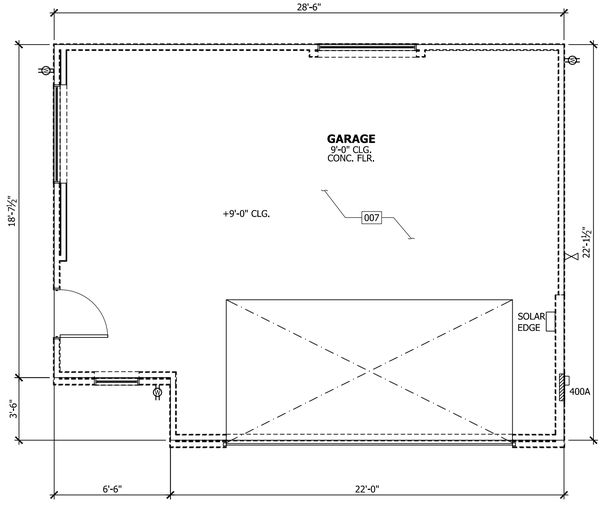
1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'



RIGHT (NORTH) ELEVATION

1/4" = 1'-0"



140 PROSPECT GARAGE PLAN EXISTING

1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'

TRUE NORTH

REFERENCE KEYNOTES

DIVISION 02 - DEMOLITION		
007	-	EXISTING GARAGE TO BE DEMOLISHED FOR NEW BASEMENT

WALL LEGEND

- NEW WALL (SEE GENERAL NOTE #7/A0.1)
- EXISTING WALL
- DEMOLITION WALL

- 1 HR FIRE WALL
- SHEAR WALL, SEE STRUCTURAL DRAWINGS

REVISIONS	DATE

KUOP DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE:
EXISTING PLANS

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

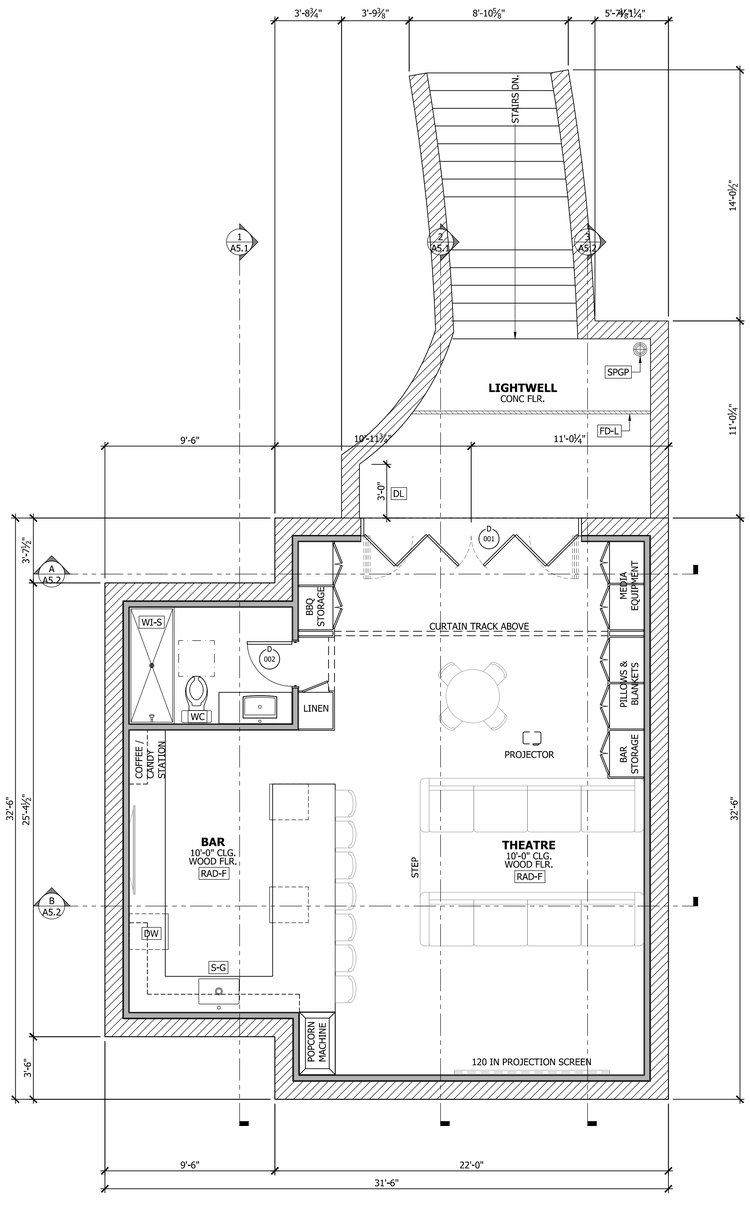
DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 1934

SHEET: **A1.0**



DOOR AND FRAME SCHEDULE

Number	SIZE	STYLE	DETAIL			FIRE RATING	MANUFACTURE	MODEL	COLOR	NOTES
			JAMB	HEAD	THRESHOLD					
001	PR 6'-0" x 8'-0" x 1-3/4"	ACCORDION DOUBLE	--	--	--/A	--	--	--	--	--
002	2'-6" x 8'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	--	--	--	--

REFERENCE KEYNOTES

DIVISION 08 - DOORS AND WINDOWS		
DL	-	LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS
DIVISION 11 - EQUIPMENT		
DW	-	DISHWASHER
DIVISION 22 - PLUMBING		
FD-L	-	LINEAR FLOOR DRAIN
S-G	-	SINK W/ GARBAGE DISPOSAL
SPGP	-	SUMP PUMP AND GRINDER PUMP INSTALL PER CPC 710
WC	-	WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 10/A10.1
WI-S	-	WALK-IN SHOWER, FLUSH, SEE SHOWER NOTES SHEET A1.1
DIVISION 23 - HVAC		
RAD-F	-	RADIANT HEAT FLOORING SYSTEM, O.F.C.I. SEE DETAIL 18/A10.1

WALL LEGEND

- NEW WALL (SEE GENERAL NOTE #7/A0.1)
- EXISTING WALL
- DEMOLITION WALL
- 1 HR FIRE WALL
- SHEAR WALL, SEE STRUCTURAL DRAWINGS

140 PROSPECT BASEMENT FLOOR PLAN NEW

1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'

TRUE NORTH

FILENAME:E:\EGNYTE\SHARED_KUOP DESIGNS_PROJECTS\20-005 140 PROSPECT_140 PROSPECT\SHEETS\A2.1 BASEMENT FLOOR PLAN.DWG

REVISIONS	DATE

KUOP DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE

BASEMENT FLOOR PLAN

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

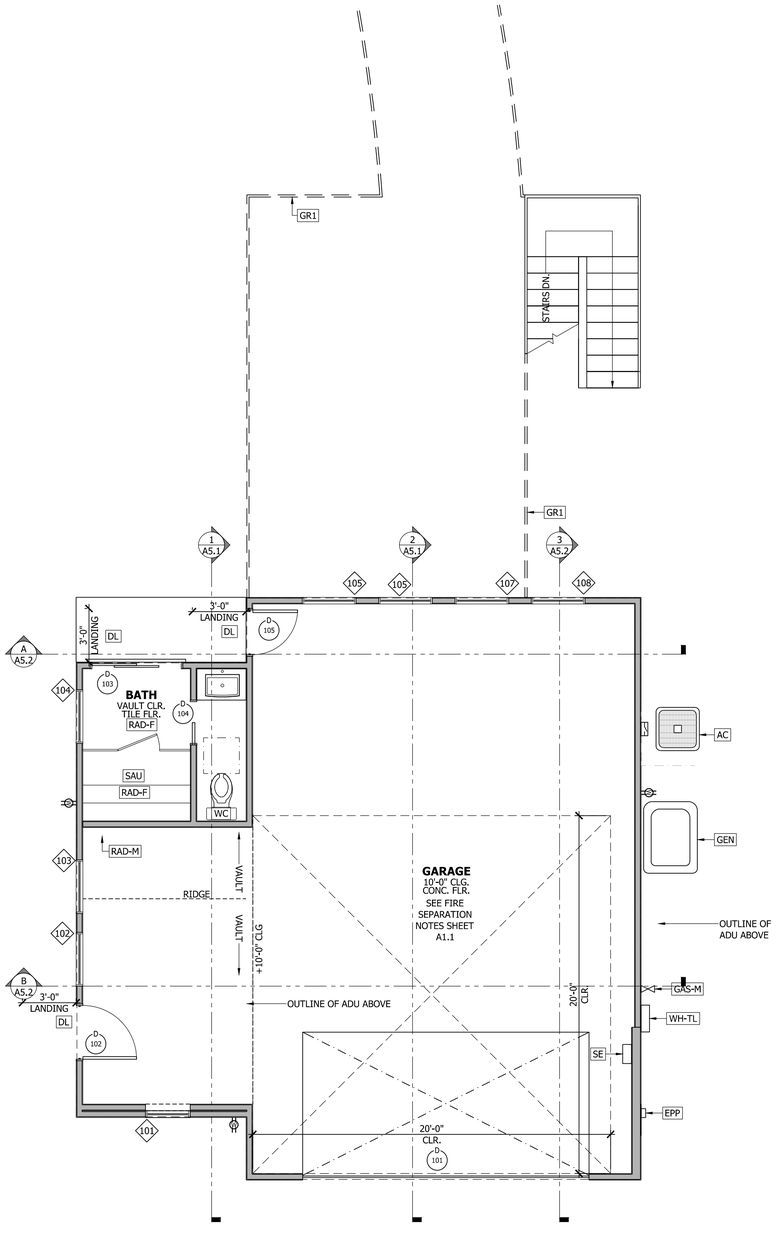
DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 1934

SHEET: **A2.1**



WINDOW SCHEDULE

NUMBER	SIZE		STYLE	DETAIL			HEAD HEIGHT	FIRE RATING	SHCG	U-FACTOR	MANUFACTURE	MODEL	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL								
101	2'-6"	4'-6"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
102	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
103	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
104	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
105	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
106	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
107	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--
108	3'-0"	8'-0"	PICTURE	--	--	--	8'-0"		.25	.32	?	?	?	--

DOOR AND FRAME SCHEDULE

Number	SIZE	STYLE	DETAIL			FIRE RATING	MANUFACTURE	MODEL	COLOR	NOTES
			JAMB	HEAD	THRESHOLD					
101	16'-0" x 8'-0" x 1"	OVERHEAD SECTIONAL	--	--	--/A	--	--	--	--	--
102	3'-0" x 8'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	--	--	--	--
103	PR 2'-6" x 8'-0" x 1-1/4"	SLIDING - EXTERIOR	--	--	--/A	--	--	--	--	--
104	2'-4" x 8'-0" x 1-3/4"	POCKET	--	--	--/A	--	--	--	--	--
105	2'-6" x 8'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	--	--	--	--

REFERENCE KEYNOTES

DIVISION 05 - METALS		
GR1	-	GUARDRAIL, SEE DETAIL XX/A10.1.
DIVISION 08 - DOORS AND WINDOWS		
DL	-	LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS
DIVISION 11 - EQUIPMENT		
AC	-	AIR CONDITIONER
GAS-M	-	GAS METER SEE PG&E GREENBOOK SECTION 2.4.2 AND FIGURE 2-20 FOR CLEARANCES
DIVISION 13 - SPECIAL CONSTRUCTION		
SAU	-	SAUNA, 6'-1 1/2" X 5'-0" CLEAR DIMENSIONS, VERIFY DIMENSIONS PRIOR TO ORDERING
SE	-	SOLAR EDGE WALL INVERTER
DIVISION 22 - PLUMBING		
WC	-	WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 10/A10.1
WH-TL	-	TANKLESS WATER HEATER/BOILER SIMILAR TO NAVIEN NPE-240A, DIRECT VENT
DIVISION 23 - HVAC		
RAD-F	-	RADIANT HEAT FLOORING SYSTEM, O.F.C.I. SEE DETAIL 18/A10.1
RAD-M	-	RADIANT HEATING SLAB MULTI LOOP MANIFOLD
DIVISION 26 - ELECTRICAL		
EPP	-	ELECTRICAL POWER PANEL
GEN	-	GENERAC GUARDIAN 24kW HOME BACKUP GENERATOR WITH PWRview TRANSFER SWITCH

WALL LEGEND

NEW WALL (SEE GENERAL NOTE #7/A0.1)

EXISTING WALL

DEMOLITION WALL

1 HR FIRE WALL

SHEAR WALL, SEE STRUCTURAL DRAWINGS

0 1' 2' 3' 4' 5' 10'

TRUE NORTH

140 PROSPECT 1ST FLOOR PLAN NEW

1/4" = 1'-0"

FILENAME:E:\EGNYTE\SHARED_KUOP DESIGNS_PROJECTS\20-005 140 PROSPECT_140 PROSPECT\SHEETS\A2.2 FLOOR PLAN NEW.DWG

REVISIONS	DATE

KUOP DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE

1ST FLOOR PLAN NEW

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

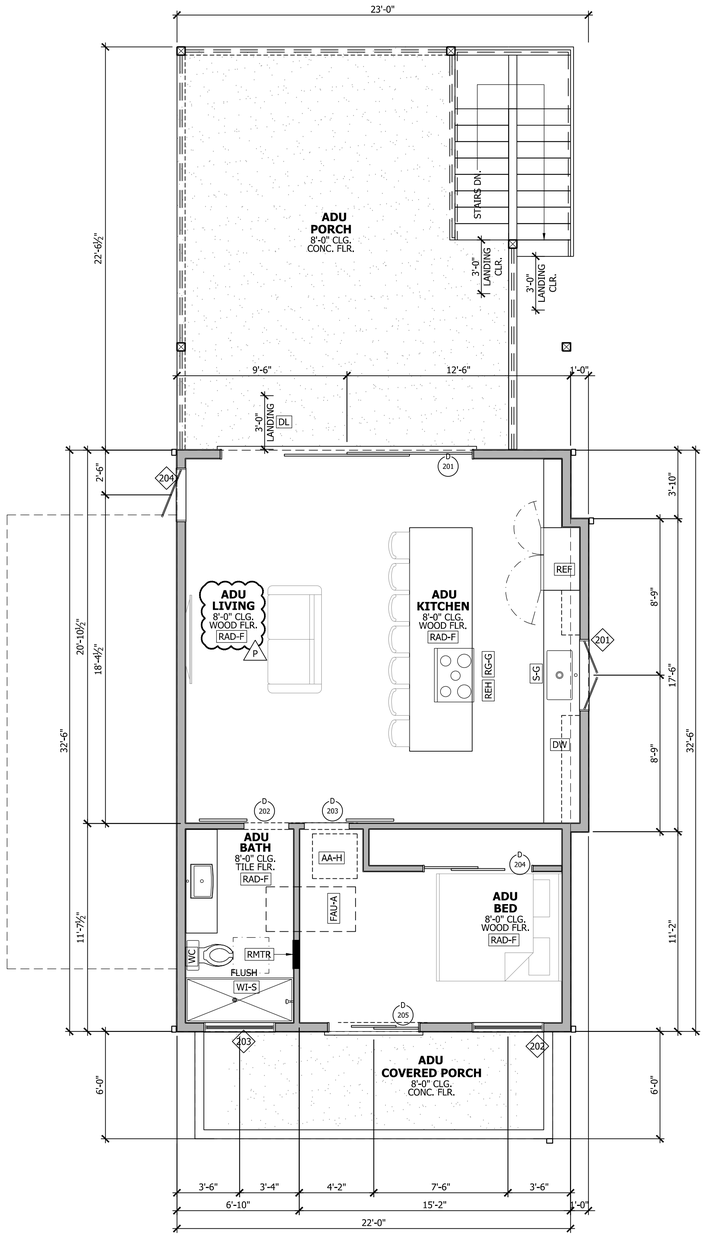
DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 1934

SHEET: A2.2



WINDOW SCHEDULE

NUMBER	SIZE		STYLE	DETAIL			HEAD HEIGHT	FIRE RATING	SHCG	U-FACTOR	MANUFACTURE	MODEL	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL								
201	4'-0"	3'-6"	DOUBLE CASEMENT	--	--	--	8'-0"		.25	.32	?	?	?	--
202	4'-0"	4'-0"	SINGLE HUNG	--	--	--	8'-0"		.25	.32	?	?	?	--
203	4'-0"	4'-0"	SINGLE HUNG	--	--	--	8'-0"		.25	.32	?	?	?	--
204	3'-0"	5'-6"	CASEMENT	--	--	--	8'-0"		.25	.32	?	?	?	--

DOOR AND FRAME SCHEDULE

Number	SIZE	STYLE	DETAIL			FIRE RATING	MANUFACTURE	MODEL	COLOR	NOTES
			JAMB	HEAD	THRESHOLD					
201	PR 7'-0" x 7'-0" x 1-1/4"	SLIDING - EXTERIOR	--	--	--/A	--	--	--	--	--
202	2'-6" x 7'-0" x 1-3/4"	SINGLE BARN	--	--	--/A	--	--	--	--	--
203	2'-6" x 7'-0" x 1-3/4"	SINGLE BARN	--	--	--/A	--	--	--	--	--
204	PR 3'-0" x 7'-0" x 1-1/4"	SLIDING - INTERIOR	--	--	--/A	--	--	--	--	--
205	PR 2'-6" x 7'-0" x 1-1/4"	SLIDING - EXTERIOR	--	--	--/A	--	--	--	--	--

REFERENCE KEYNOTES

DIVISION 08 - DOORS AND WINDOWS		
DL	-	LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS
SKY-U	-	UNIT SKYLIGHT; SEE DETAIL 8/A10.1
DIVISION 10 - SPECIALTIES		
TOILET ACCESSORIES -		
RMTR	-	RECESSED ELECTRIC TOWEL RACK
DIVISION 11 - EQUIPMENT		
AA-H	-	ATTIC ACCESS HATCH 22" X 30" MIN. BASED ON FAU IN ATTIC SIZE REQUIREMENTS
DW	-	DISHWASHER
REF	-	REFRIGERATOR PROVIDE PLUMBING FOR ICE MAKER
REH	-	RANGE EXHAUST HOOD, VENTED
RG-G	-	RANGE; GAS
DIVISION 22 - PLUMBING		
S-G	-	SINK W/ GARBAGE DISPOSAL
WC	-	WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 10/A10.1
WI-S	-	WALK-IN SHOWER, FLUSH, SEE SHOWER NOTES SHEET A1.1
DIVISION 23 - HVAC		
FAU-A	-	DIRECT VENT FORCED AIR UNIT IN ATTIC. SEE DETAIL 17/A10.1
RAD-F	-	RADIANT HEAT FLOORING SYSTEM, O.F.C.I. SEE DETAIL 18/A10.1

WALL LEGEND

- NEW WALL (SEE GENERAL NOTE #7/A2.0)
- EXISTING WALL
- DEMOLITION WALL
- 1 HR FIRE WALL
- SHEAR WALL, SEE STRUCTURAL DRAWINGS

0 1' 2' 3' 4' 5' 10'

TRUE NORTH

140 PROSPECT 2ND FLOOR PLAN NEW

1/4" = 1'-0"

FILENAME:E:\EGNYTE\SHARED_KUOP DESIGNS_PROJECTS\20-005 140 PROSPECT_140 PROSPECT\SHEETS\A2.3 2ND FLOOR PLAN NEW.DWG

REVISIONS	DATE

KUOP DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE

2ND FLOOR PLAN NEW

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

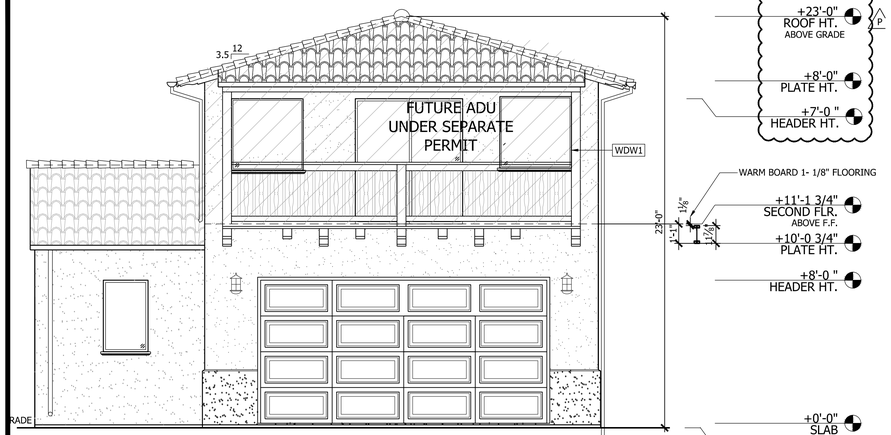
DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 1934

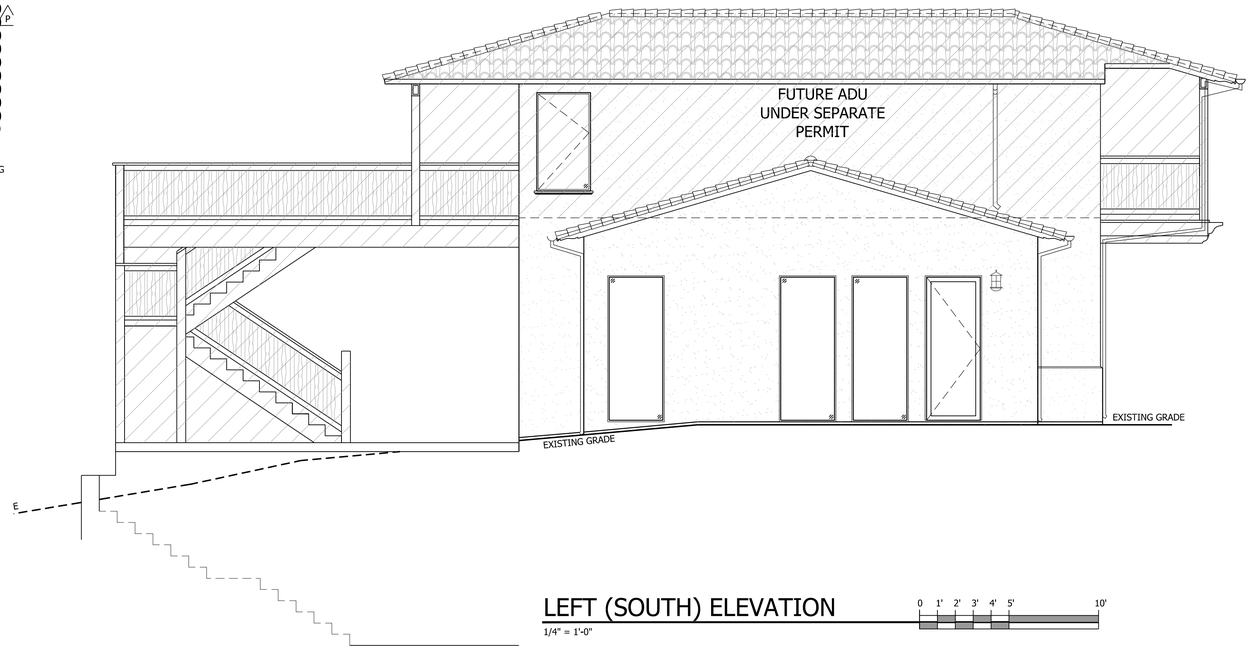
SHEET: **A2.3**



FRONT (EAST) ELEVATION

1/4" = 1'-0"

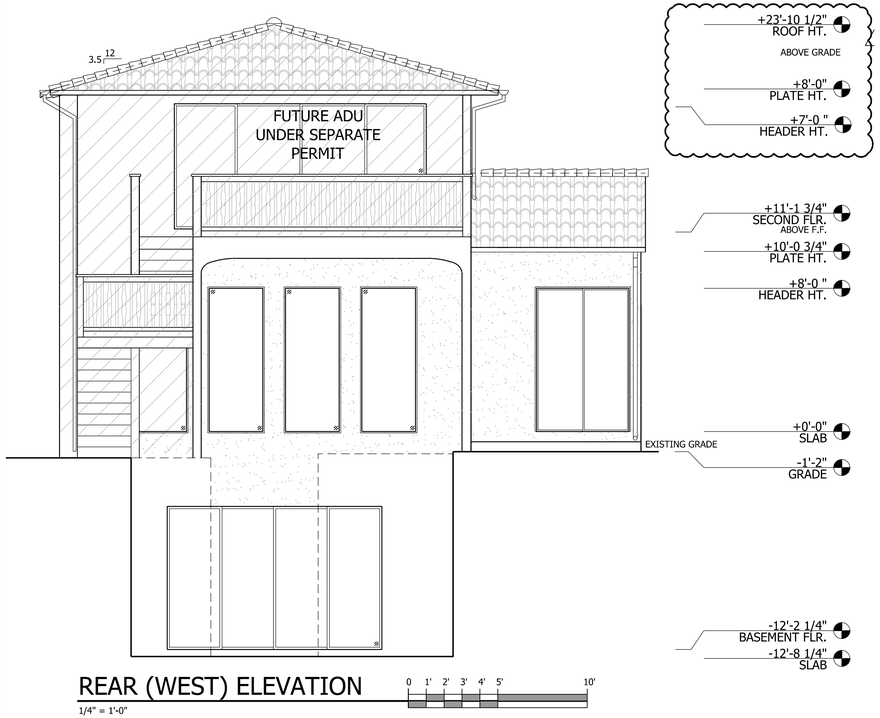
0 1' 2' 3' 4' 5' 10'



LEFT (SOUTH) ELEVATION

1/4" = 1'-0"

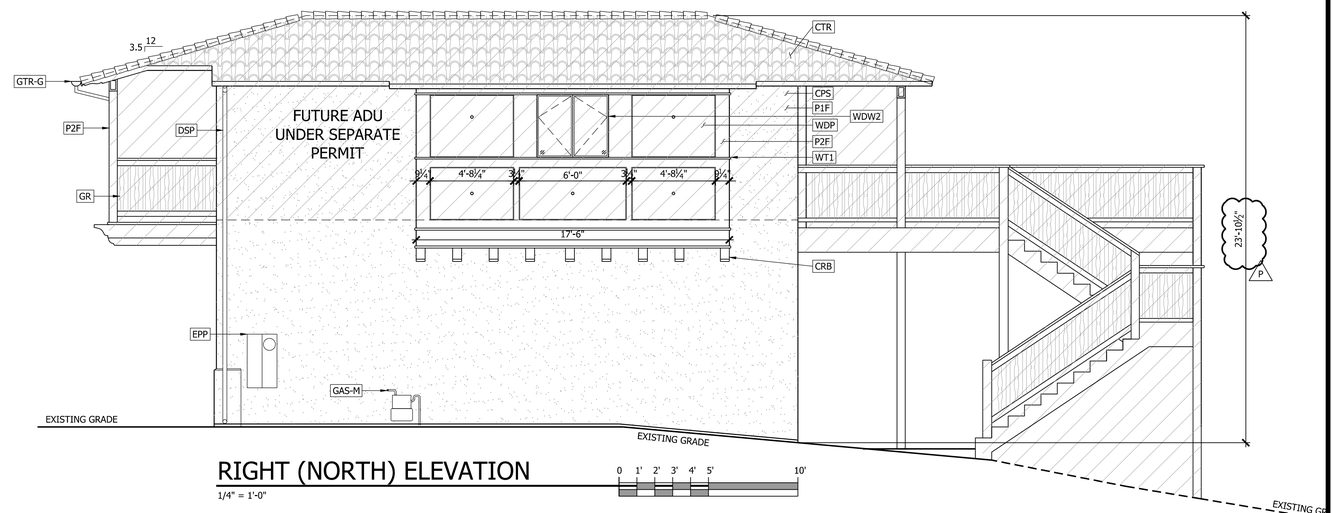
0 1' 2' 3' 4' 5' 10'



REAR (WEST) ELEVATION

1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'



RIGHT (NORTH) ELEVATION

1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'

REFERENCE KEYNOTES

DIVISION 05 - METALS		
GR	-	GUARDRAIL, WOOD, TO MATCH PAINT P2F, SEE DETAIL XX/XXX
DIVISION 06 - WOOD AND PLASTICS		
CRB	-	CORBEL, MATCH PAINT P2F
MISCELLANEOUS -		
WDP	-	WOOD PANELING, MATCH PAINT P2F
WT1	-	WOOD TRIM, MATCH PAINT P2F
DIVISION 07 - THERMAL AND MOISTURE PROTECTION		
DSP	-	DOWNSPOUT, 3 INCH ROUND, PAINT TO MATCH STUCCO, CONNECT TO STORM DRAIN
FLASHING AND SHEET METAL -		
GTR-G	-	GUTTER, HALF ROUND PROFILE, MATCH PAINT P2F
ROOFING AND SIDING -		
CTR	-	CLAY TILE ROOFING, MATCH EXISTING RESIDENCE, LRV 30 MAXIMUM (P)

DIVISION 08 - DOORS AND WINDOWS		
WDW1	-	RECESSED ALUMINUM CLAD WINDOW WITH PRECAST WINDOW SILL, TO MATCH EXISTING RESIDENCE
(P) WDW2	-	ALUMINUM CLAD WINDOW WITH1 INCH WOOD TRIM AND SILL, TO MATCH EXISTING RESIDENCE
DIVISION 09 - FINISHES		
APPLIED FINISHES -		
(P) P1F	-	PAINT, BENJAMIN MOORE CSP-570 NOTRE DAME, LRV -8, FLAT
(P) P2F	-	PAINT, BENJAMIN MOORE 2128-10 BLACK BEAUTY, LRV -5, FLAT
CEMENT PLASTER -		
CPS	-	3 COAT, 7/8" STUCCO OVER APPROVED LATH & CLASS 'D' (2 SHEET) BUILDING PAPER O/ STRUCTURAL SHEATHING, SAND FINISH
DIVISION 11 - EQUIPMENT		
GAS-M	-	GAS METER SEE PG&E GREENBOOK SECTION 2.4.2 AND FIGURE 2-20 FOR CLEARANCES
DIVISION 26 - ELECTRICAL		
EPP	-	ELECTRICAL POWER PANEL

REVISIONS	DATE

KUOP DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE:

EXTERIOR ELEVATIONS NEW

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

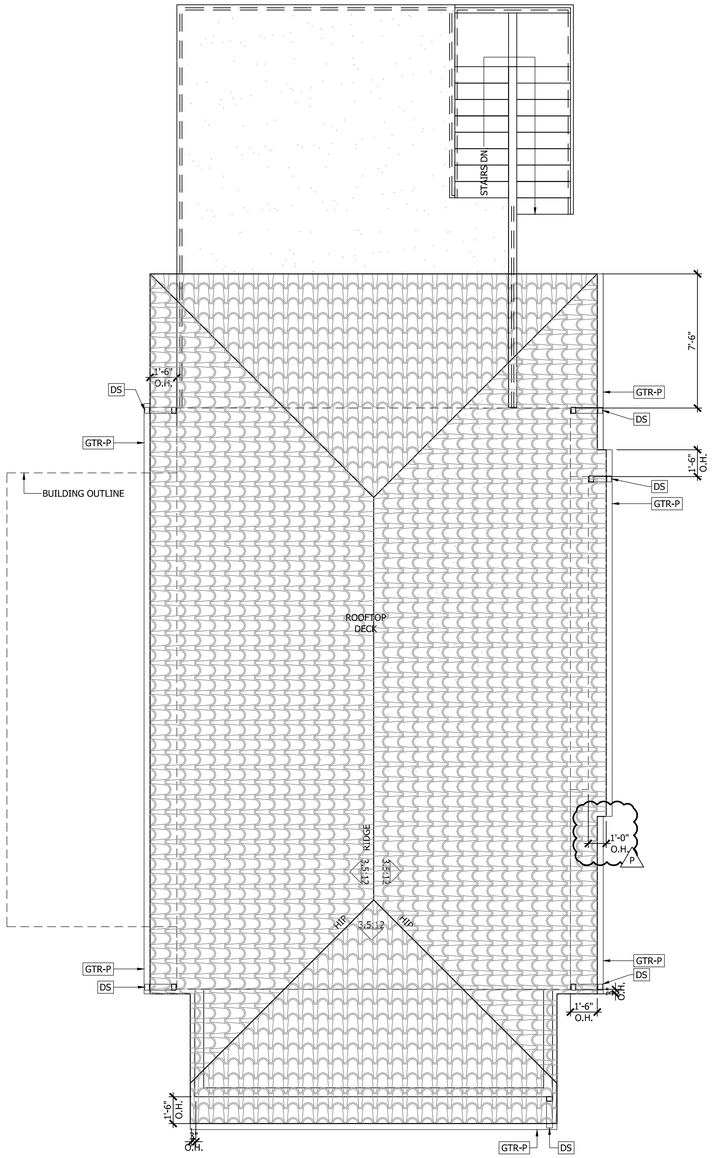
DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 1934

SHEET: **A3.1**



REFERENCE KEYNOTES		
DIVISION 07 - THERMAL AND MOISTURE PROTECTION		
FLASHING AND SHEET METAL -		
DS	-	NEW DOWNSPOUT WITH SPLASH BLOCK; N.I.W.
GTR-P	-	GUTTER, PREFINISH, PREFINISHED TO MATCH TRIM, SEE DETAIL 1/A10.1

ATTIC VENTILATION CALCULATIONS:

732 SF ATTIC/300 EQUAL TOTAL 2.44 SF

NEED 40%-50% TOTAL REQUIRED SF HIGH VENT
(4) LOW PRO VENTS @ .3 SF EACH 1.2 SF

NEED 1.22 SF LOW VENT
(5) LOW PRO VENTS @ .3 SF EACH 1.5 SF

TOTAL 2.7 SF
TO BE INSTALLED

0 1' 2' 3' 4' 5' 10'

140 PROSPECT ROOF PLAN

1/4" = 1'-0"

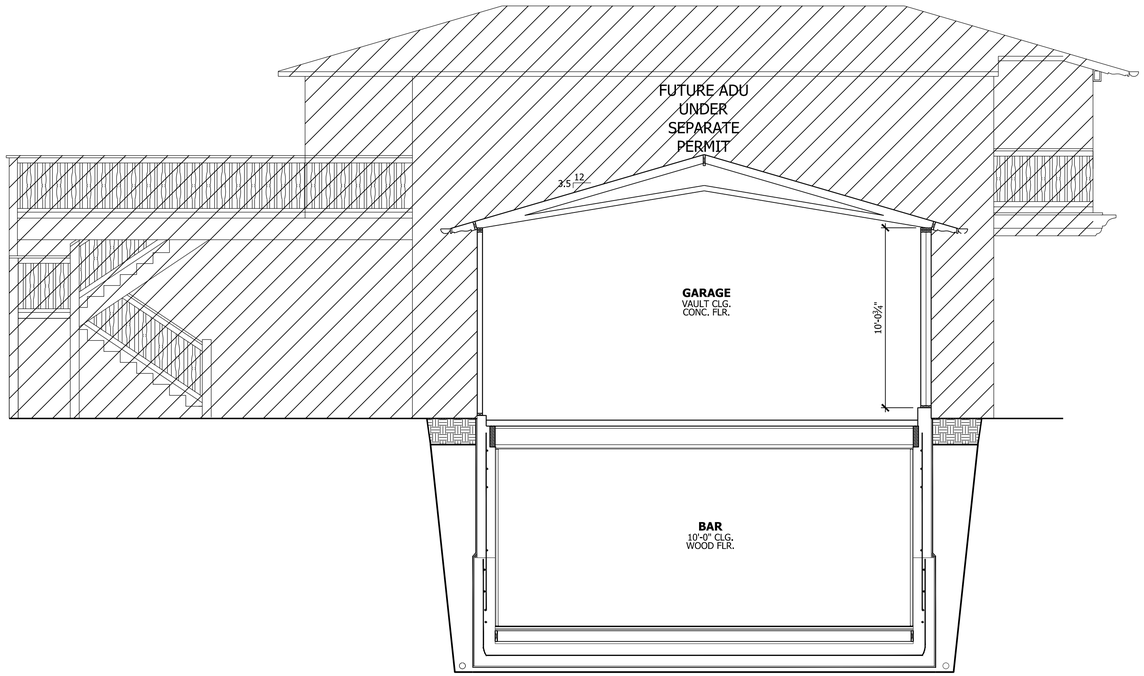
REVISIONS	DATE

KUOP DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE
ROOF PLAN

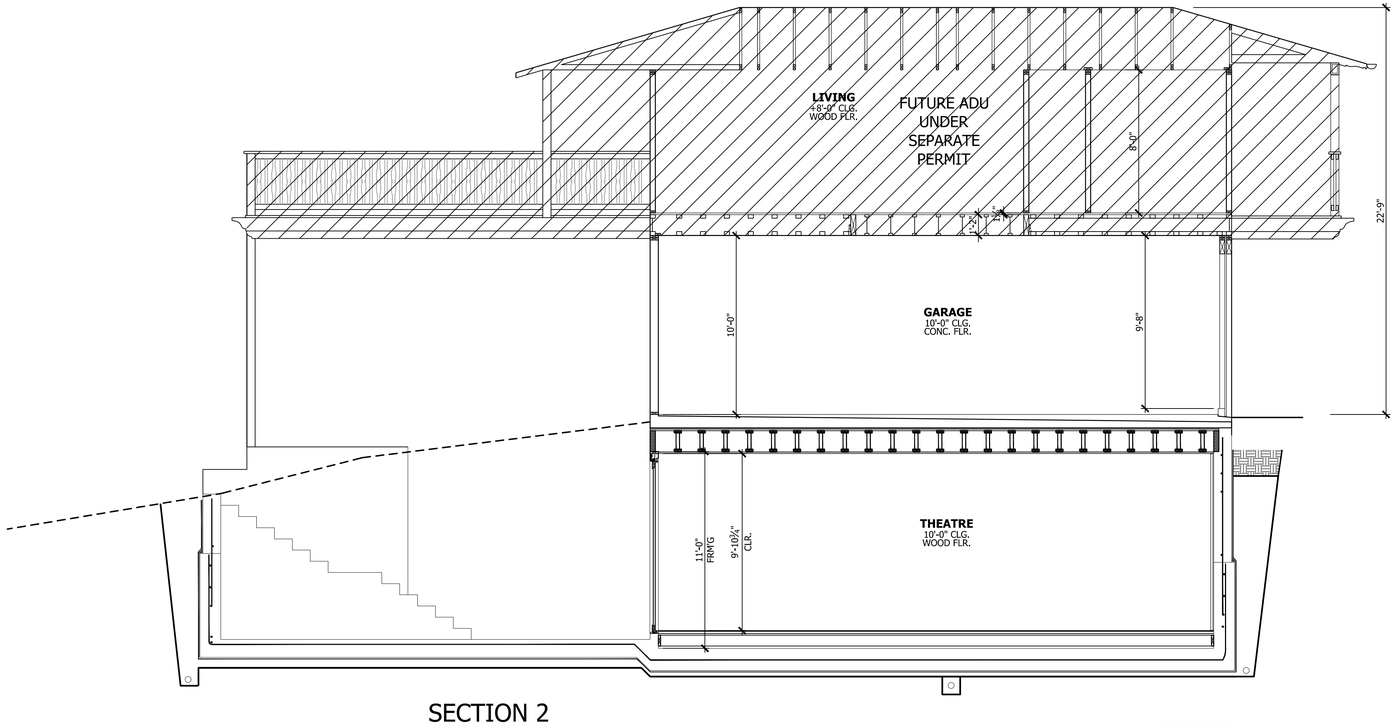
NEW ADU OVER GARAGE:
BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934
SHEET: A4.1



SECTION 1

1/4" = 1'-0"



SECTION 2

1/4" = 1'-0"

FILENAME:E:\EGNYTE\SHARED_KUOP DESIGNS\!_PROJECTS\20-005 140 PROSPECT_140 PROSPECT\SHEETS\A5.1 SECTIONS.DWG

REVISIONS	DATE

KUOP DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE:
SECTIONS

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

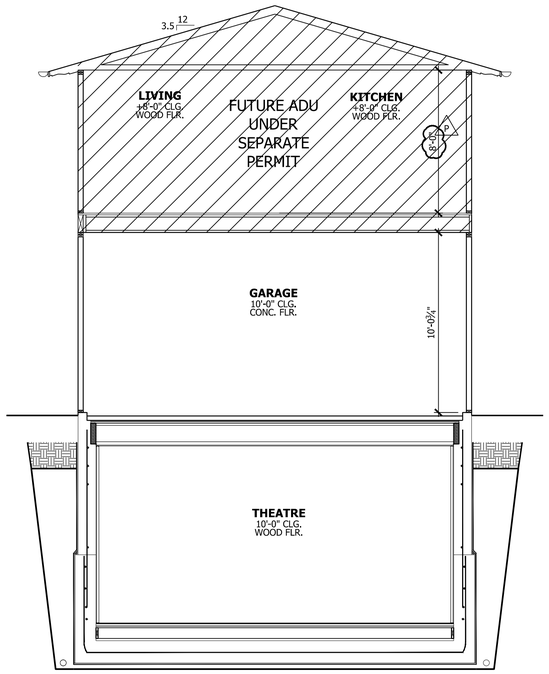
DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

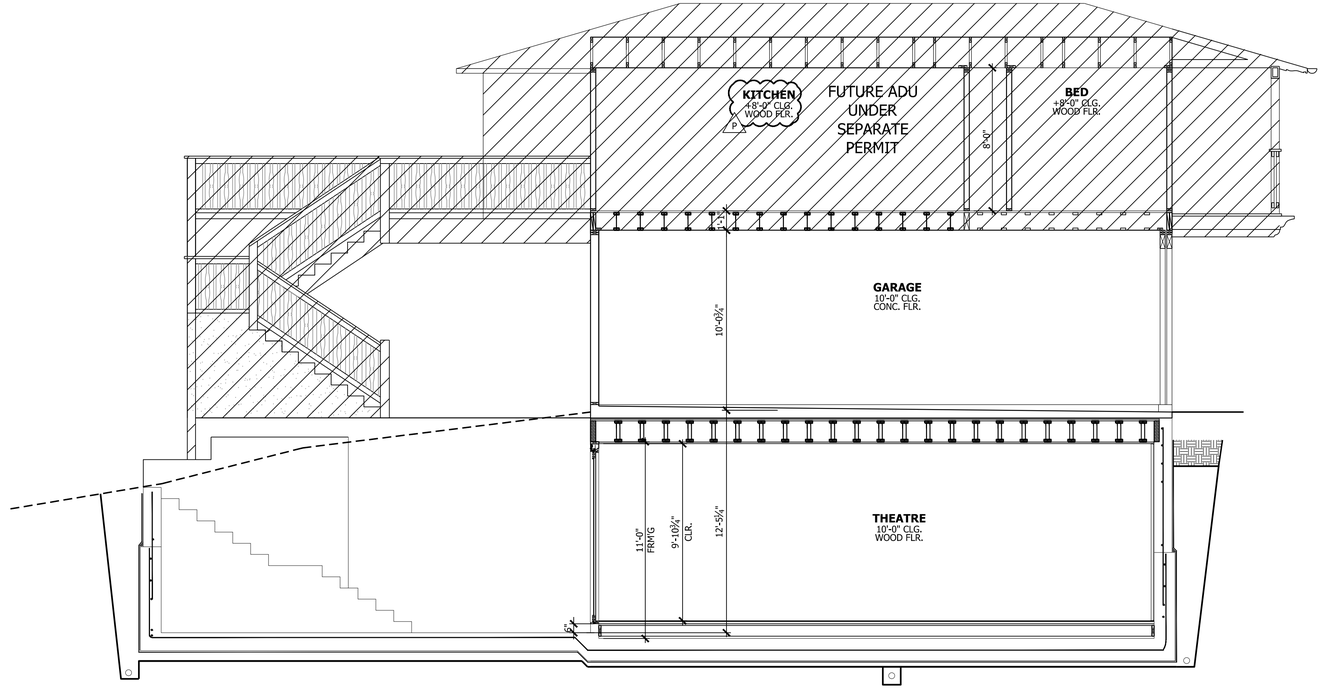
PLAN NO.: 1934

SHEET: **A5.1**



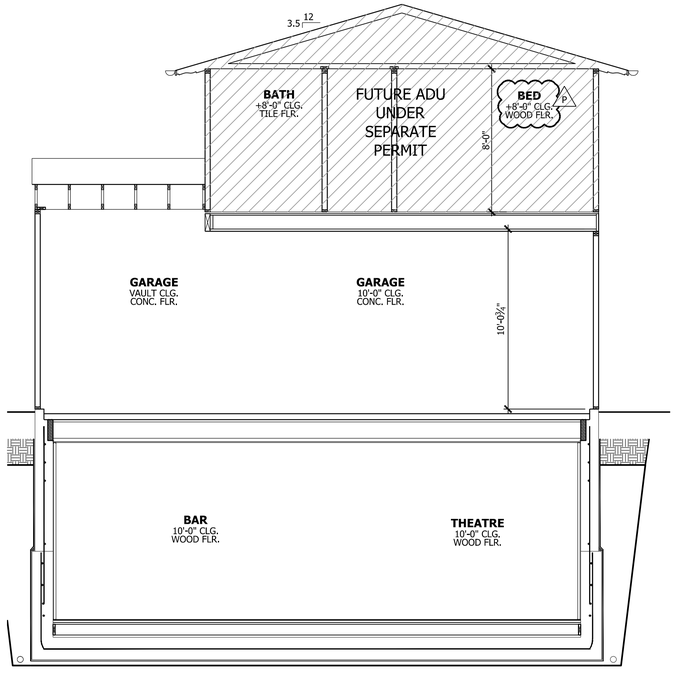
SECTION A

1/4" = 1'-0"



SECTION 3

1/4" = 1'-0"



SECTION B

1/4" = 1'-0"

REVISIONS	DATE

KUOP DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE

SECTIONS

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01

SCALE: PER SHEET

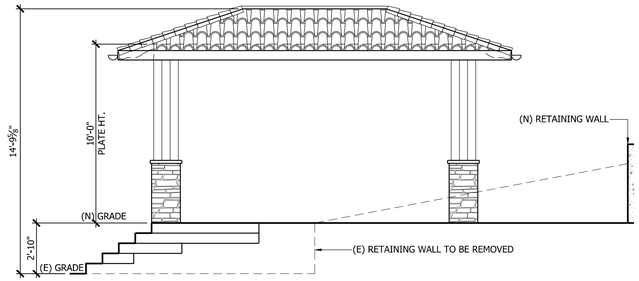
DRAWN BY: DAVID

PLAN NO.: 1934

SHEET: **A5.2**

REFERENCE KEYNOTES		
DIVISION 03 - CONCRETE		
CO-C	-	CONCRETE COLUMN, OCEAN MIST LEDGE STONE VENEER, MAX LRV 30
DIVISION 07 - THERMAL AND MOISTURE PROTECTION		
FLASHING AND SHEET METAL -		
GTR-G	-	GUTTER, HALF ROUND PROFILE, MATCH PAINT P2F
ROOFING AND SIDING -		
CTR	-	CLAY TILE ROOFING, MATCH EXISTING RESIDENCE, LRV 30 MAXIMUM
DIVISION 09 - FINISHES		
APPLIED FINISHES -		
P2F	-	PAINT, BENJAMIN MOORE 2128-10 BLACK BEAUTY, LRV -5, FLAT

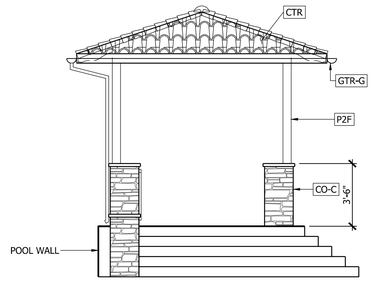
P



FRONT (SOUTH) ELEVATION

1/4" = 1'-0"

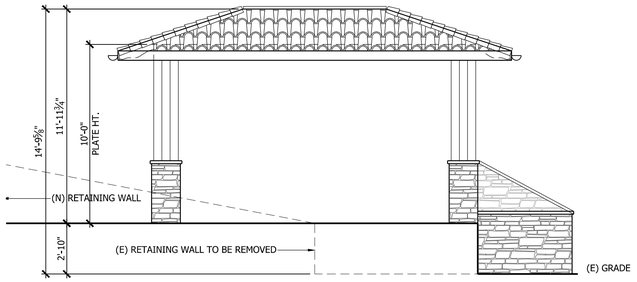
0 1' 2' 3' 4' 5' 10'



LEFT (WEST) ELEVATION

1/4" = 1'-0"

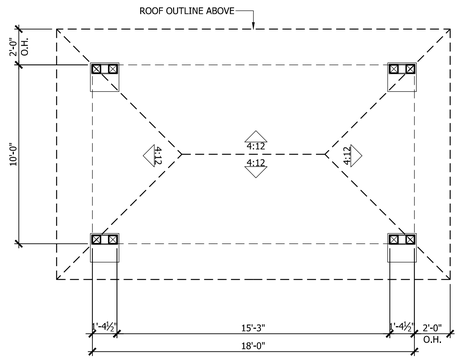
0 1' 2' 3' 4' 5' 10'



REAR (NORTH) ELEVATION

1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'

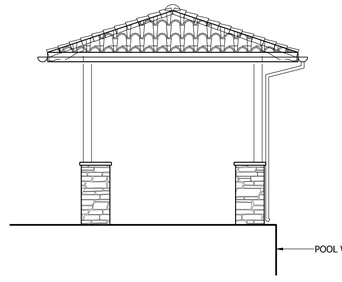


140 PROSPECT GAZEBO FLOOR PLAN

1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'

TRUE NORTH



RIGHT (EAST) ELEVATION

1/4" = 1'-0"

0 1' 2' 3' 4' 5' 10'

REVISIONS	DATE

KUOP DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE

GAZEBO PLANS

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 1934

SHEET: A9.1

NEW HOME RATING SYSTEM, VERSION 8.0

SINGLE FAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, ES.2 , H6.1 , J5.1, O1, O7.

Directions for Use: Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the blue "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information please visit **www.builditgreen.org/greenpointrated**.

Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater and certified by Build It Green.

Points Targeted: 36
Certification Level Targeted: None
Compliance Pathway Targeted: None

POINTS REQUIRED ▲Minimum Points ▲Achieved Points

	Community	Energy	IAQ/Health	Resources	Water
▲	2	21	6	6	6
▲	2	25	7.5	9.5	6.0

New Home Single Family Version 8.0

Project Name: Barragan Residence
Project Street: 140 Prospect Ave
Project City: Los Gatos
Project Zip: 95030

Points Achieved	MEASURES	Community	Energy	IAQ/Health	Resources	Water	NOTES
		Possible Points					
CALGreen							
Yes	**CALGreen Res (REQUIRED)**		1	1	1	1	
A. SITE							
TBD	**A1. Construction Footprint** (Site Preservation Plan Beyond Local Ordinance OR 40% of Site Undeveloped and Undisturbed)					1	
	A2. Job Site Construction Waste Diversion						
TBD	A2.1 70% C&D Waste Diversion (**including** Alternative Daily Cover)					2	
TBD	A2.2 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility					1	
TBD	**A3. Recycled Content Base Material** (Minimum 20% Post-Consumer Content)					1	
TBD	**A4. Heat Island Effect Reduction (Non-Roof)**		1				
TBD	**A5. Construction Environmental Quality Management Plan Including Flush-Out**			1			
	A6. Stormwater Control: Prescriptive Path (section capped at 3 points)						
TBD	A6.1 Permeable Paving Material					1	
TBD	A6.2 Filtration and/or Bio-Retention Features					1	
TBD	A6.3 Non-Leaching Roofing Materials					1	
TBD	A6.4 Smart Stormwater Street Design		1				
TBD	**A7. Stormwater Control: Performance Path** (Capture and Treat 85% of Annual Runoff Onsite)					3	
B. FOUNDATION							
TBD	**B1. Fly Ash and/or Slag in Concrete** (Minimum of 30%)				1		
TBD	**B2. Radon-Resistant Construction**			2			
Yes	**B3. Foundation Drainage System**	2			2		
TBD	**B4. Moisture Controlled Crawlspace**			1			
	B5. Structural Pest Controls						
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections				1		
TBD	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation				1		
C. LANDSCAPE							
0.00%	Enter the landscape area percentage. Points capped at 8 for less than 15%.						
TBD	**C1. Plants Grouped by Water Needs (Hydrozoning)**					1	
TBD	**C2. Three Inches of Mulch in Planting Beds**					1	
	C3. Resource Efficient Landscapes						
TBD	C3.1 No Invasive Species Listed by Cal-IPC				1		
TBD	C3.2 Plants Chosen and Located to Grow to Natural Size (Limited Maintenance)				1		
TBD	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species					3	
	C4. Minimal Turf in Landscape						
TBD	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide					2	
TBD	C4.2 Turf on a Small Percentage of Landscaped Area					2	

New Home Single Family Version 8.0

		Community	Energy	IAQ/Health	Resources	Water
TBD	**C5. Trees to Moderate Building Temperature** (at least 50% of West Facing Glazing and Walls Shaded)			1	1	1
TBD	**C6. High-Efficiency Irrigation System**					2
TBD	**C7. One Inch of Compost In the Top Six to Twelve Inches of Soil** (with Soil Testing)					2
TBD	**C8. Rainwater Harvesting System**					3
TBD	**C9. Recycled Wastewater Irrigation System**					1
TBD	**C10. Submeter or Dedicated Meter for Landscape Irrigation**					2
TBD	**C11. Landscape Meets Water Budget**					1
	C12. Environmentally Preferable Materials for Site					
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing				1	
Yes	**C13. Reduced Light Pollution** (Exterior lighting fixtures shielded and directed downward)	1	1			
TBD	**C14. Large Stature Tree(s)**		1			
TBD	**C15. Third Party Landscape Program Certification**					1
TBD	**C16. Maintenance Contract with Certified Professional** (Stay-Friendly Qualified Professional or Equiv.)					1
D. STRUCTURAL FRAME AND BUILDING ENVELOPE						
	D1. Optimal Value Engineering					
TBD	D1.1 Joists, Rafters, and Studs at 24 Inches on Center			1	2	
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load				1	
TBD	D1.3 Advanced Framing Measures				2	
TBD	**D2. Construction Material Efficiencies** (Pre-assembled wall and roof framing for at least 80% of project)				1	
	D3. Engineered Lumber					
TBD	D3.1 Engineered Beams and Headers				1	
Yes	D3.2 Wood I-Joists or Web Trusses for Floors	1			1	
TBD	D3.3 OSB for Subfloor				0.5	
TBD	D3.4 OSB for Wall and Roof Sheathing				0.5	
TBD	**D4. Insulated Headers**			1		
	D5. FSC-Certified Wood					
TBD	D5.1 Dimensional Lumber, Studs, and Timber				6	
TBD	D5.2 Panel Products				3	
	D6. Solid Wall Systems					
TBD	D6.1 At Least 90% of Floors				1	
TBD	D6.2 At Least 90% of Exterior Walls			1	1	
TBD	D6.3 At Least 90% of Roofs			1	1	
TBD	**D7. Energy Heels on Roof Trusses**			1		
TBD	**D8. Overhangs and Gutters**			1	1	
	D9. Reduced Pollution Entering the Home from the Garage					
Yes	D9.1 Detached Garage	2			2	
TBD	D9.2 Mitigation Strategies for Attached Garage				1	
	D10. Structural Pest and Rot Controls					
TBD	D10.1 All Wood Located At Least 12 Inches Above the Soil					1
TBD	D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall Materials Other Than Wood					1
TBD	**D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)**				1	1
E. EXTERIOR						
TBD	**E1. Environmentally Preferable Decking**					1
TBD	**E2. Flashing Installation Third-Party Verified**					2
TBD	**E3. Rain Screen Wall System**					2
TBD	**E4. Durable and Non-Combustible Cladding Materials**					1
	E5. Durable Roofing Materials					
TBD	E5.1 Durable and Fire Resistant Roofing Materials or Assembly					1

New Home Single Family Version 8.0

		Community	Energy	IAQ/Health	Resources	Water
TBD	**E6. Vegetated Roof**		2	2		
F. INSULATION						
	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content					
TBD	F1.1 Walls and Floors				0.5	
TBD	F1.2 Ceilings				0.5	
	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions					
TBD	F2.1 Walls and Floors			0.5		
TBD	F2.2 Ceilings			0.5		
	F3. Low GWP Insulation That Does Not Contain Fire Retardants					
TBD	F3.1 Cavity Walls and Floors			1		
TBD	F3.2 Ceilings			1		
TBD	F3.3 Interior and Exterior			1		
G. PLUMBING						
	G1. Efficient Distribution of Domestic Hot Water					
Yes	G1.1 Insulated Hot Water Pipes	1	1			
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution				1	
Yes	G1.3 Increased Efficiency in Hot Water Distribution	0			2	
	G2. Install Water-Efficient Fixtures					
Yes	G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve	2			2	
TBD	G2.2 WaterSense Bathroom Faucets 1.0 gpm				1	
≤1.28 gpf	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams 1.28 gpf OR 1.1 gpf	1			2	
TBD	**G3. Pre-Plumbing for Graywater System**				1	
TBD	**G4. Operational Graywater System**				3	
TBD	**G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout**				1	
H. HEATING, VENTILATION, AND AIR CONDITIONING						
	H1. Sealed Combustion Units					
TBD	H1.1 Sealed Combustion Furnace				1	
TBD	H1.2 Sealed Combustion or Heat Pump Water Heater				2	
Yes	**H2. High Performing Zoned Hydronic Radiant Heating System**	2	1	1		
	H3. Effective Ductwork					
TBD	H3.1 Duct Mastic on Duct Joints and Seams			1		
TBD	H3.2 Pressure Balance the Ductwork System			1		
Yes	**H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified**	1			1	
	H5. Advanced Practices for Cooling					
TBD	H5.1 ENERGY STAR® Ceiling Fans in Living Areas and Bedrooms			1		
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality					
Yes	H6.1 Meet ASHRAE 62.2-2016 Ventilation Residential Standards	Y	R	R	R	R
TBD	H6.2 Advanced Ventilation Standards				2	
TBD	H6.3 Outdoor Air is Filtered and Tempered				1	
	H7. Effective Range Hood Design and Installation					
TBD	H7.1 Effective Range Hood Ducting and Design				1	
TBD	H7.2 Automatic Range Hood Control				1	
TBD	**H8. High Efficiency HVAC Filter (MERV 16+)**				1	
TBD	**H9. Advanced Refrigerants**				1	
Yes	**H10. No Fireplace or Sealed Gas Fireplace**	1			1	
TBD	**H11. Humidity Control Systems**				1	
TBD	**H12. Register Design Per ACCA Manual T**			1		
I. RENEWABLE ENERGY						

New Home Single Family Version 8.0

		Community	Energy	IAQ/Health	Resources	Water
10%	**I1. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)**	2	25			
	I2. Low Carbon Homes					
TBD	I2.1 Near Zero Energy Home (offset at least 80% of annual site energy use)		2			
TBD	I2.2 Low Carbon Home (meet tbs CO2e/sq.ft. threshold)		4			
TBD	**I3. Energy Storage**		1			
TBD	**I4. Solar Hot Water Systems to Preheat Domestic Hot Water**		4			
J. BUILDING PERFORMANCE AND TESTING						
TBD	**J1. Third-Party Verification of Quality of Insulation Installation**				1	
Yes	**J2. Supply and Return Air Flow Testing**	2	1	1		
TBD	**J3. Mechanical Ventilation Testing**			1		
TBD	**J4. All Electric or Combustion Appliance Safety Testing**			1		
Select Compliance Pathway for J5.1	**J5. Building Performance Exceeds Title 24 Part 6**					Compliance Margin Total EDR ranges from 6-10 based on climate zone. Pre-wiring requirements: Dryer - conductor rated for 40 amp, Range - conductor rated for 50 amp, PV and storage credit allowed. **Option 2: All Electric Compliance** - Meet Compliance Margin Efficiency EDR based on climate zone (0-5). PV and Storage credit allowed. **Option 3: Annual Energy Use** - Minimum 20% compliance based on annual energy use. PV credit not allowed
5	Select Project Climate Zone					Climate Zone Input
4	J5.1 Home Outperforms Title 24 Part 6	0	25+			
No	**J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst**	0	1			
TBD	**J7. Participation in Utility Program with Third-Party Plan Review**		1			
TBD	**J8. ENERGY STAR® for Homes**		1			
No	**J9. EPA Indoor airPlus Certification**	0		2		
TBD	**J10. Blower Door Testing**			3		
K. FINISHES						
	K1. Entryways Designed to Reduce Tracked-In Contaminants					
TBD	K1.1 Individual Entryways (Dailbrarate hard surface at entrances and permanent assembly for shoe storage)				1	
TBD	**K2. Zero-VOC Interior Wall and Ceiling Paints**				2	
TBD	**K3. Low-VOC Caulks and Adhesives**				1	
	K4. Environmentally Preferable Materials for Interior Finish					
TBD	K4.1 Cabinets				2	
TBD	K4.2 Interior Trim				2	
TBD	K4.3 Shelving				2	
TBD	K4.4 Doors				2	
TBD	K4.5 Countertops				1	
	K5. Formaldehyde Emissions in Interior Finish Exceed CARB					
TBD	K5.1 Doors				1	
TBD	K5.2 Cabinets and Countertops				2	
TBD	K5.3 Interior Trim and Shelving				2	
TBD	**K6. Products That Comply With the Health Product Declaration Open Standard**				2	
TBD	**K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion**				2	
No	**K8. Comprehensive Inclusion of Low Emitting Finishes**				1	
L. FLOORING						

New Home Single Family Version 8.0

		Community	Energy	IAQ/Health	Resources	Water
TBD	**L1. Environmentally Preferable Flooring**					3
TBD	**L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential**				3	
TBD	**L3. Durable Flooring** (All flooring is hard surfaces)					1
Yes	**L4. Thermal Mass Flooring**	1		1		
M. APPLIANCES AND LIGHTING						
Yes	**M1. ENERGY STAR® Dishwasher**	1				1
	M2. Efficient Laundry Appliances					
TBD	M2.1 CEE-Rated Clothes Washer			1		2
TBD	M2.2 ENERGY STAR® Dryer			1		
TBD	M2.3 Solar Dryer/ Laundry Lines			0.5		
<25 cubic feet	**M3. Size-Efficient ENERGY STAR® Refrigerator**	1		2		
	M4. Permanent Centers for Waste Reduction Strategies					
Yes	M4.1 Built-In Recycling Center	1				1
TBD	M4.2 Built-In Composting Center					1
	M5. Lighting Efficiency					
Yes	M5.1 High-Efficacy Lighting	2		2		
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant			2		
N. COMMUNITY						
	N1. Smart Development					
TBD	N1.1 Infill Site		1			1
TBD	N1.2 Designated Brownfield Site		1			1
TBD	N1.3 Conserve Resources by Increasing Density			2		2
TBD	N1.4 Cluster Homes for Land Preservation		1			1
	N1.5 Home Size Efficiency	3				9
732	Enter the area of the home, in square feet					
1	Enter the number of bedrooms					
	N2. Home(s)Development Located Near Transit					
TBD	N2.1 Within 1 Mile of a Major Transit Stop		1			
TBD	N 2.2. Within 1/ 2 mile of a Major Transit Stop		2			
	N3. Pedestrian and Bicycle Access					
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2			
	Enter the number of Tier 1 services					
	Enter the number of Tier 2 services					
TBD	N3.2 Connection to Pedestrian Pathways		1			
TBD	N3.3 Traffic Calming Strategies		2			
	N4. Outdoor Gathering Places					
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents		1			
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services		1			
	N5. Social Interaction					
Yes	N5.1 Residence Entries with Views to Callers	1	1			
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors		1			
No	N5.3 Porches Oriented to Street and Public Space	0	1			
	N6. Passive Solar Design					
TBD	N6.1 Heating Load			2		
TBD	N6.2 Cooling Load			2		
	N7. Adaptable Building					
TBD	N7.1 Universal Design Principles in Units		1		1	
TBD	N7.2 Full-Function Independent Rental Unit		1			

New Home Single Family Version 8.0

		Community	Energy	IAQ/Health	Resources	Water
	N8. Resiliency					
TBD	N8.1 Assessment (Cal-Adapt, Fortified Standard, HAZUS, FEMA PSR, or Seismic Evaluation)		1		1	1
TBD	N8.2 Strategies to Address Assessment Findings		1		1	1
	N9. Social Equity in Community		1			
TBD	N9.1 Diverse Workforce (Supplier Diversity or Local Hire)		1			1
TBD	N9.2 Community Location (Disadvantaged Community)		1		1	
O. OTHER						
Yes	**O1. GreenPoint Rated Checklist in Blueprints**	Y	R	R	R	R
Yes	**O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors**	2		0.5		1
Yes	**O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs**	2		0.5	0.5	0.5
No	**O4. Builder's or Developer's Management Staff are Certified Green Building Professionals**	0		0.5	0.5	0.5
	O5. Home System Monitors					
TBD	O5.1 Energy Home System Monitors			1		
TBD	O5.2. Water Home System Monitors					1
	O6. Green Building Education					
TBD	O6.1 Marketing Green Building		2			
TBD	O6.2 Green Building Signage			0.5		0.5
Yes	**O7. Green Appraisal Addendum**	Y	R	R	R	R
TBD	**O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation**					1

Summary

	Community	Energy	IAQ/Health	Resources	Water
Total Available Points in Specific Categories	295.5	30	75.5	59	82	49
Minimum Points Required in Specific Categories	50	2	25	6	6	6
Total Points Achieved	36.0	2.0	11.0	7.5	9.5	6.0

REVISIONS	DATE

KUOP DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

PAGE TITLE: **GREEN POINT RATING**

NEW ADU OVER GARAGE:

BARRAGAN RESIDENCE
140 PROSPECT AVENUE
LOS GATOS, CA 95030

DATE: 2020.06.01
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1934

SHEET: **GPR**

NEW ADU AND SITE FEATURES
APN: 529-44-021
140 PROSPECT AVENUE, LOS GATOS, CA

Know what's below. Call 811 before you dig.

GENERAL NOTES

I. GENERAL:

1. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.

2. COMPACTION TO BE DETERMINED USING ASTM D1557-LATEST EDITION.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM AND SANITARY INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.

5. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY GKM ENGINEERS, AT (408) 656-5917 BEFORE ADJUSTING UTILITY DESIGN.

6. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. IF THE CONTRACTOR REQUIRES ASSISTANCE HE SHALL CALL GKM ENGINEERS AT (408) 656-5917 AND REQUEST A SURVEY CREW TO MAKE THE DETERMINATION. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.

7. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY THE GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO TRENCHING.

8. STORM DRAIN PIPES DESIGNATED AS "SD FROM 4" TO 24" IN DIAMETER SHALL BE SDR-35 P.V.C. (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL), CLASS HDPE SMOOTH INTERIOR PIPE PER ASTM D3212 (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL) OR DUCTILE IRON PIPE (D.I.P.), IF SPECIFIED ON PLANS. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE. ANY PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III REINFORCED CONCRETE PIPE (R.C.P.). HDPE AND P.V.C. PIPE SHALL ONLY BE USED WHEN THE MANUFACTURER RECOMMENDATION REQUIREMENTS ARE MET. PIPE MADE OF ANY OTHER MATERIAL MAY BE USED ONLY AFTER APPROVAL OF THE ENGINEER.

9. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS AND PULL BOXES THAT LIE WITHIN AREAS EFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY. THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.

10. ALL AREAS TO BE GRADED AT 1% MINIMUM FOR DRAINAGE EXCEPT ALONG FLOWLINE OF CURB AND GUTTER OR VALLEY GUTTER, AS SHOWN.

11. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.

12. PROPOSED SPOT GRADES (ELEVATIONS) SHOWN HEREON ARE FINISHED PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS NOTED OTHERWISE.

13. ESTIMATED EARTHWORK QUANTITIES: EARTHWORK QUANTITIES SHOWN (IF ANY), OR OTHERWISE SUPPLIED BY GKM, ARE APPROXIMATE ONLY AND SHOWN FOR THE PURPOSES OF CALCULATING GRADING PERMIT FEES. GKM ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE QUANTITIES.

14. WHEN A GRADING PERMIT IS ISSUED ON THIS PROJECT THE AGENCY APPROVAL APPLIES ONLY TO GRADING. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL OTHER NECESSARY PERMITS TO ACCOMPLISH PROPOSED SITE WORK. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR OBTAIN ALL NECESSARY UNDERGROUND PERMITS BEFORE ROUGH GRADING THE SITE, AS REVISIONS TO UNDERGROUND FACILITIES MANDATED BY PLAN CHECKING AGENCIES MAY SUBSTANTIALLY EFFECT GRADING INCLUDING FINISHED FLOOR ELEVATIONS.

15. THE CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESSES OF THE BUILDING SLAB SECTION (IE: CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS AND THE ELEVATIONS SHOWN HEREON PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

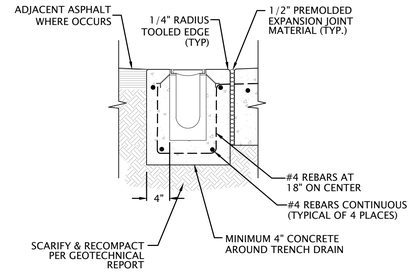
16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.

17. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

18. WHERE OFF-SITE DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED THE ON-SITE DRIVEWAY SHALL NOT BE CONSTRUCTED UNTIL THE OFF-SITE IMPROVEMENTS ARE INSTALLED. THE ON-SITE DRIVEWAY SHALL CONFORM TO THE COMPLETED OFF-SITE DRIVEWAY.

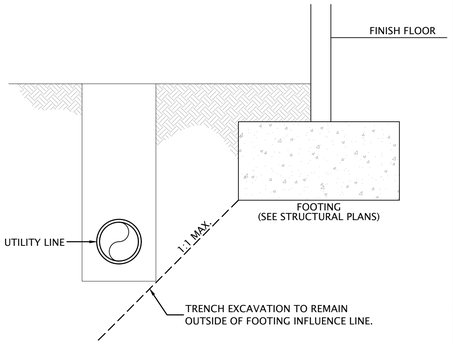
19. ALL PIPES SHALL HAVE A MINIMUM COVER OF 3' FROM FINISH GRADE UNLESS OTHERWISE SPECIFIED ON THE PLANS.

20. BENCHMARK:_____



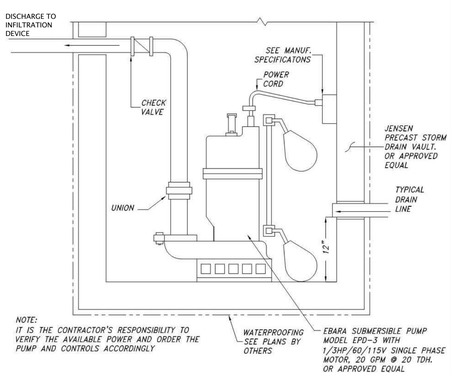
NOT TO SCALE

TRENCH DRAIN | 8

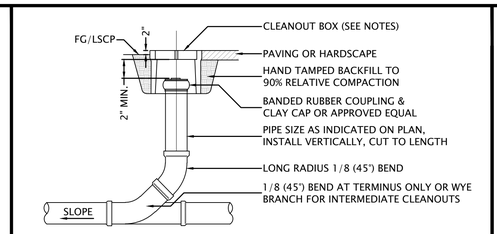


NOT TO SCALE

UTILITY LINE PARALLEL TO FOOTING | 5



SUMP PUMP | 10



ELEVATION

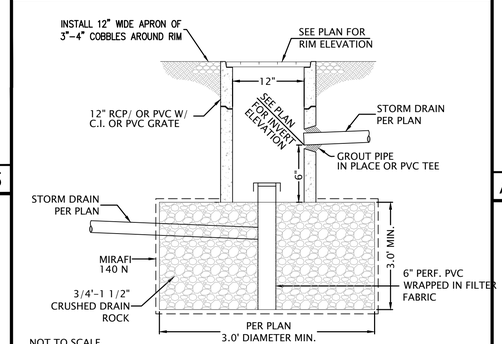
RECTANGULAR BOXES

NOTES:

1. A RECTANGULAR BOX AS SHOWN ABOVE SHALL BE USED FOR CLEANOUTS THAT ARE CAPPED USING A BANDED RUBBER COUPLING.
2. CIRCULAR BOXES ARE PERMITTED FOR CLEANOUTS THAT ARE CAPPED WITH A SCREW TYPE CAP OR OTHER APPROVED TOP OPENING CAPS. TYPE AND MANUFACTURER SUBJECT TO APPROVAL BY ENGINEER.
3. CIRCULAR BOXES INSTALLED IN SIDEWALK AREAS SHALL HAVE A SOLID COVER WITHOUT HOLES.
4. APPROVED RECTANGULAR BOXES ARE:
   A) CHRISTY CONCRETE PRODUCT B3 BOX WITH A B3D CONCRETE LID OR A B3C METAL LID, OR
   B) BROOKS PRODUCTS, INC. NO.3 METER BOX WITH A NO.3 HEAVY DUTY CONCRETE LID OR A NO.3 CAST IRON TRAFFIC LID OR APPROVED EQUAL.
5. CONCRETE LIDS ARE ACCEPTABLE FOR USE IN NON VEHICULAR TRAFFIC AREAS, METAL, TRAFFIC RATED LIDS MUST BE USED IN TRAFFIC AREAS.
6. ALL CLEANOUT BOX LIDS SHALL BE MARKED WITH A LETTER "S" OR THE WORD "SEWER".
7. TERMINATE CLEANOUT AT CLOSEST JOINT TO SURFACE WITH TEMPORARY PLUG. AFTER ALL BACKFILL IS COMPLETE AND SUB-GRADE MADE IN AREAS TO BE PAVED THE FINAL RISER PIPE AND BOX SHALL BE INSTALLED AS SHOWN.

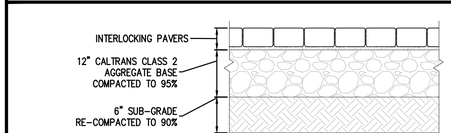
NOT TO SCALE

CLEANOUT TO GRADE | 3



NOT TO SCALE

INFILTRATION DEVICE | 6

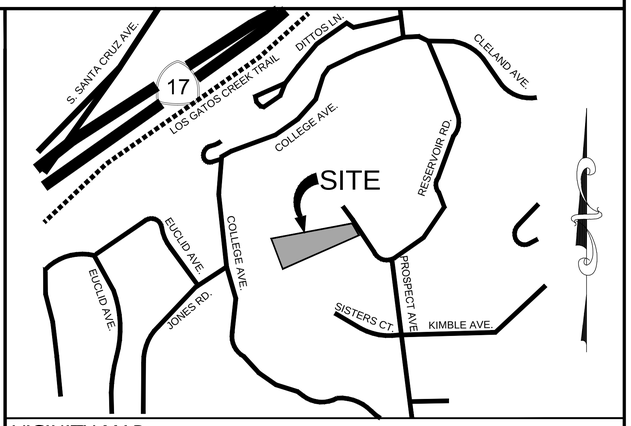


NOTES:

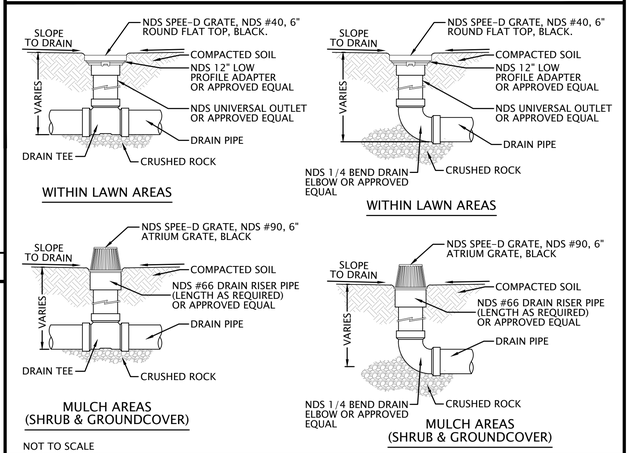
1. REFER TO GEOTECHNICAL INVESTIGATION FOR INFORMATION NOT SHOWN OR NOTED.

NOT TO SCALE

PARKING PAVEMENT SECTION | 6

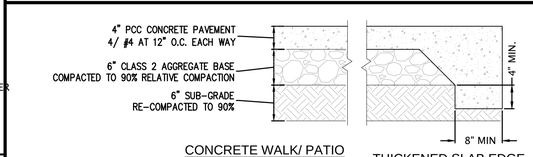


VICINITY MAP



NOT TO SCALE

AREA DRAIN | 1



NOT TO SCALE

CONCRETE PAVEMENT SECTION | 7

SHEET INDEX

REGISTERED PROFESSIONAL ENGINEER GEORGE K. MARINOS No. 77629 Exp. 6-30-2021 CIVIL STATE OF CALIFORNIA

FOR PLANNING PURPOSES ONLY

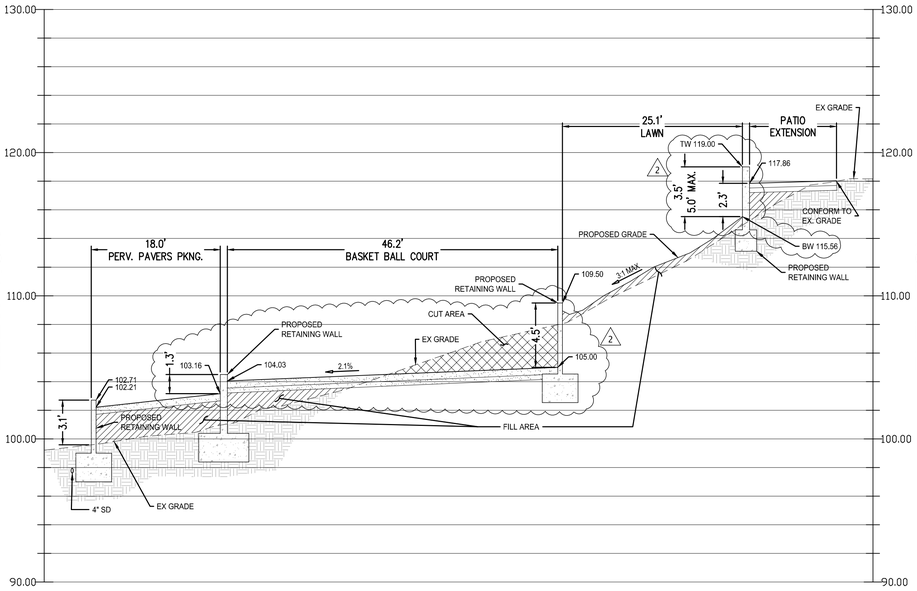
No.	BY	REVISION

No.	BY	REVISION
1		REPONSE TO COMMENTS DATED 11/25/2020
2		RESPONSE TO COMMENTS DATED 6/9/2021

GKM Engineering
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
16185 Los Gatos Blvd. Suite 205
Los Gatos, Ca 95032
(408) 656 5917
GKMengineering.com

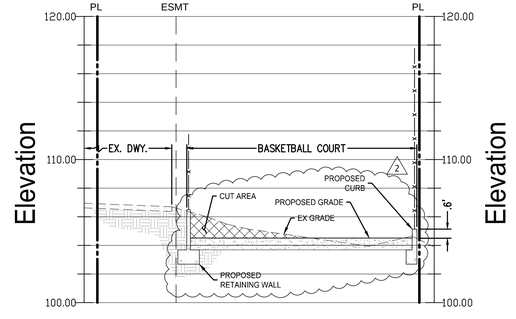
COVER SHEET, DETAILS AND GENERAL NOTES
NEW ADU AND SITE FEATURES
APN: 529-44-021
140 PROSPECT AVENUE
LOS GATOS, CALIFORNIA

DATE	July 2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A200204
SHEET	C1.0
OF	6 SHEETS



SECTION A

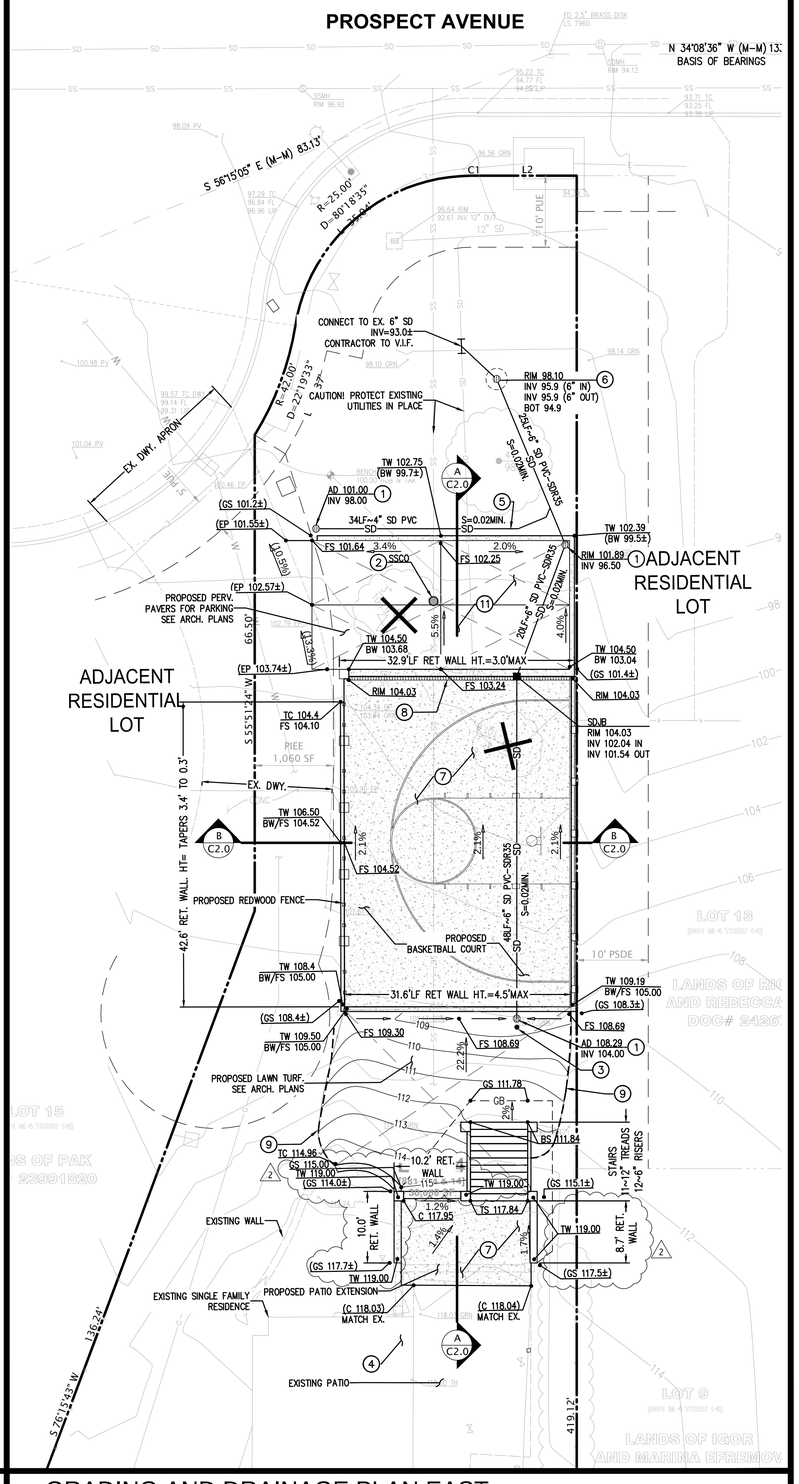
SCALE: H: 1" = 10'
V: 1" = 5'



SECTION B

SCALE: H: 1" = 10'
V: 1" = 5'

CROSS SECTION



GRADING AND DRAINAGE PLAN EAST

RAINWATER LEADER NOTE

All roof rainwater leaders are to be discharged onto splash blocks that are designed to spread out the rain water so that it enters the landscape areas as sheet flow

UNDERGROUNDING REQUIREMENTS NOTE

per the Town's Undergrounding Requirements, all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines shall be installed underground.

CONSTRUCTION NOTES

1. PROVIDE AREA DRAIN PER DETAIL 1/C1.0.
2. ADJUST EXISTING STRUCTURE TO GRADE
3. PROVIDE CLEAN OUT PER DETAIL 3/C1.0
4. ALL ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS THAT ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW
5. SEE DETAIL 5/C1.0 FOR UTILITY LINE PARALLEL TO FOOTING.
6. PROVIDE INFILTRATION DEVICE PER DETAIL 6/C1.0.
7. NEW CONCRETE PAVING PER DETAIL 7/C1.0.
8. PROVIDE TRENCH DRAIN PER DETAIL 8/C1.0
9. LIMITS OF GRADING
10. PROVIDE PUMP STATION PER DETAIL 10/C1.0
11. NEW PAVERS PER DETAIL 11/C1.0. SEE ARCH. PLANS PAVER SPECIFICATIONS

LEGEND

- (CONCRETE PAVING)
- EASEMENT LINE
- SD — STORM DRAIN LINE
- FM — STORM DRAIN FORCE MAIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN AREA DRAIN
- STORM DRAIN INFILTRATION DEVICE
- STORM DRAIN TRENCH DRAIN
- SS — EXISTING SANITARY SEWER
- 110 — PROPOSED CONTOUR
- 110 — EXISTING CONTOUR
- GB — GRADE BREAK
- R — RIDGE LINE
- LIMITS OF GRADING
- GS 102.18 — SPOT GRADE
- GS 102.18 OR (GS 102.18) — EX GRADE
- DIRECTION OF FLOW
- TREE TO BE REMOVED

ABBREVIATIONS

AB	AGGREGATE BASE	INV	INVERT ELEVATION
AC	ASPHALTIC CONCRETE	IRR	IRRIGATION
AD	AREA DRAIN	L/S	LANDSCAPE
BOT	BOTTOM	MAX	MAXIMUM
BS	BOTTOM OF STEP	MIN	MINIMUM
BW	BACK OF WALK	NO.	NUMBER
C&G	CURB AND GUTTER	O.C.	ON CENTER
CL	CENTERLINE	PV	PAVEMENT
CLR	CLEAR	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	RIM	RIM ELEVATION
DWY	DRIVEWAY	RWL	RAIN WATER LEADER
EP	EDGE OF PAVEMENT	RYSB	REAR YARD SETBACK
EX.	EXISTING	SD	STORM DRAIN
FF	FINISH FLOOR	SDCB	STORM DRAIN CATCH BASIN
FL	FLOW LINE	SDCO	STORM DRAIN CLEAN OUT
FS	FINISH SURFACE	SDJB	STORM DRAIN JUNCTION BOX
FYSB	FRONT YARD SETBACK	STD.	STANDARD
GB	GRADE BREAK	SYSB	SIDE YARD SETBACK
GS	GROUND SURFACE	TS	TOP OF STEP
HP	HIGH POINT	TYP.	TYPICAL
ICV	IRRIGATION CONTROL VALVE	W/	WITH

0 10 20 30
Scale 1" = 10 ft

FOR PLANNING PURPOSES ONLY

REGISTERED PROFESSIONAL ENGINEER
GEORGE K. MARINAKIS
No. 77629
Exp. 6-30-2021
CIVIL
STATE OF CALIFORNIA

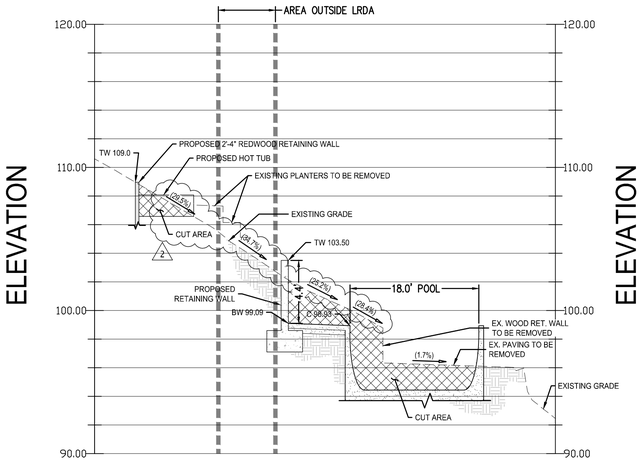
No.	BY	REVISION
1		REPONSE TO COMMENTS DATED 11/25/2020
2		RESPONSE TO COMMENTS DATED 6/9/2021

GKM Engineering
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
16185 Los Gatos Blvd. Suite 205
Los Gatos, Ca 95032
(408) 656 5917
GKMengineering.com

GRADING AND DRAINAGE PLAN EAST
NEW ADU AND SITE FEATURES

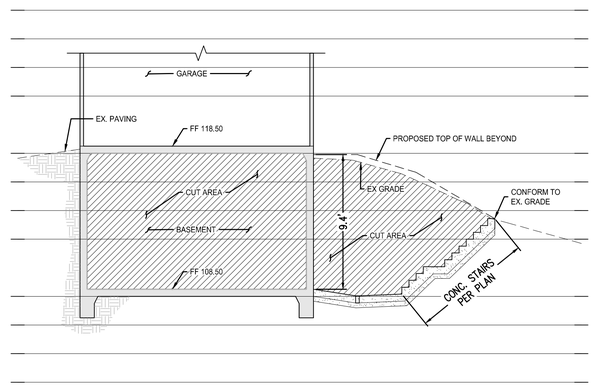
APN: 529-44-021
140 PROSPECT AVENUE
LOS GATOS CALIFORNIA

DATE	July 2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A200204
SHEET	C2.0
OF	6 SHEETS



SECTION C

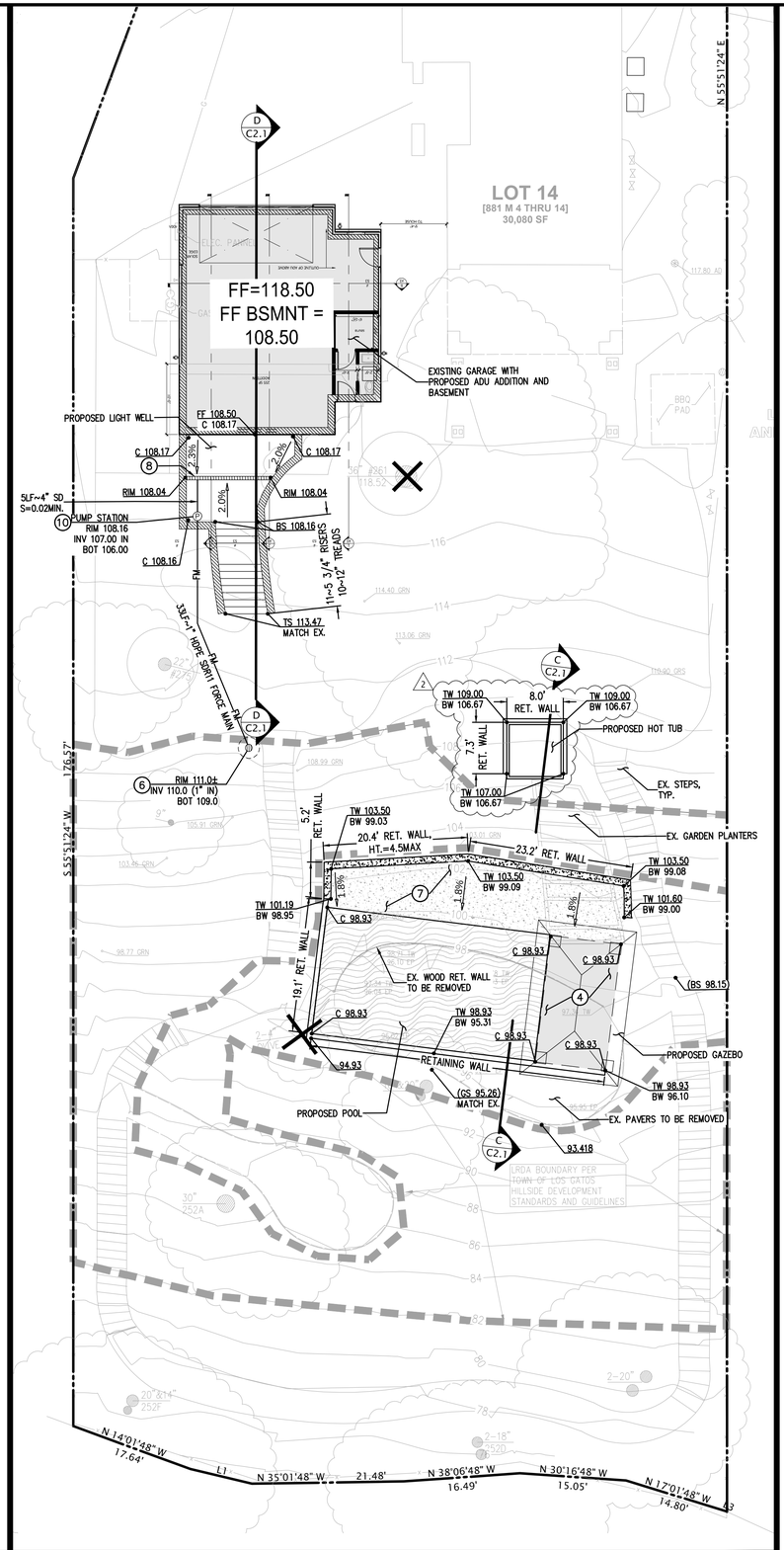
SCALE: H: 1" = 10'
V: 1" = 5'



SECTION D

SCALE: H: 1" = 10'
V: 1" = 5'

CROSS SECTIONS



GRADING AND DRAINAGE PLAN WEST

RAINWATER LEADER NOTE

All roof rainwater leaders are to be discharged onto splash blocks that are designed to spread out the rain water so that it enters the landscape areas as sheet flow

CONSTRUCTION NOTES

1. PROVIDE AREA DRAIN PER DETAIL 1/C1.0.
2. ADJUST EXISTING STRUCTURE TO GRADE
3. PROVIDE CLEAN OUT PER DETAIL 3/C1.0
4. ALL ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS THAT ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW
5. SEE DETAIL 5/C1.0 FOR UTILITY LINE PARALLEL TO FOOTING.
6. PROVIDE INFILTRATION DEVICE PER DETAIL 6/C1.0.
7. NEW CONCRETE PAVING PER DETAIL 7/C1.0.
8. PROVIDE TRENCH DRAIN PER DETAIL 8/C1.0
9. LIMITS OF GRADING
10. PROVIDE PUMP STATION PER DETAIL 10/C1.0
11. NEW PAVERS PER DETAIL 11/C1.0. SEE ARCH. PLANS PAVER SPECIFICATIO

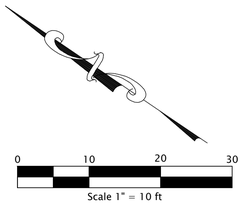
PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE

Project Phase Number:			N/A
Total Site (acres):	0.691	Total Area of Site Disturbed (acres):	0.138
	Existing Conditions	Proposed Condition of Site Area Disturbed (square feet)	
		Replaced	New
Impervious Surfaces			
Roof Area(s)	3,364	751	461
Pools	0	420	258
Sidewalks, Patios, Paths, etc	4,584	0	3,137
Streets (Public)	0	0	0
Streets (Private)	0	0	0
Total Impervious Surfaces	7,948	1,171	3,856
Pervious Surfaces			
Landscaped Areas	22,142	1,003	0
Pervious Paving	0	0	0
Other Pervious Surfaces (green roof, etc.)	0	0	0
Total Pervious Surfaces:	22,142	1,003	0
		Total Proposed Replaced + New Impervious Surfaces:	5,027
		Total Proposed Replaced + New Pervious Surfaces:	1,003

EARTHWORK QUANTITIES

SITE ELEMENT	CUYD CUT***	CUYD FILL***	MAX FT. CUT	MAX FT. FILL
GAZEBO	1.9	6.7	-2.1	+2.8
GARAGE BASEMENT & LIGHT WELLS	326.0	0.0	-9.4*	0.0
POOL, POOL PATIO, & HOT TUB	68.8	0.0	-3.5**	0.0
DRIVEWAY & PARKING	0.0	27.0	0.0	+2.0
TURF, SPORT COURT & PATIO EXTENSION	19.0	57.6	-3.4	+2.6
TOTAL	415.7	91.3		

* INCLUDES CUT FOR BASEMENT & LIGHT WELL EXCAVATION
** EXCLUDES CUT FOR POOL EXCAVATION
*** CUT AND FILL YARDAGE IS TAKEN FROM FINISHED SURFACE TO FINISHED SURFACE INCLUDING BASEMENT AND POOL EXCAVATIONS. CUT AND FILL YARDAGE DOES NOT INCLUDE BASE ROCK OR FOUNDATION EXCAVATIONS



REGISTERED PROFESSIONAL ENGINEER
GEORGE K. MARINAKIS
No. 77629
Exp. 6-30-2021
CIVIL
STATE OF CALIFORNIA

FOR PLANNING PURPOSES ONLY

No.	BY	REVISION

No.	BY	REVISION
1		REPONSE TO COMMENTS DATED 11/25/2020
2		RESPONSE TO COMMENTS DATED 6/9/2021

GKM Engineering
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
16185 Los Gatos Blvd. Suite 205
Los Gatos, Ca 95032
(408) 656 5917
GKMengineering.com

GRADING AND DRAINAGE PLAN WEST
NEW ADU AND SITE FEATURES

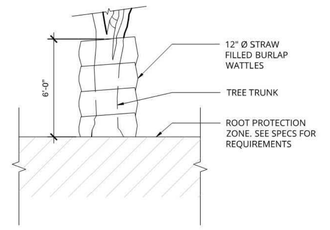
APN: 529-44-021
140 PROSPECT AVENUE
LOS GATOS CALIFORNIA

DATE	July 2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A200204
SHEET	C2.1
OF	6 SHEETS

EROSION CONTROL NOTES

1. EROSION CONTROL FACILITIES AND MEASURES ARE TO BE INSTALLED AND OPERABLE BY OCTOBER 15 AND SHALL CONTINUE IN EFFECT UNTIL APRIL 15, OR UNTIL INSTALLATION OF THE PERMANENT PROJECT LANDSCAPING AND PAVING.
2. CHANGES TO THE EROSION CONTROL MEASURES INDICATED ON THESE PLANS AND DESCRIBED HEREIN TO ACCOMMODATE FIELD CONDITIONS MAY BE MADE ONLY WITH THE PRIOR APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
3. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE. THE CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (GREATER THAN 3" BUT SMALLER THAN 6" IN DIAMETER) AT LEAST TWELVE (12) INCHES THICK BY FIFTY (50) FEET LONG BY TWELVE (12) FEET WIDE AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
4. SEDIMENT TRAPS SHALL BE CONSTRUCTED AND MAINTAINED IN PLACE AROUND EACH STORM INLET AS INDICATED ON THE DEMOLITION PLAN. SEE THE "DRAIN INLET PROTECTION" DETAIL ON THIS SHEET. ALL INLETS WHICH ARE NOT PROTECTED BY SEDIMENT TRAPS SHALL BE COMPLETELY BLOCKED AS LONG AS THE EROSION CONTROL PLAN IS IN EFFECT.
5. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING THE STORM DRAINAGE SYSTEM OR ADJACENT PROPERTIES.
6. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS THERETO PRIOR TO ANTICIPATED STORMS, AND SHALL PERIODICALLY INSPECT THE SITE AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE REPAIRED IMMEDIATELY.
7. FOLLOWING EACH STORM, THE CONTRACTOR SHALL INSPECT EACH STORM INLET SEDIMENT TRAP TO ASSURE THE INTEGRITY OF THE BASIN AND OUTLET PIPE. ANY DAMAGE TO THESE OR OTHER EROSION CONTROL DEVICES SHALL BE REPAIRED AS SOON AS PRACTICABLE.
8. AS SOON AS PRACTICABLE FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE SEDIMENT TRAP BASIN AND SHALL CLEAR THE OUTLET PIPE OF ANY BLOCKAGE.
9. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL FACILITIES AND SHALL CONDUCT PERIODIC INSPECTION OF THE PROJECT SITE DURING STORMS OF PROLONGED DURATION AND/OR HEAVY INTENSITY TO ASSURE THAT THEY FUNCTION IN THE MANNER DESCRIBED HEREIN.

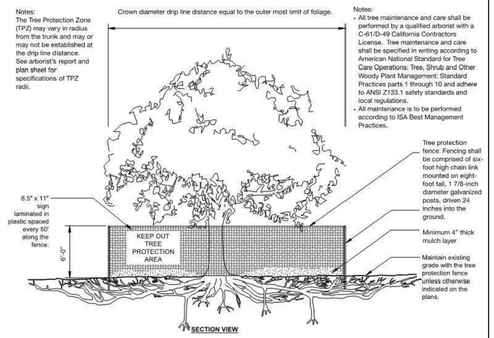
Plan Sheet Detail S-Y (Type III)



S-Y TRUNK PROTECTION WITH WATTLE

TREE PROTECTION S-Y TYPE III | 4

Plan Sheet Detail S-X (Type I)



S-X TREE PROTECTION

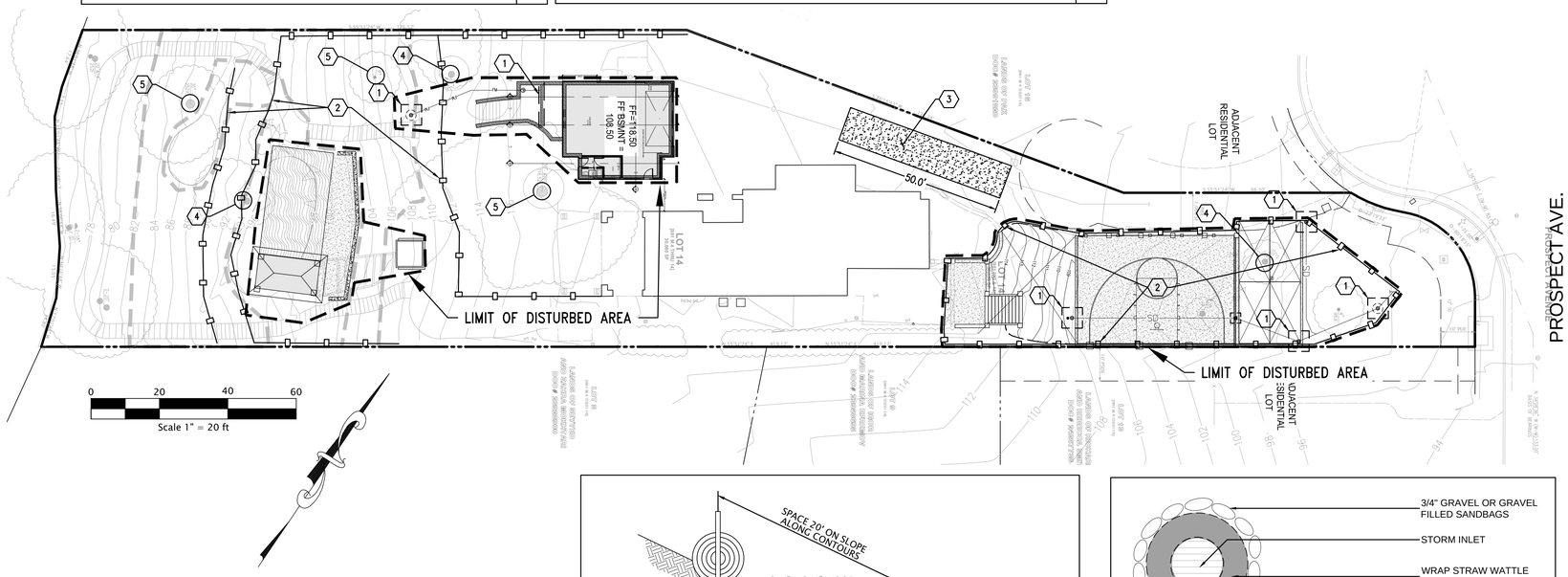
TREE PROTECTION S-X TYPE I | 5

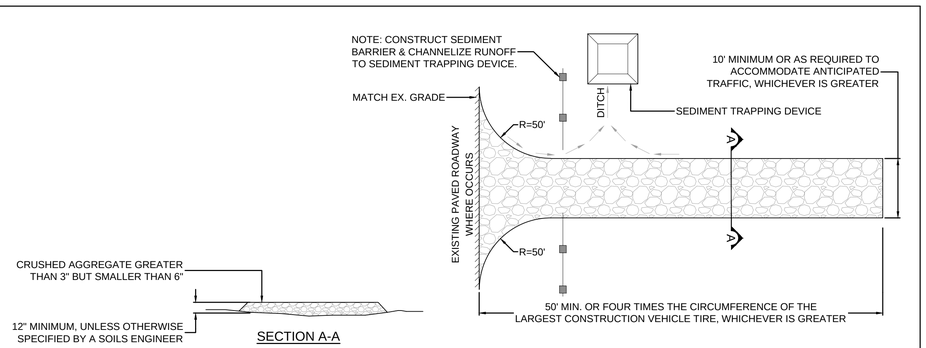
EROSION CONTROL NOTES

1. PROVIDE INLET PROTECTION PER DETAIL 1 THIS SHEET.
2. PROVIDE FIBER ROLL EROSION BARRIER PER DETAIL 2 THIS SHEET.
3. PROVIDE CONSTRUCTION ENTRANCE PER DETAIL 3 THIS SHEET.
4. TREE PROTECTION S-Y TYPE III, PER DETAIL 4 THIS SHEET
5. TREE PROTECTION S-X TYPE I, PER DETAIL 5 THIS SHEET

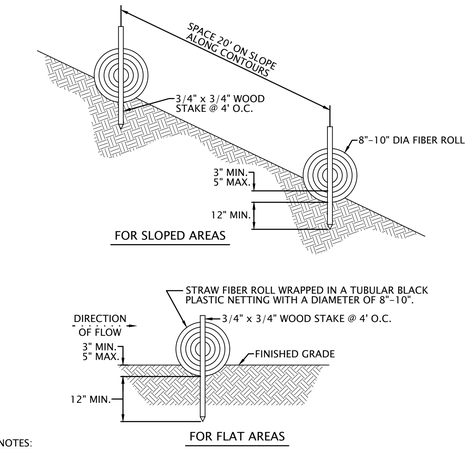
LEGEND

KEY NOTE (X)
FIBER ROLL EROSION BARRIER
LIMIT OF DISTURBED AREA
LEAST RESTRICTIVE DEVELOPMENT AREA
INLET SEDIMENT PROTECTION
STABILIZED CONSTRUCTION ENTRANCE





STABILIZED CONSTRUCTION ENTRANCE | 3

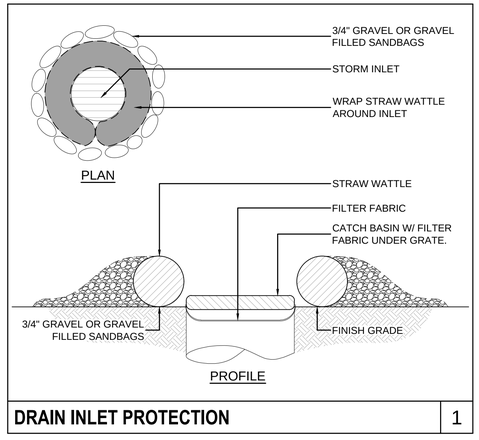


NOTES:

1. FIBER ROLL COMPOSED OF BIO-DEGRADEABLE FIBERS STUFFED INTO A PHOTO-DEGRADEABLE OPEN WEAVE NETTING.
2. FIBER ROLL EROSION BARRIER TRAPS SEDIMENT AND REDUCES SHEET AND HILL SIDE EROSION BY REDUCING SLOPE GRADIENT. IT INCREASING INFILTRATION RATES AND BY PRODUCING A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT.
3. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH 3"-5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

N.T.S.

FIBER ROLL EROSION BARRIER | 2



DRAIN INLET PROTECTION | 1

REGISTERED PROFESSIONAL ENGINEER
GEORGE K. MARMAYOU
No. 77629
Exp. 6-30-2021
CIVIL
STATE OF CALIFORNIA

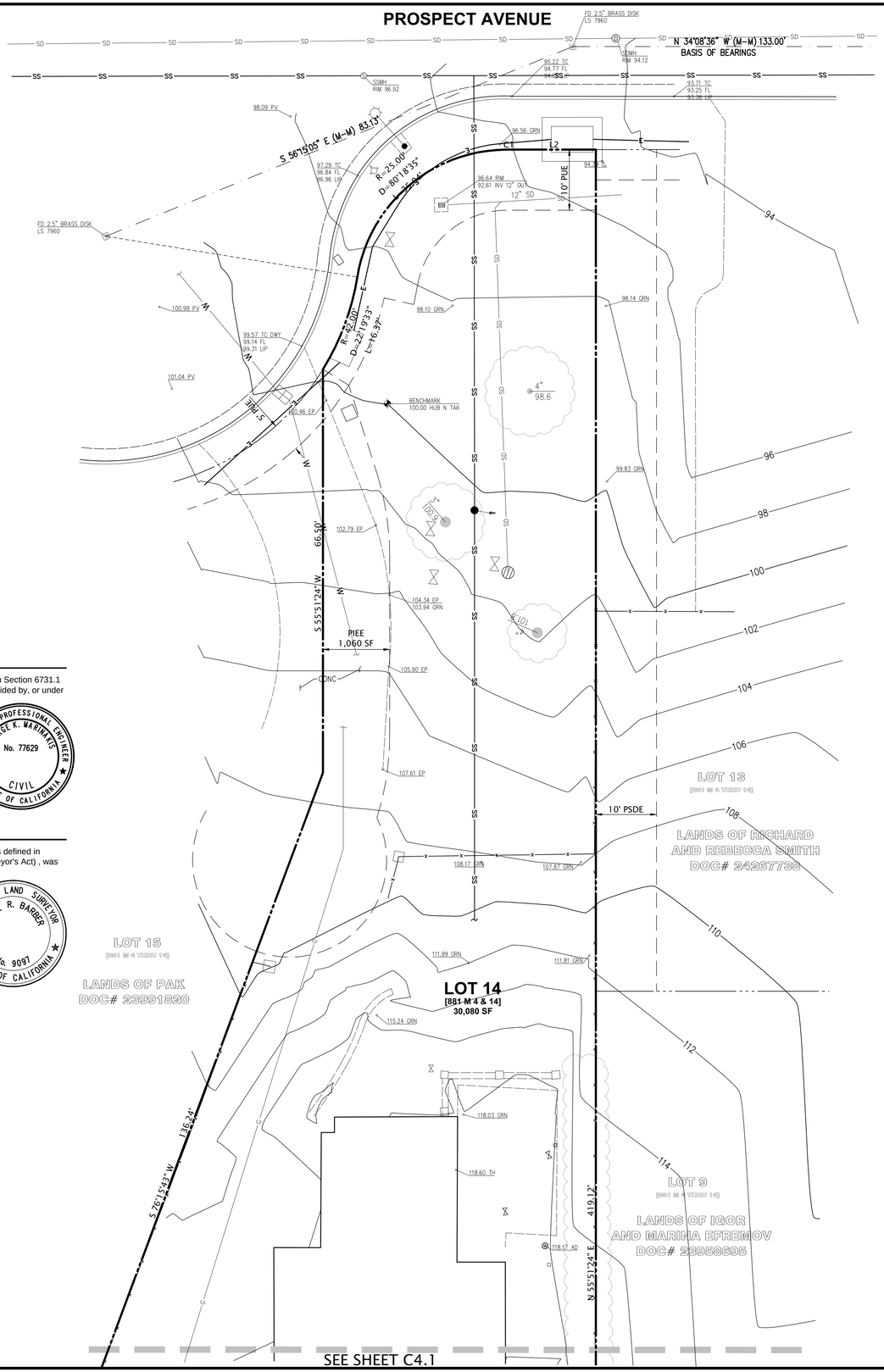
FOR PLANNING PURPOSES ONLY

No.	BY	REVISION
1		REPONSE TO COMMENTS DATED 11/25/2020
2		RESPONSE TO COMMENTS DATED 6/9/2021

GKM Engineering
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
16185 Los Gatos Blvd. Suite 205
Los Gatos, Ca 95032
(408) 656 5917
GKMengineering.com

EROSION CONTROL PLAN
NEW ADU AND SITE FEATURES
APN: 529-44-021
140 PROSPECT AVENUE
LOS GATOS CALIFORNIA

DATE	July 2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A200204
SHEET	C3.0
OF	6 SHEETS



ENGINEER'S STATEMENT

The existing fixed works and Topographic Survey shown hereon, as defined in Section 6731.1 of the Business and Professions Code (Professional Engineers Act), was provided by, or under the direct supervision of George K. Marinakis

1/21/2021
DATE

GEORGE K. MARINAKIS, RCE 77629

REGISTERED PROFESSIONAL ENGINEER GEORGE K. MARINAKIS No. 77629 CIVIL STATE OF CALIFORNIA

SURVEYOR'S STATEMENT

The existing boundary lines, easements and encumbrances shown hereon, as defined in Section 8726 of the Business and Professions Code (Professional Land Surveyor's Act) , was provided by, or under the direct supervision of Shane R. Barber

1/21/2021
DATE

SHANE R. BARBER L.S. 9097

LICENSED LAND SURVEYOR SHANE R. BARBER No. 9097 STATE OF CALIFORNIA

NOTES

1. The boundary easements, and other encumbrances shown on this drawing are based solely upon information contained in the following documents: Tract No. 10275 Recorded in the county of Santa Clara Book 881 of Maps Page 4-14 . No liability is assumed for matters of record not stated in said documents that may affect the boundary lines, exceptions, or easements affecting the property.

2. The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the engineer can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.

3. Benchmark:
   A temporary benchmark was set on a hub and tack on site
   Assumed Elevation: 100.00

4. APN: 529-44-021

5. Basis of Bearings:
   The bearing of North 34°08'36" West taken on the centerline of Prospect Ave. as shown on that certain Tract Map filed for record on March 9th, 2015 in Book 881 of Maps at Page 4-14, Santa Clara County Records was taken as the Basis of all Bearings shown hereon.

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE
- EASEMENT
- MONUMENT LINE
- BUILDING LINE WITH DOOR
- BENCHMARK
- CLEAN OUT
- GAS METER
- UTILITY POLE W/ GUY WIRE
- VALVE
- CATCH BASIN / DROP INLET
- WATER METER
- UTILITY BOX (SIZE VARIES)
- SIGN
- POST
- TREE W/ SIZE AND ELEVATION (10" 100.0)
- SPOT ELEVATION (100.00)
- CURB
- CURB AND GUTTER
- CONCRETE
- FENCE
- EDGE OF PAVEMENT
- SINGLE TREE
- TREES AND BRUSH
- SANITARY SEWER (SS)
- STORM DRAIN (SD)
- WATER (W)
- GAS (G)
- UNDERGROUND ELECTRIC (E)
- TELEPHONE/COMMUNICATION (T)
- OVERHEAD (OH)
- MINOR CONTOUR (9)
- MAJOR CONTOUR (10)

LINE TABLE:

LINE	BEARING	DISTANCE
L1	N 20°41'48" W	8.96'
L2	N 34°08'36" W	13.78'
L3	N 09°31'48" W	0.15'

CURVE TABLE:

CURVE	RADIUS	DELTA	LENGTH
C1	232.00'	0°16'14"	1.10'

ABBREVIATIONS

APN:	ASSESSORS PARCEL NUMBER
BRK	BRICK HARDSCAPE
BS	BOTTOM OF STEP
BW	BACK OF WALK
COM	COMMUNICATION
C	CONCRETE
DWY.	DRIVEWAY
EB	ELECTRIC BOX
ELEC	ELECTRICAL
FF	FINISH FLOOR
FL	FLOW LINE
GS	GROUND SURFACE
O.R.	OFFICIAL RECORD
P.U.E.	PUBLIC UTILITY EASEMENT
PV	PAVEMENT
RIM	RIM ELEVATION
S/W	SIDEWALK
SSCO	SANITARY SEWER CLEAN OUT
SW	SIDEWALK
TC	TOP OF CURB
TS	TOP OF STEP
WM	WATER METER

0 10 20 30
Scale 1" = 10 ft

FOR PLANNING PURPOSES ONLY

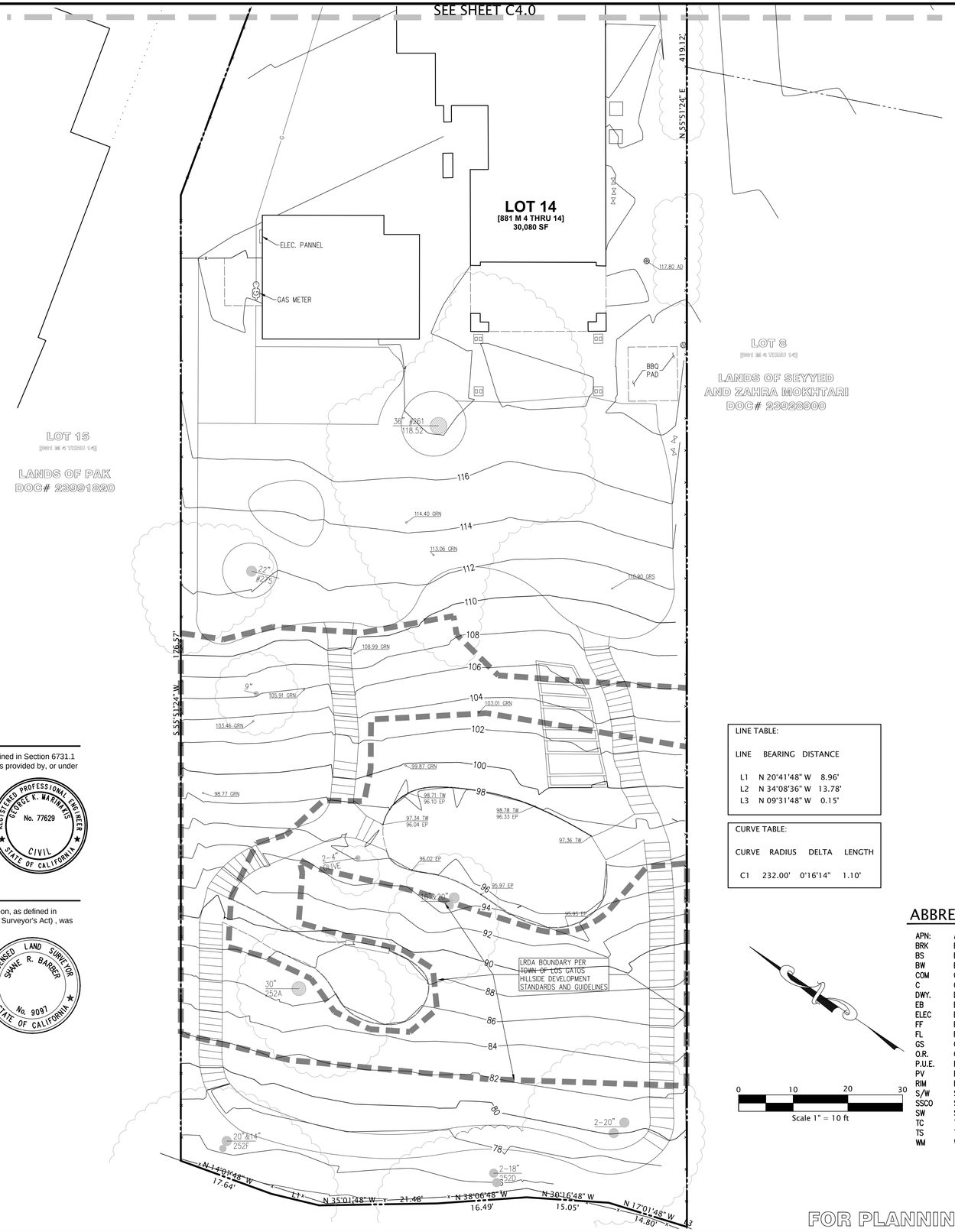
No.	REVISION	BY
1	REPONSE TO COMMENTS DATED 11/25/2020	
2	RESPONSE TO COMMENTS DATED 6/9/2021	

GKM Engineering
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
16185 Los Gatos Blvd. Suite 205
Los Gatos, Ca 95032
(408) 656 5917
GKMengineering.com

TOPOGRAPHIC SITE SURVEY EAST
NEW ADU AND SITE FEATURES
APN: 529-44-021
140 PROSPECT AVENUE
LOS GATOS CALIFORNIA

DATE	July 2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A200204
SHEET	C4.0
OF	6 SHEETS

SEE SHEET C4.0



ENGINEER'S STATEMENT

The existing fixed works and Topographic Survey shown hereon, as defined in Section 6731.1 of the Business and Professions Code (Professional Engineers Act), was provided by, or under the direct supervision of George K. Marinakis

REGISTERED PROFESSIONAL ENGINEER · GEORGE K. MARINAKIS · No. 77629 · CIVIL · STATE OF CALIFORNIA

1/21/2021
DATE

GEORGE K. MARINAKIS, RCE 77629

SURVEYOR'S STATEMENT

The existing boundary lines, easements and encumbrances shown hereon, as defined in Section 8726 of the Business and Professions Code (Professional Land Surveyor's Act) , was provided by, or under the direct supervision of Shane R. Barber

LICENSED LAND SURVEYOR · SHANE R. BARBER · No. 9097 · STATE OF CALIFORNIA

1/21/2021
DATE

SHANE R. BARBER L.S. 9097

LINE TABLE:		
LINE	BEARING	DISTANCE
L1	N 20°41'48" W	8.96'
L2	N 34°08'36" W	13.78'
L3	N 09°31'48" W	0.15'

CURVE TABLE:			
CURVE	RADIUS	DELTA	LENGTH
C1	232.00'	0°16'14"	1.10'

0 10 20 30
Scale 1" = 10 ft

ABBREVIATIONS

APN:	ASSESSORS PARCEL NUMBER
BRK	BRICK HARDSCAPE
BS	BOTTOM OF STEP
BW	BACK OF WALK
COM	COMMUNICATION
C	CONCRETE
DWY.	DRIVEWAY
EB	ELECTRIC BOX
ELEC	ELECTRICAL
FF	FINISH FLOOR
FL	FLOW LINE
GS	GROUND SURFACE
O.R.	OFFICIAL RECORD
P.U.E.	PUBLIC UTILITY EASEMENT
PV	PAVEMENT
RIM	RIM ELEVATION
S/W	SIDEWALK
SSCO	SANITARY SEWER CLEAN OUT
SW	SIDEWALK
TC	TOP OF CURB
TS	TOP OF STEP
WM	WATER METER

FOR PLANNING PURPOSES ONLY

No.	REVISION	BY
1	REPONSE TO COMMENTS DATED 11/25/2020	
2	REPONSE TO COMMENTS DATED 6/9/2021	

GKM Engineering
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
16185 Los Gatos Blvd. Suite 205
Los Gatos, Ca 95032
(408) 656 5917
GKMengineering.com

TOPOGRAPHIC SITE SURVEY WEST
NEW ADU AND SITE FEATURES
APN: 529-44-021
140 PROSPECT AVENUE
LOS GATOS CALIFORNIA

DATE	July 2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A200204
SHEET	C4.1
OF	6 SHEETS