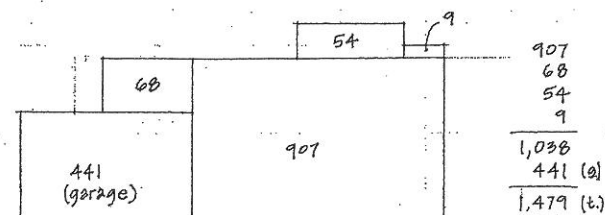


GENERAL NOTES:

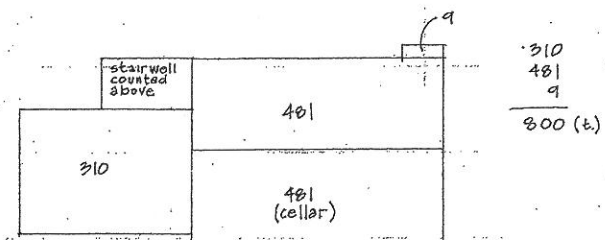
1. Britt/Rowe is not responsible for the design, coordination or implementation of any work performed by consultants, including, but not limited to, structural engineering, soil engineering, civil engineering, landscape architecture, and/or Title 24 engineering.
2. All work done pursuant to these drawings and specifications shall comply with all ordinances and regulations which apply to the work and shall in any case conform to the latest edition of the "Uniform Building Code" (UBC) currently enforced, and all current city, county, and state codes as applicable.
3. Layout for new work is largely based upon relationships to existing conditions. Any questions regarding the intent related to the layout of the new work shall be brought to the attention of Britt/Rowe prior to the commencement of any work. The contractor shall notify Britt/Rowe of all discrepancies prior to the commencement of any work.
4. Preference shall be given to figured/written dimensions on the drawings over scaled measurements. The "Plans", "General Notes", and "Specifications" are intended to agree and supplement one another. Anything indicated in/on one and not the others, shall be executed as if in all. In cases of direct conflict, the most restrictive shall govern.
5. Civil, Soil, and Structural Engineer's specifications shall take precedence over the following architectural specifications.
6. Britt/Rowe retains all rights and ownership of the "Planning Documents" and "Specifications". These documents may not be used in whole or in part on any other project without expressed consent from Britt/Rowe.
7. The owner/developer/client reserves the right to make alterations of the design during the course the construction as applicable. Any changes shall be approved by the local planning department as applicable. All changes shall be documented by a written "Change Order" and shall be approved by the owner/developer/client.

SQUARE FOOTAGE CALCULATIONS:

Upper level/garage

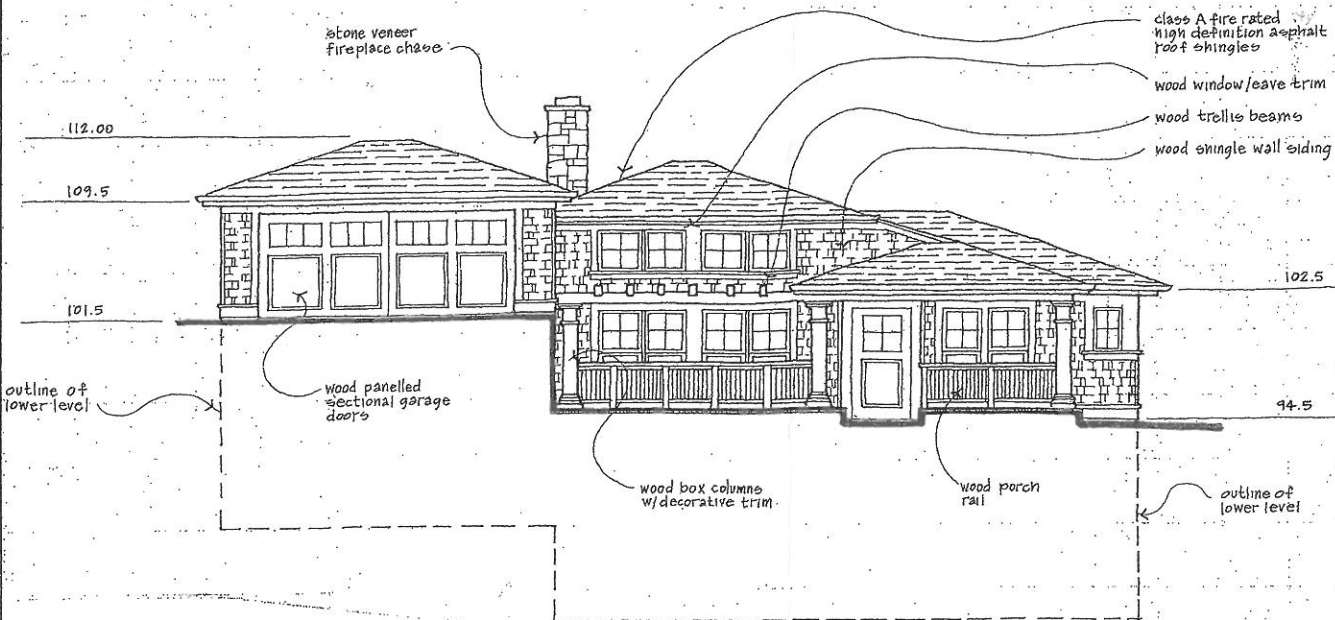


Middle/lower levels



1,479
800
total FAR = 2.279

FRONT VIEW OF PROPOSED RESIDENCE:



SHEET INDEX:

- A0 Title Sheet/Project Information
- A1 Architectural Site Plan
- A2 Upper/Garage Level Floor Plan
- A3 Middle/Lower Level Floor Plan
- A4 Roof Plan
- A5 Exterior Elevations
- A6 Exterior Elevations
- A7 Design Sections
- A8 Design Section
- A9 Shadow Studies
- P1 Streetscapes/Neighborhood Survey
- P2 Streetscapes

See Separates Index Sheet C-1 for Civil Engineer's drawings

GENERAL PROJECT INFORMATION:

Scope of Work: Construction of a new multi-level single family residence.

Owner: Jake Peters and Dan Ross
1155 Meridian Avenue, #100
San Jose, CA 95125
(408) 314-5626

Site Address: 341 Bella Vista Avenue
Los Gatos, CA 95032

APN: 529.23.016

Zoning: R1-8 (Hillside Residential Guidelines apply)

Lot Area: 5,240 sq. ft.

Average Lot Slope: 50.1%

A.L.S. @ Building Area: 48.6%

Proposed New Residence:

Building Area (FAR):	House:	Garage:	Total FAR:	Cellar Area:
(see calculations)	1,838 sq. ft.	441 sq. ft.	2,279 sq. ft.	481 sq. ft.

Allowable FAR: 835 sq. ft.

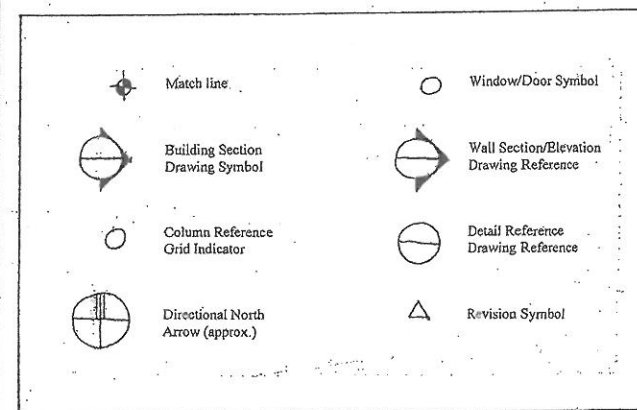
Setbacks:

	Proposed	Allowed
Front:	7'-3"	25'-0"
Left Side:	2'-0"	8'-0"
Right Side:	17'-0"	8'-0"
Rear:	25'-6"	20'-0"

Grading Quantities: See Civil Engineer Plans, sheets C1-C7

Building Height: 25'-0" (as measured from existing grade)

ARCHITECTURAL SYMBOLS:



PROJECT CONSULTANTS:

Building Designer: Britt/Rowe
David Britt
108 N. Santa Cruz Avenue
Los Gatos, CA 95030
(408) 354.6224
(408) 654.6514

Civil Engineer: SMP Engineers
1534 Carob Lane
Los Altos, CA 94024
(650) 941.8055
(650) 941.8755 (fax)

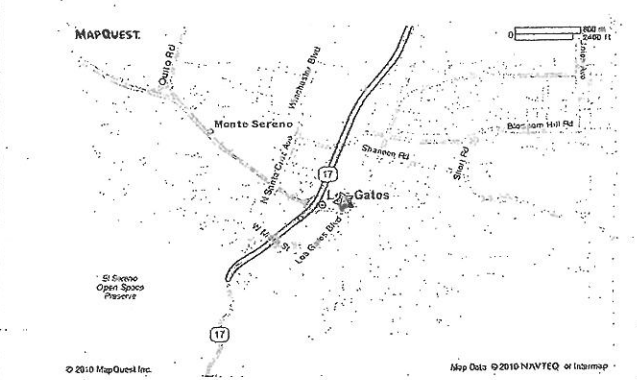
Landscape Architect: David Fox and Associates
479 N. Santa Cruz Avenue
Los Gatos, CA 95030
(408) 354.4577

S-06-64
M-06-09
V-11-01

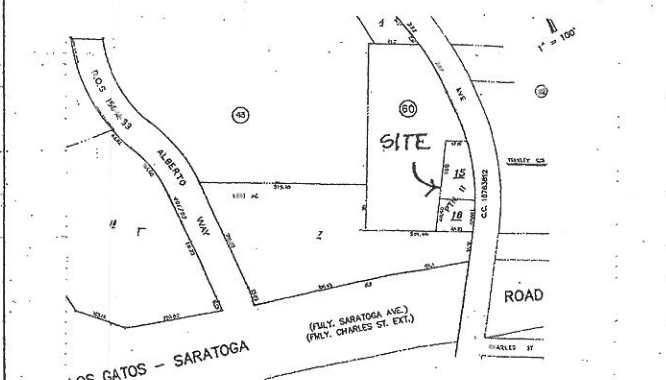
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FEB 2 - 2012

TOWN OF LOS GATOS
PLANNING DIVISION

VICINITY MAP:



LOCATION MAP:



REVISIONS

REVISIONS	BY

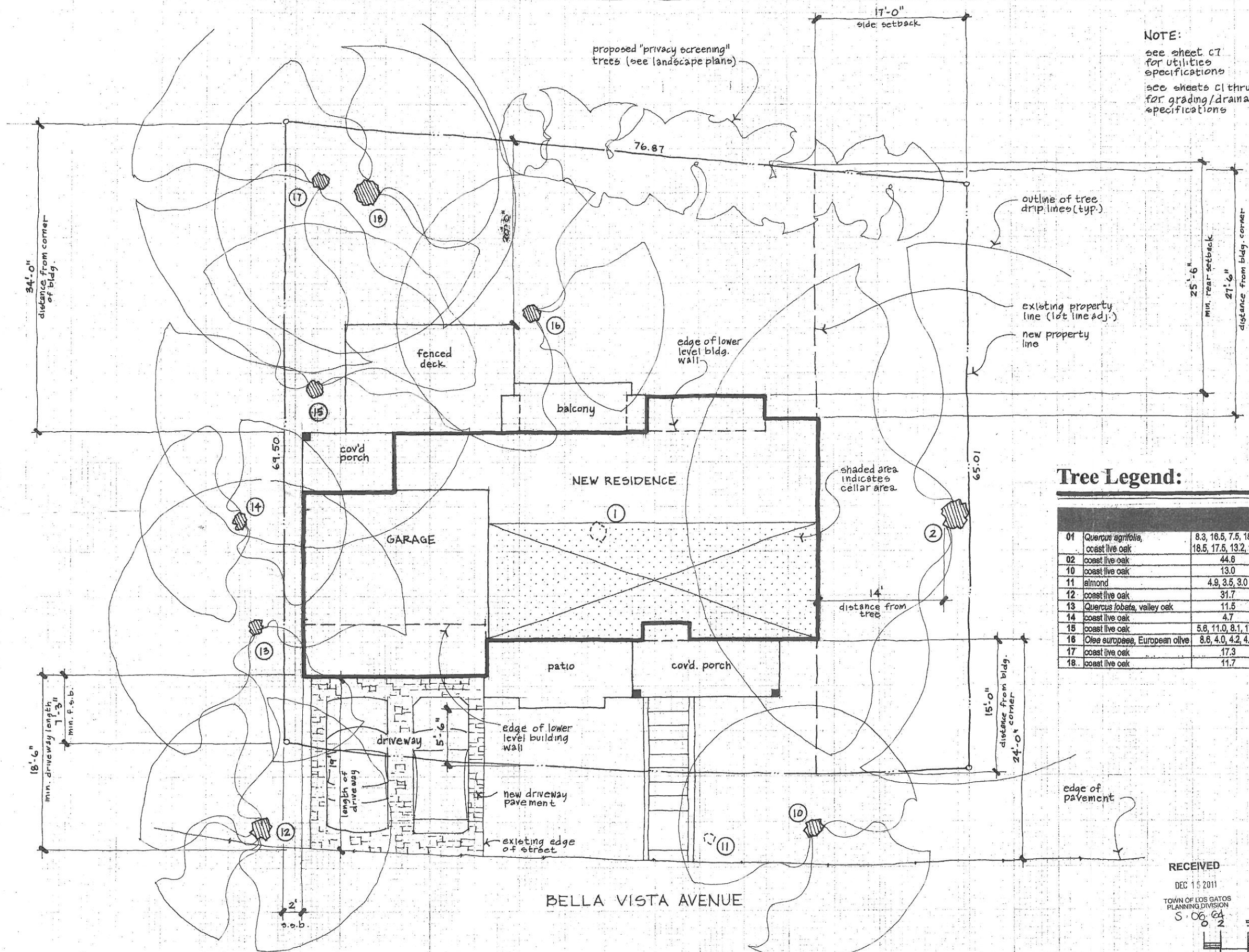
BR
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408.354.6514 (fax)

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Proposed New Residence For:
341 BELLA VISTA AVENUE
Los Gatos, California

SHEET: Project info
SCALE: n/a
DATE: 3/10
DRAWN:

A0



Tree Legend:

01	Quercus agrifolia, coast live oak	8.3, 16.5, 7.5, 18.1, 18.5, 17.5, 13.2, 14.6	45x88	Remove
02	coast live oak	44.6	45x85	SAVE
10	coast live oak	13.0	20x18	Save
11	almond	4.9, 3.5, 3.0	18x8	rem.
12	coast live oak	31.7	30x80	Save
13	Quercus lobata, valley oak	11.5	40x15	Save
14	coast live oak	4.7	12x10	Save
15	coast live oak	5.8, 11.0, 8.1, 17.8	35x25	Save
16	Olea europaea, European olive	8.6, 4.0, 4.2, 4.0	18x18	Save
17	coast live oak	17.3	40x30	Save
18	coast live oak	11.7	25x20	Save

ARCHITECTURAL SITE PLAN

Site Area = 5240 sq. ft.

RECEIVED
DEC 15 2011

TOWN OF LOS GATOS
PLANNING DIVISION
S 06 64
0 2 5 15



REVISIONS	BY
9.12.11	db
11.30.11	db
12.11.11	db

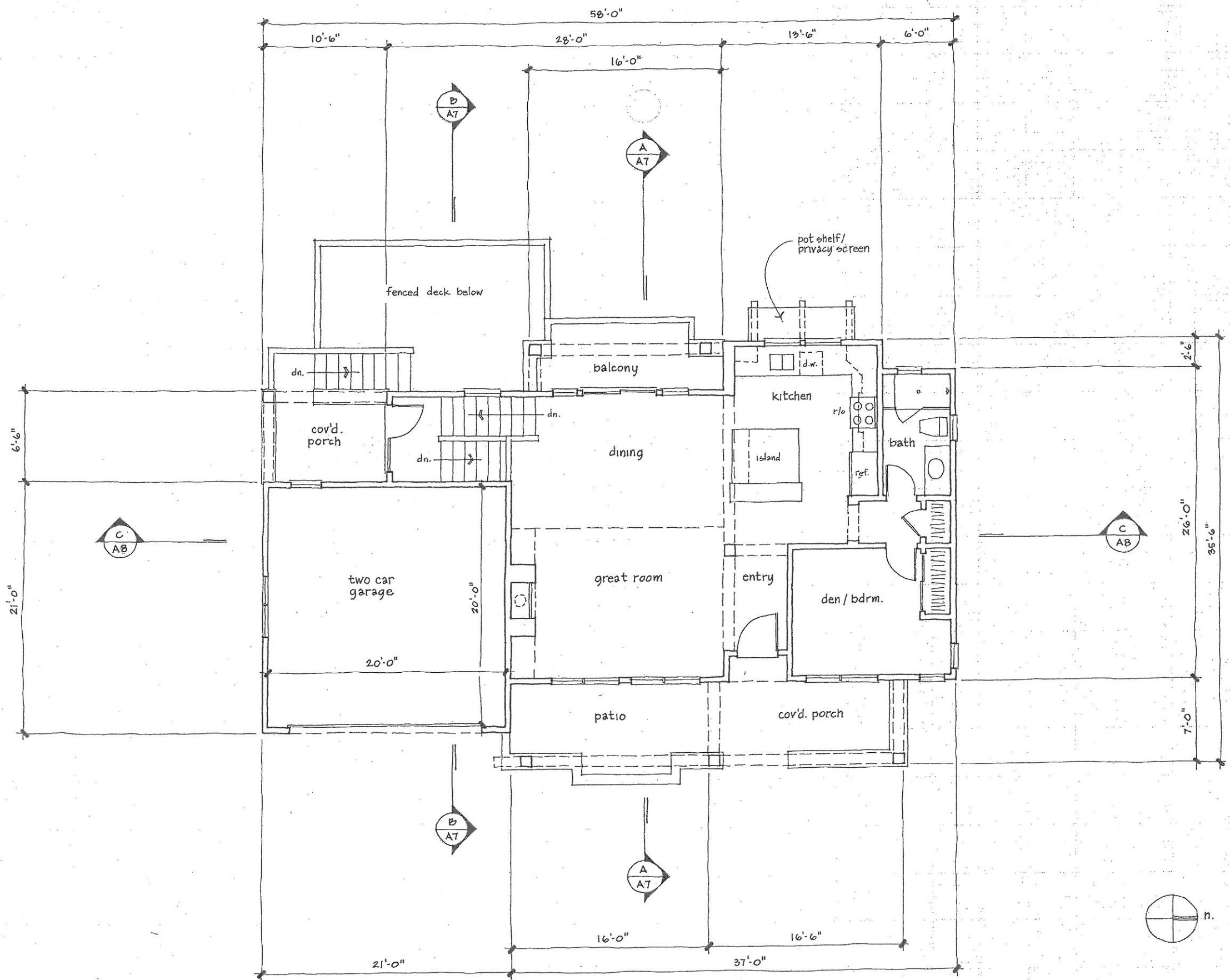
BR
Britt Rowe
100 N. Santa Cruz Ave.
Los Gatos, CA 95030
408.351.7222 (office)
408.351.4518 (cell)

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Proposed New Residence For:
341 BELLA VISTA AVENUE
Los Gatos, California

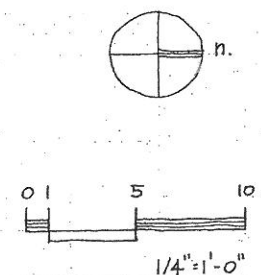
SHEET: site plan
SCALE: noted
DATE: 3.1.10
DRAWN:

A1



UPPER/GAR. LEVEL FLOOR PLAN

1038D + 441 garage



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341 BELLA VISTA AVENUE
Los Gatos, California

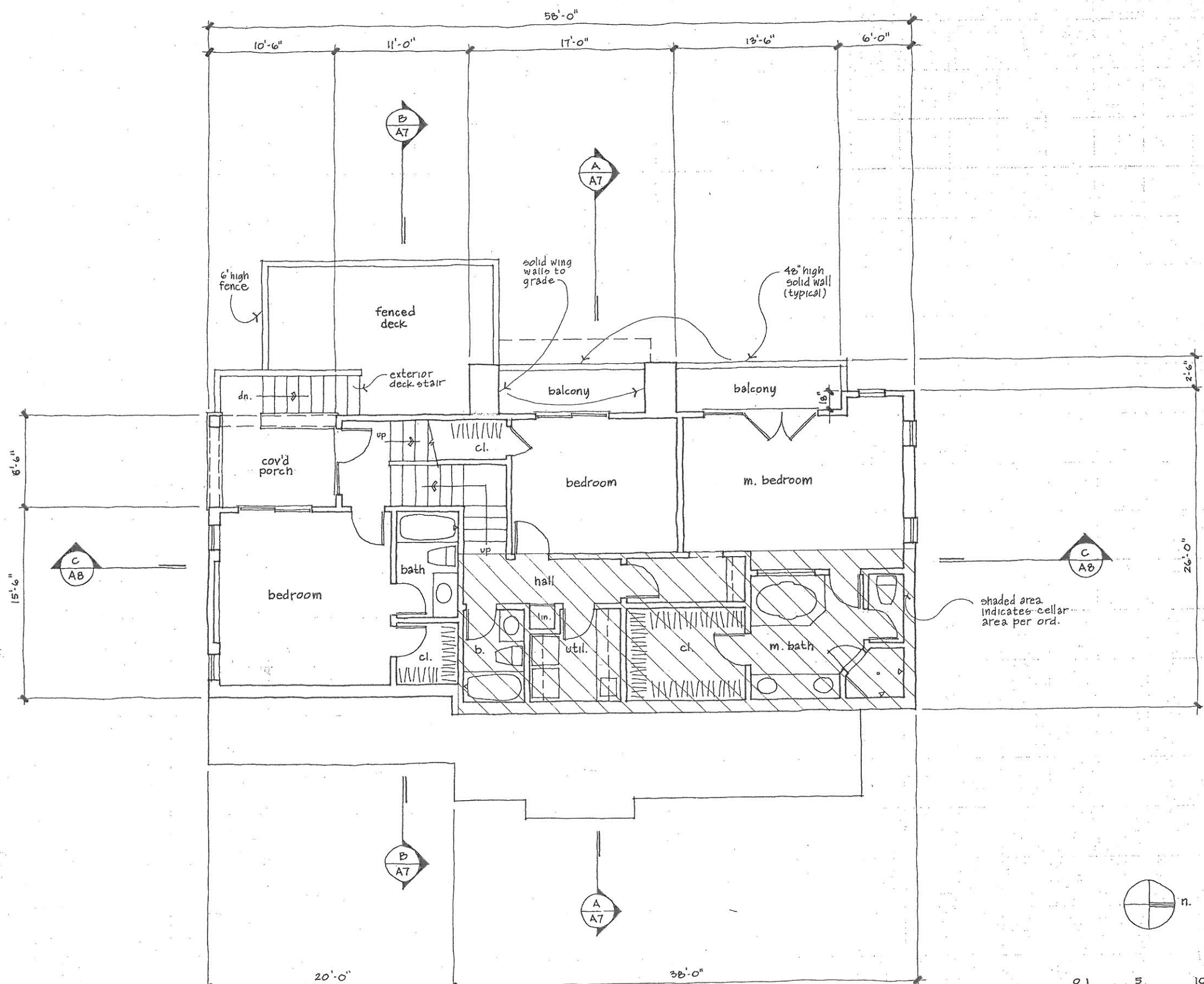
SHEET : garage / upper-level plan

SCALE : noted

DATE : 3.1.10

DRAWN :

A2



LOWER/MID LEVEL FLOOR PLAN

300 b + 481 b cellar

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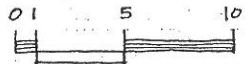
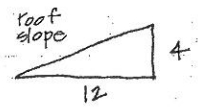
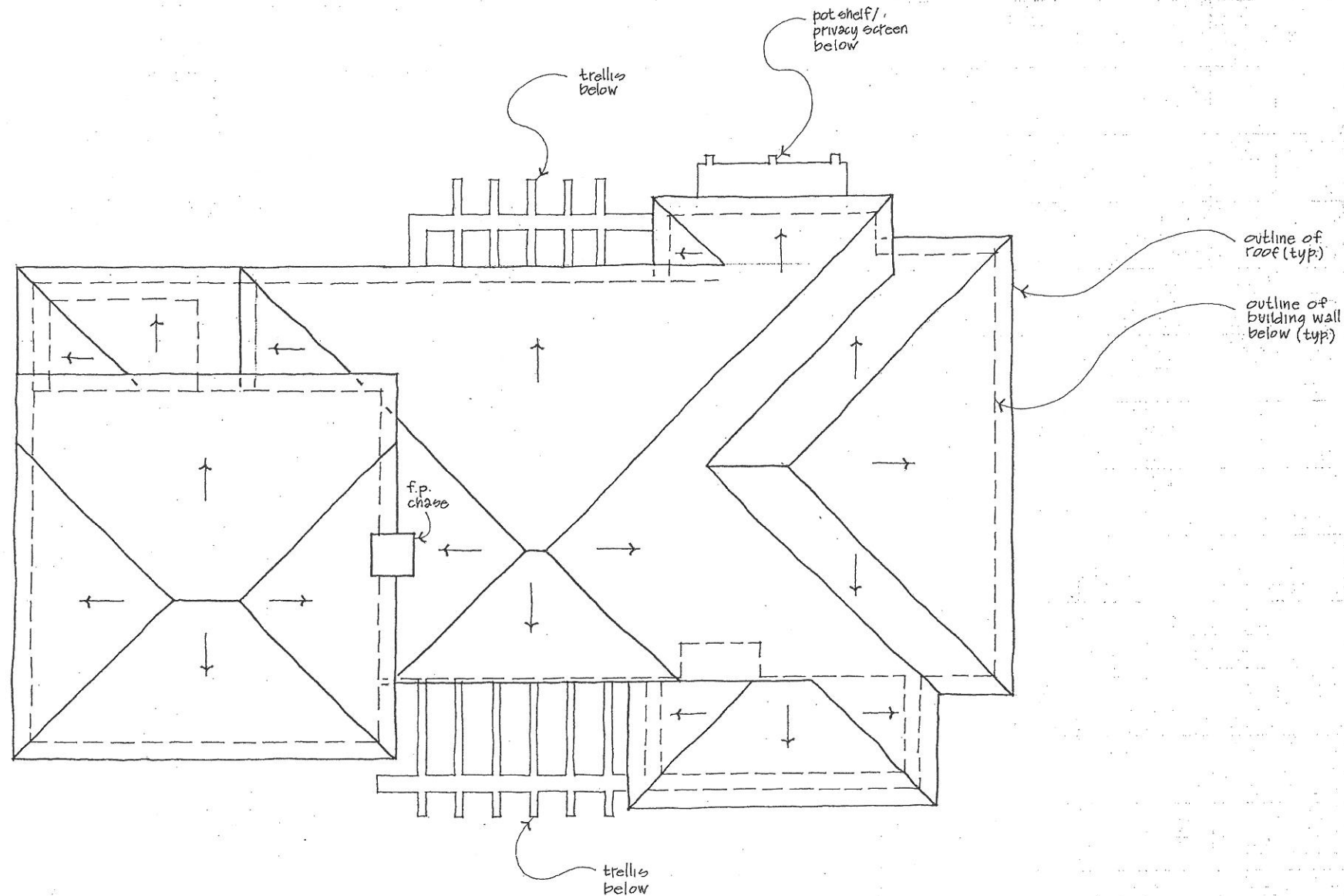
Proposed New Residence For:

341 BELLA VISTA AVENUE

Los Gatos, California

SHEET: lower level plan	SCALE: noted	DATE: 8.1.10
DRAWN:		

A3



ROOF PLAN

1/4" = 1'-0"

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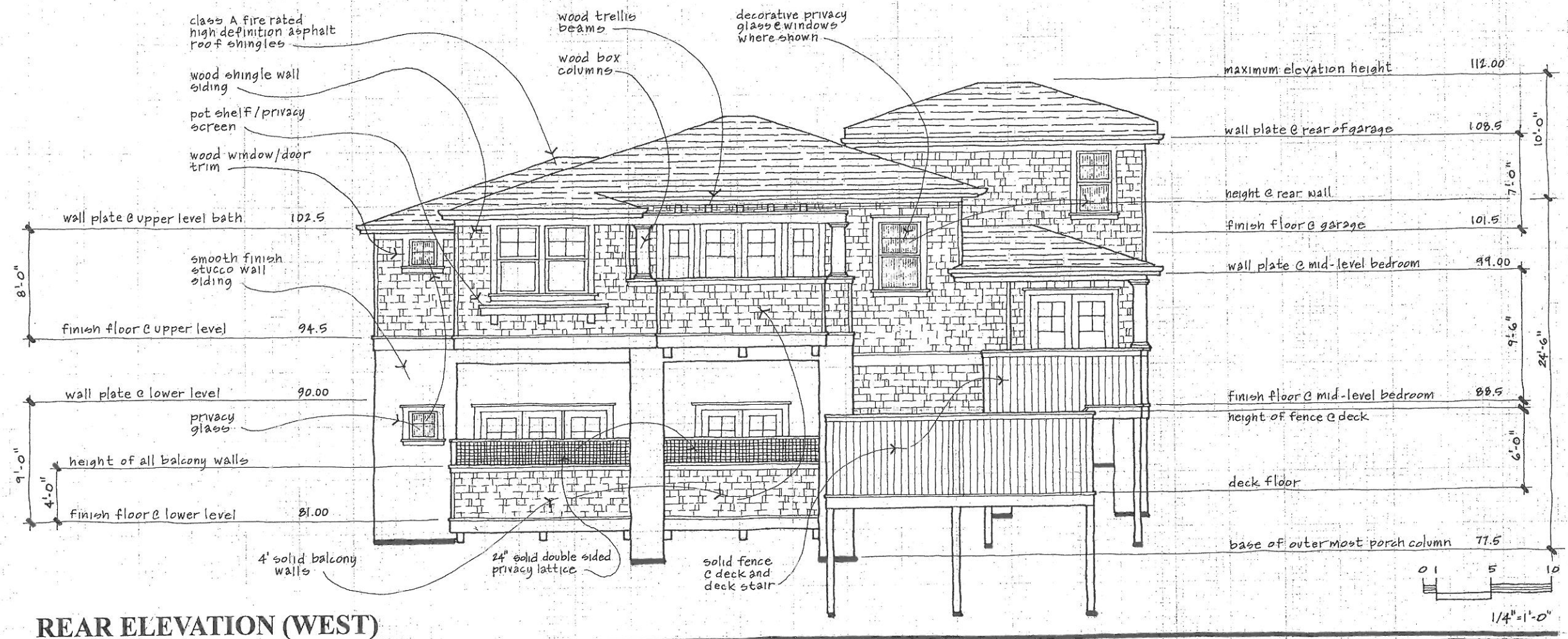
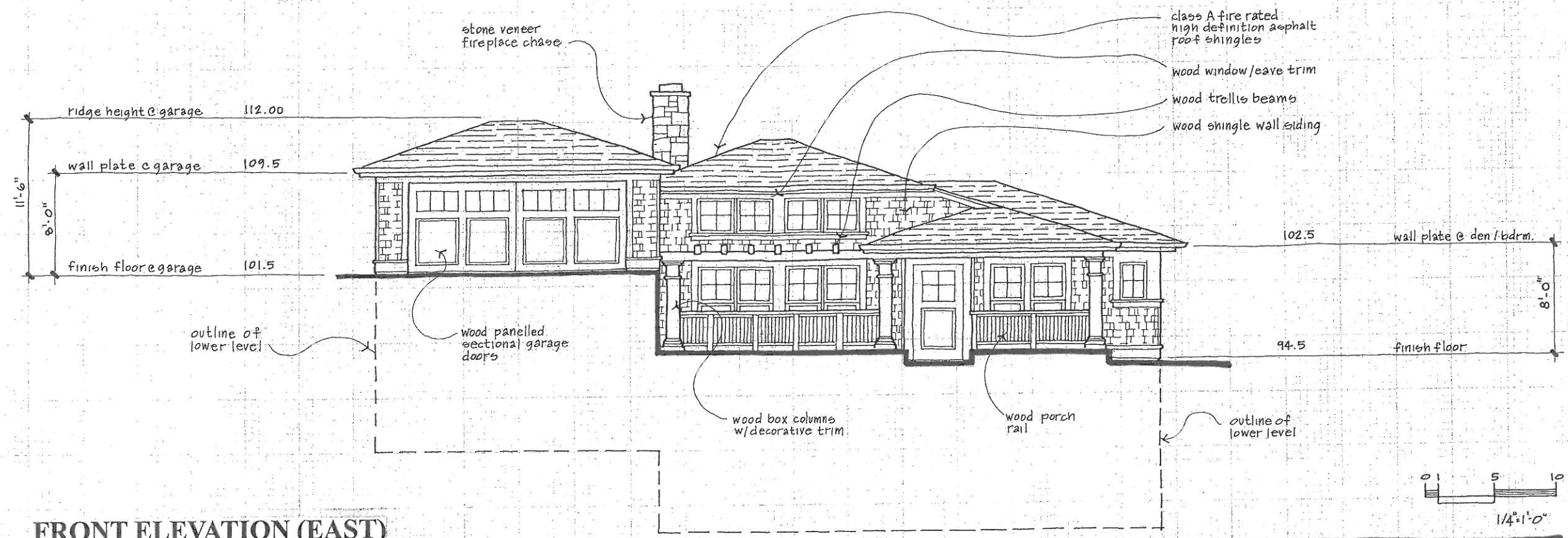
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Proposed New Residence For:
341 BELLA VISTA AVENUE
Los Gatos, California

SHEET: Roof Plan
SCALE: noted
DATE: 3.1.10
DRAWN:

A4



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9.12.11	db

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Los Gatos, CA 95030

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Proposed New Residence For:
3341 BELLA VISTA AVENUE
Los Gatos, California

SHEET: elevations.

SCALE: noted

DATE: 3.1.10

DRAWN:

A5

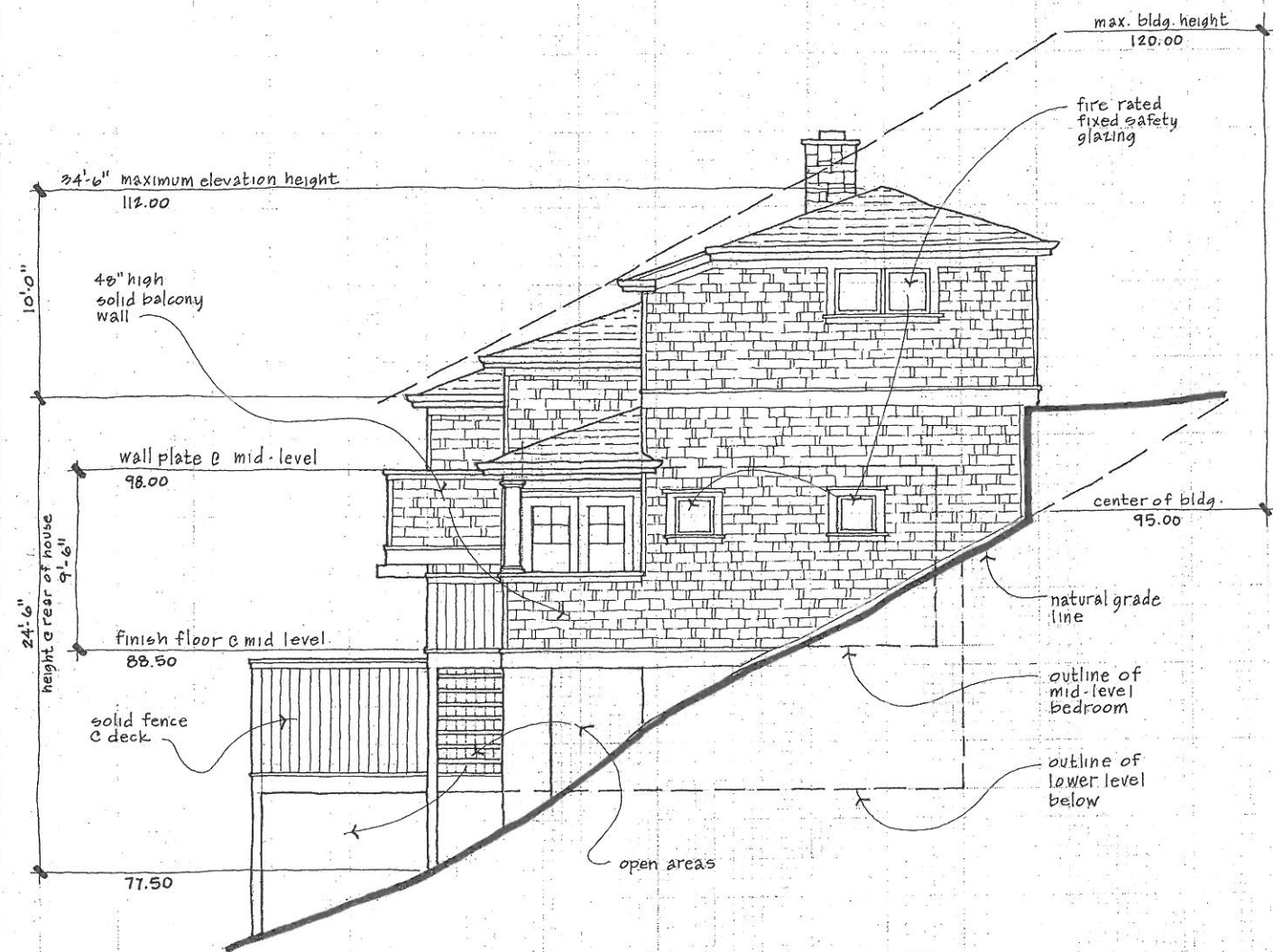
408.354.6224 (office)
408.354.6514 (fax)

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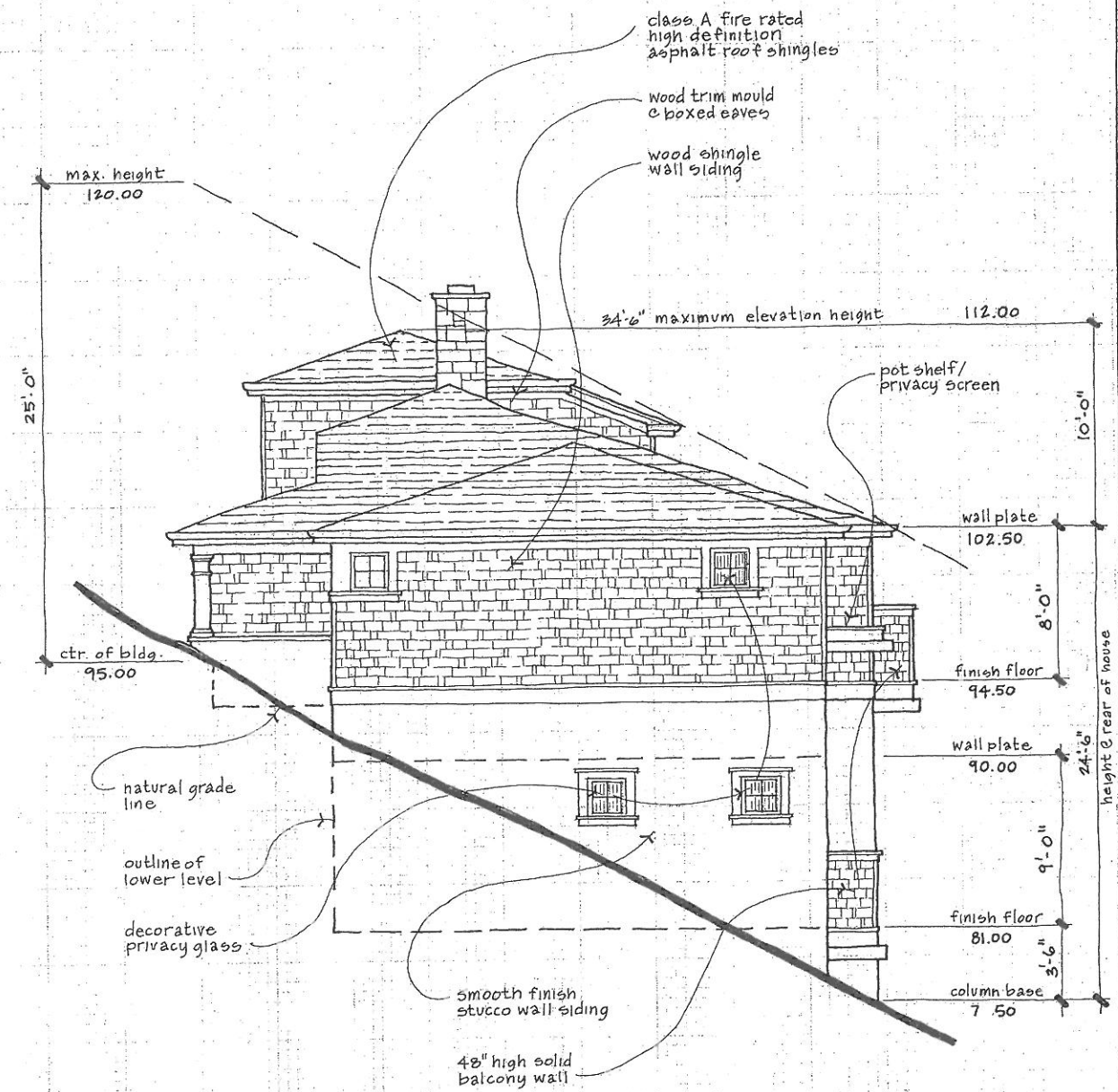
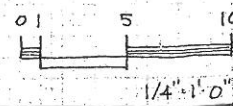
Proposed New Residence For:
341 BELLA VISTA AVENUE
Los Gatos, California

SHEET: exterior elevations
SCALE: noted
DATE: 3.1.10
DRAWN:

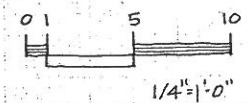
A6

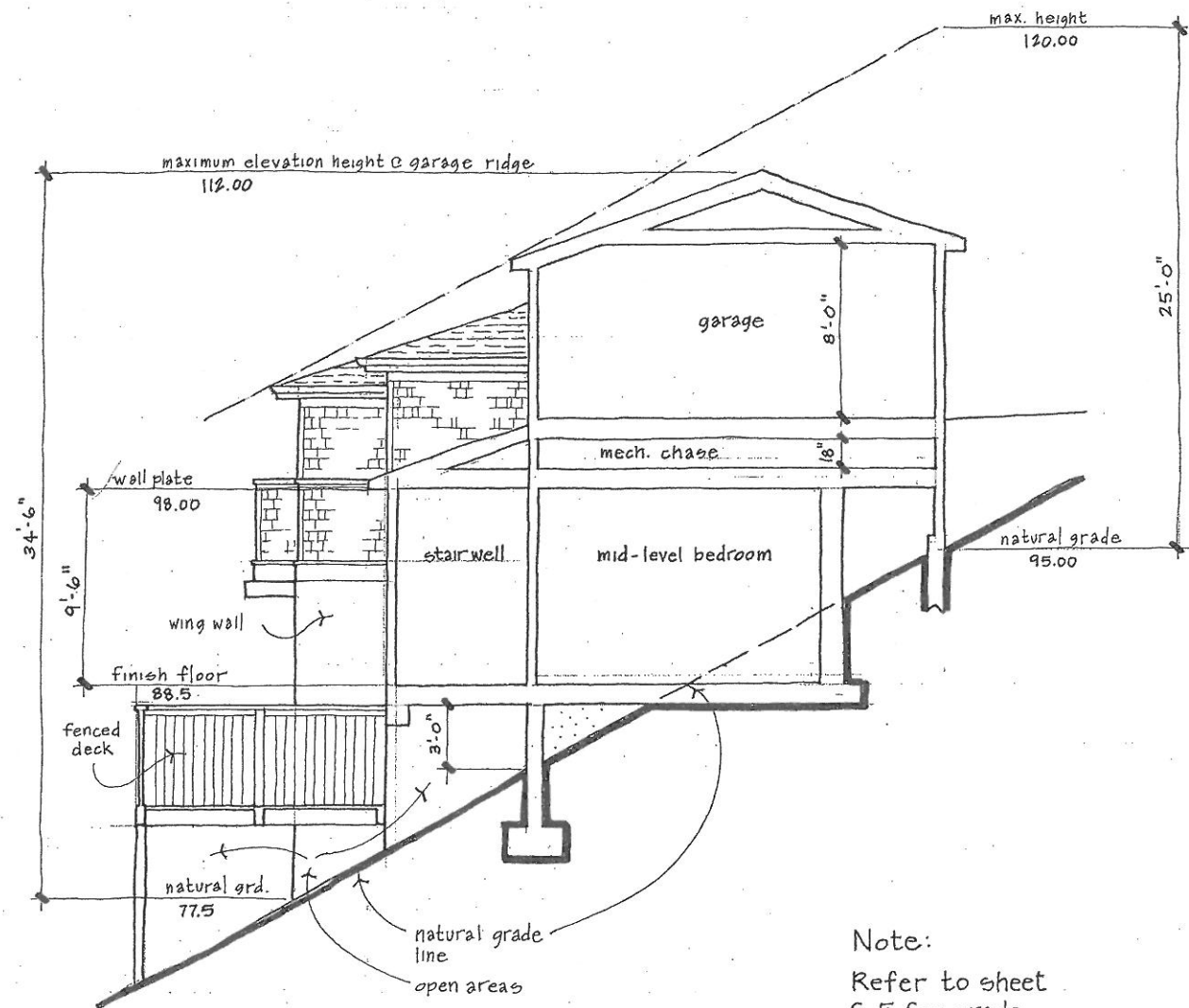


LEFT SIDE ELEVATION (SOUTH)

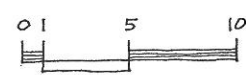


RIGHT SIDE ELEVATION (NORTH)



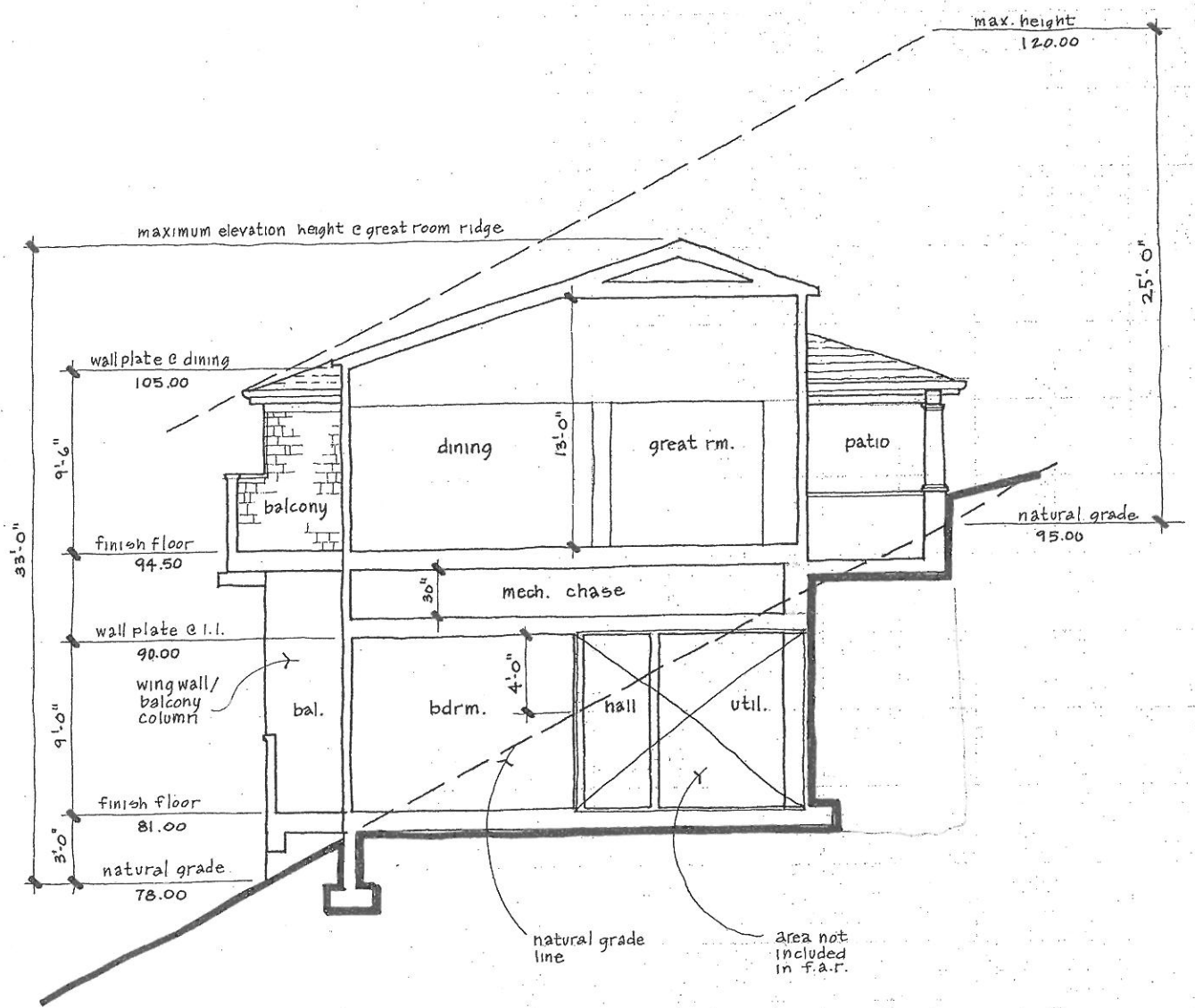


Note:
Refer to sheet
C-5 for grade
lines beyond
buildings

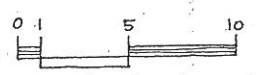


DESIGN SECTION B

1/4"=1'-0"



DESIGN SECTION A



1/4"=1'-0"

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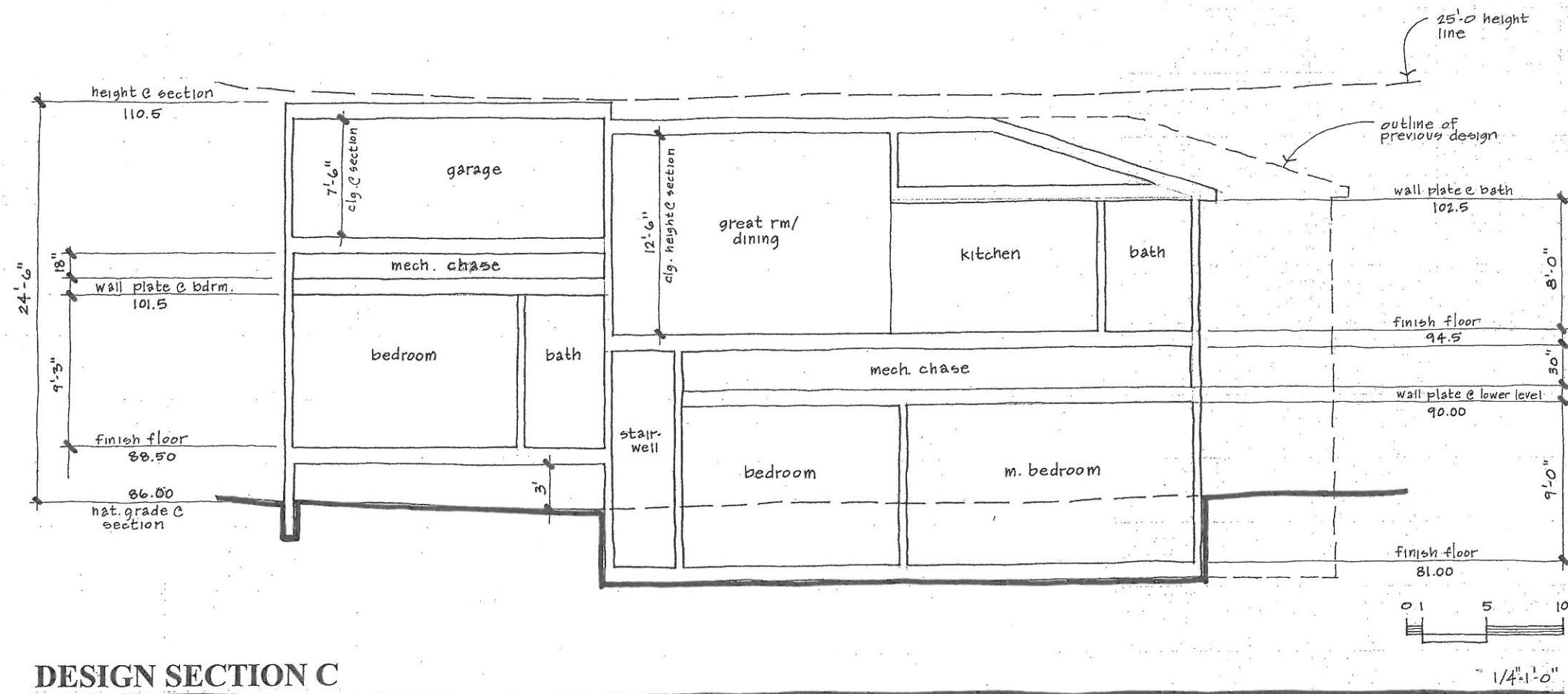
Proposed New Residence For:

341 BELLA VISTA AVENUE

Los Gatos, California

SHEET: design sections	SCALE: noted	DATE: 3.1.10	DRAWN:
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A7



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Proposed New Residence For:

341 BELLA VISTA AVENUE

Los Gatos, California

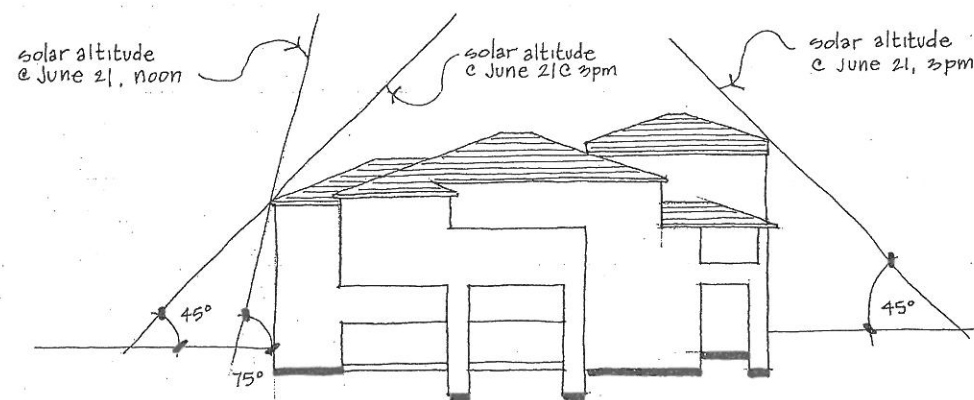
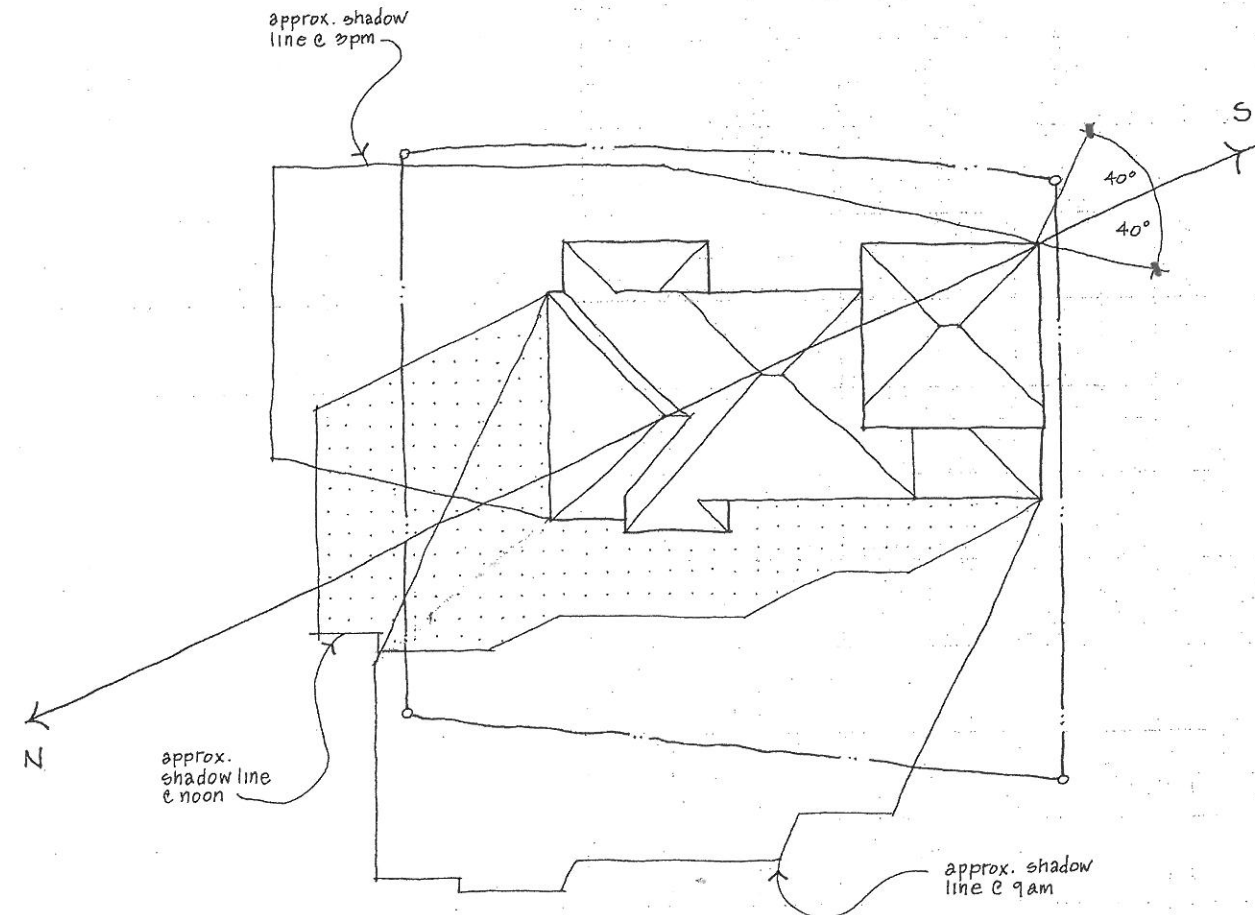
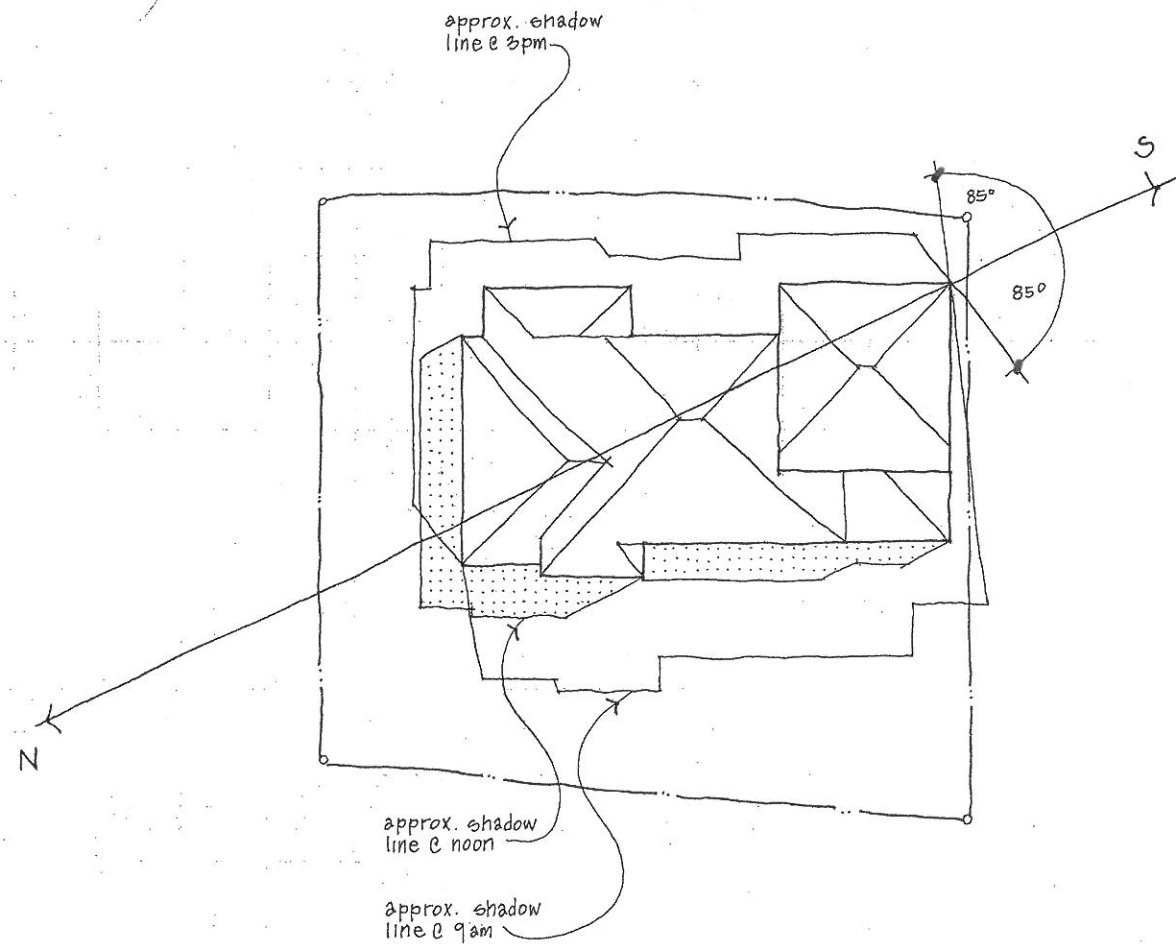
SHEET: design section

SCALE: noted

DATE: 3.1.10

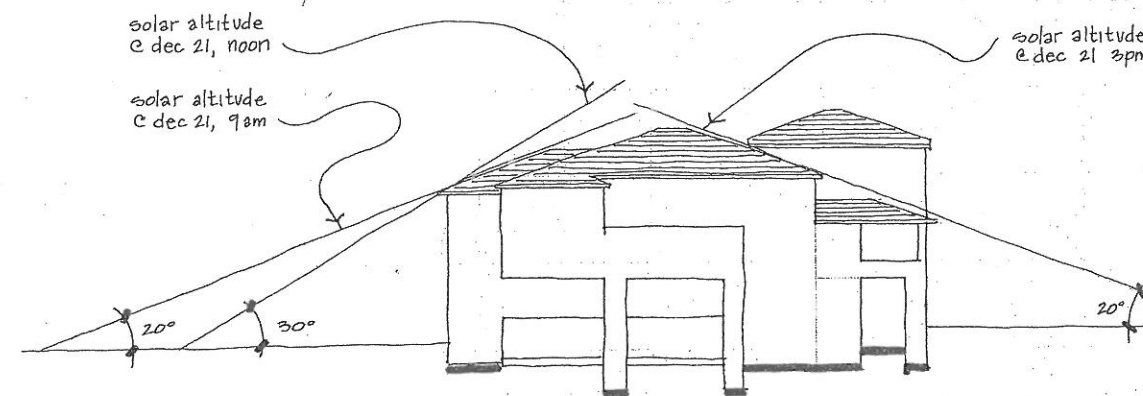
DRAWN:

A8



SHADOW STUDY @ June 21

1" = 10'-0"



SHADOW STUDY @ December 21

1" = 10'-0"

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Proposed New Residence For:
341 BELLA VISTA AVENUE
Los Gatos, California

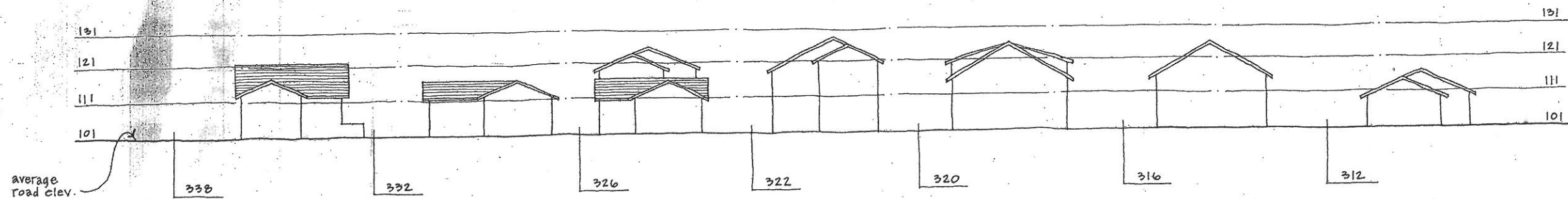
SHEET: shadow studies

SCALE: noted

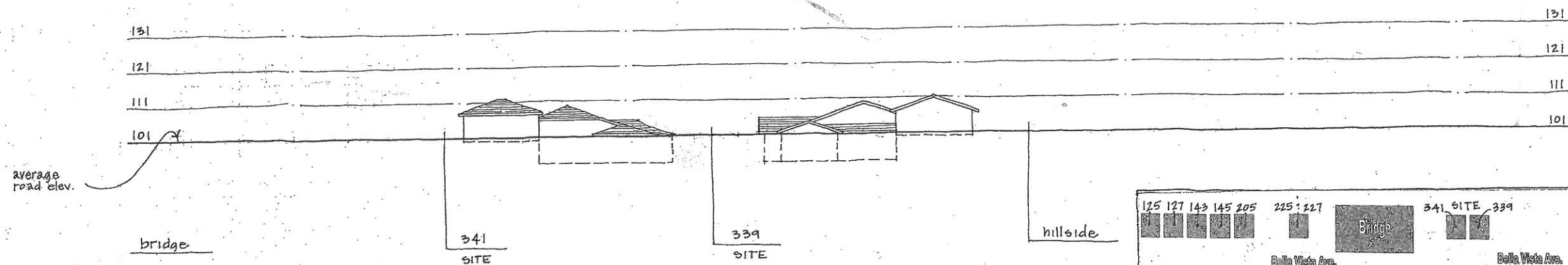
DATE: 3.1.10

DRAWN:

A9

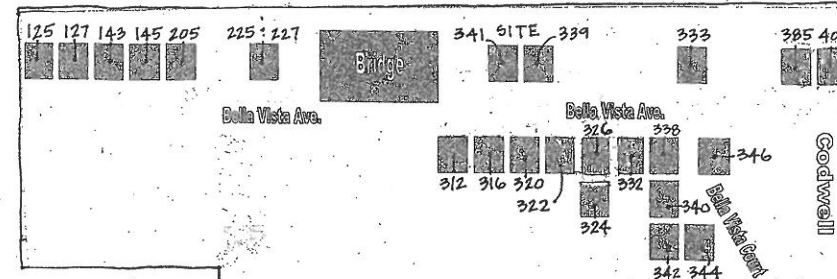
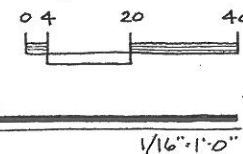


OPPOSITE SIDE of BELLA VISTA AVE.



PROJECT SIDE of BELLA VISTA AVE.

STREETSCAPES



Neighborhood Survey

Address	APN	Lot Size	Bldg Sq. Ft.	FAR	Stories	Units
125 Bella Vista Ave.	529.25.005	3,049	1,260	.4133	1	
127 Bella Vista Ave.	529.25.004	3,484	999	.2867	1	
143 Bella Vista Ave.	529.25.003	4,791	1,404	.2930	1	
145 Bella Vista Ct.	529.25.002	4,791	1,750	.3652	2	
166 Bella Vista Ave.	529.23.004	4,791	1,392	.2905	1	
205 Bella Vista Ave.	529.24.005	6,098	1,907	.3127	1	
312 Bella Vista Ave.	529.22.029	10,018	.884	.0882	1	
316 Bella Vista Ave.	529.22.030	9,147	1,344	.1469	2	
320 Bella Vista Ave.	529.22.056	9,583	2,407	.2511	2	
322 Bella Vista Ave.	529.22.057	9,147	3,500	.3826	2	
324 Bella Vista Ave.	529.22.032	10,890	1,591	.1460	1	
332 Bella Vista Ave.	529.22.033	15,246	1,571	.1030	2	
338 Bella Vista Ave.	529.48.001	1,742	1,157	.6641	1	
339 Bella Vista Ave.	529.23.016	4,915	1,843	.3750	2	
340 Bella Vista Ave.	529.48.002	1,306	1,640	1.255	2	
341 Bella Vista Ave.	529.23.015	5,240	1,728	.3298	2	
342 Bella Vista Ave.	529.48.003	871	1,420	1.630	2	
344 Bella Vista Ave.	529.48.004	871	1,233	1.415	2	
346 Bella Vista Ave.	529.22.055	12,196	1,483	.1215	1	
350 Bella Vista Ave.	529.22.036	7,405	1,842	.2487	2	
354 Bella Vista Ave.	529.22.037	10,890	2,274	.2088	1	
385 Bella Vista Ave.	529.21.009	10,018	3,016	.3011	2	
403 Bella Vista Ave.	529.21.036	13,068	2,662	.2037	2	
333 Bella Vista	529.23.004	4,900	1,392		1	2

REVISIONS	BY
9.29.06	
5.1.10	db

BR

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Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

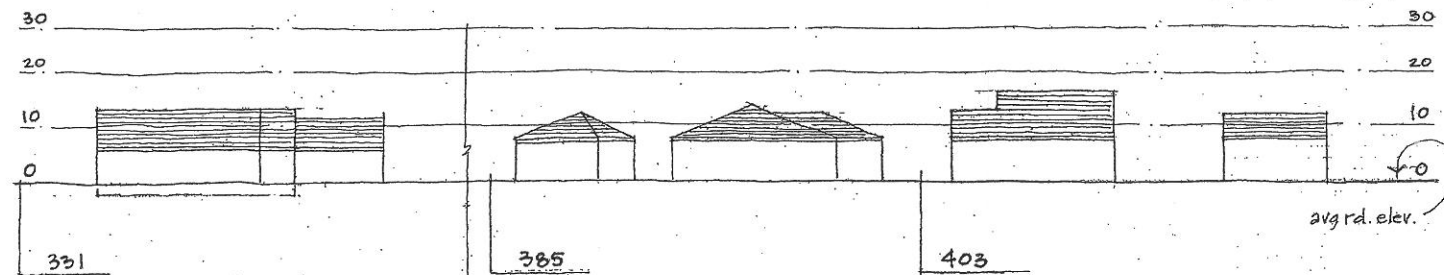
SHEET: streetscapes / n.o.

SCALE: noted

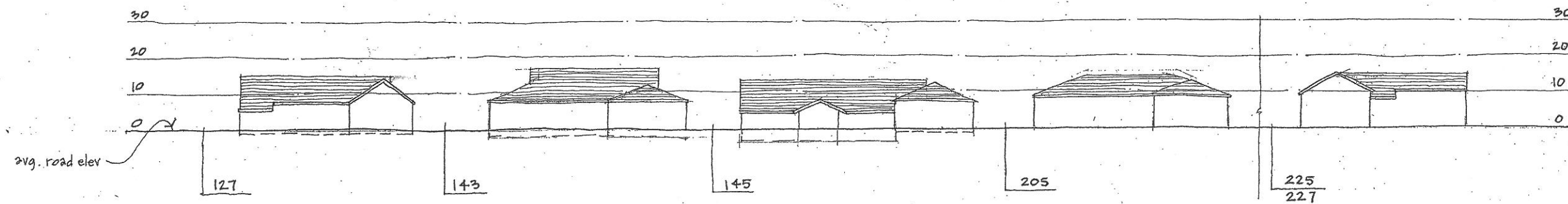
DATE: 9.15.06

DRAWN:

P1



RIGHT of Project Side (BELLA VISTA AVE.)



LEFT of PROJECT SIDE (BELLA VISTA AVE.)

ADDITIONAL STREETSCAPES

1/16"=1'-0"

REVISIONS	BY
5.7.10	jb

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Los Gatos, CA 95030

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Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: streetscapes

SCALE: noted

DATE: 7.14.06

DRAWN:

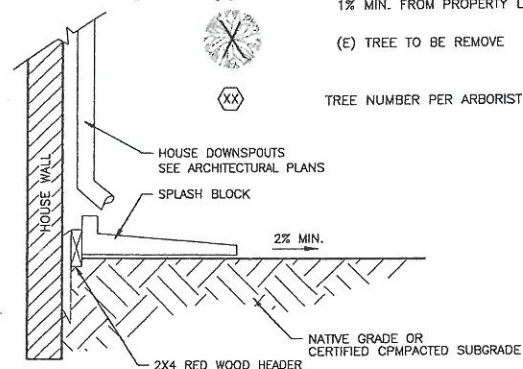
P2

ABBREVIATIONS

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GFF	FINISH GRADE AT FRONT OF GARAGE
AD	AREA DRAIN	HP	HIGH POINT
BOW	GRADE AT BOTTOM OF WALL	INV	INVERT
C	CONCRETE	NTS	NOT TO SCALE
CB	CATCH BASIN	(N)	NEW
CL	CHAIN LINK	P	PAVEMENT
CF	FINISH GRADE AT BACK OF GARAGE	PCC	PORTLAND CEMENT CONCRETE
CO	CLEAN OUT	PPP	PERFORATED PLASTIC PIPE
CPP	CORRUGATED PLASTIC PIPE	TC	TOP OF CURB
C-OP	CURB OPENING	TG	TOP OF GRATE
DRW	DRIVEWAY	TOF	TOP OF FOUNDATION
(E)	EXISTING	TOS	TOP OF SLAB
FF	FINISH FLOOR	TOW	TOP OF WALL
FG	FINISH GRADE	SSB	SIDE SETBACK
FL	FLOW LINE	SSCO	SANITARY SEWER CLEAN OUT
G	GRADE	SUD	SUBDRAIN PIPE
		WLK	WALKWAY

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		FILL AREA LIMIT
		CUT AREA LIMIT
		CONTOUR
		WATER LINE
		STORM DRAIN PIPE (SOLID)
		SANITARY SEWER PIPE
		SUBDRAIN PIPE (PERFORATED)
		OVERHEAD UTILITIES WITH POLE
		GAS LINE
		ELECTRIC LINE (UNDERGROUND)
		JOINT TRENCH
		STREET LIGHT VAULT
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		ELECTROLIER
		WATER METER
		TREE WITH TRUNK
		6" WOODEN FENCE
		SPOT ELEVATION
		TREE PROTECTION FENCE 5" TALL CHAIN LINK
		SWALE
		DIRECTION OF FLOW IN PIPE
		AREA DRAIN/ INLET
		OVERLAND RELEASE PATH
		GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE 1% MIN. FROM PROPERTY LINE TO SWALE
		(E) TREE TO BE REMOVE
		TREE NUMBER PER ARBORIST REPORT

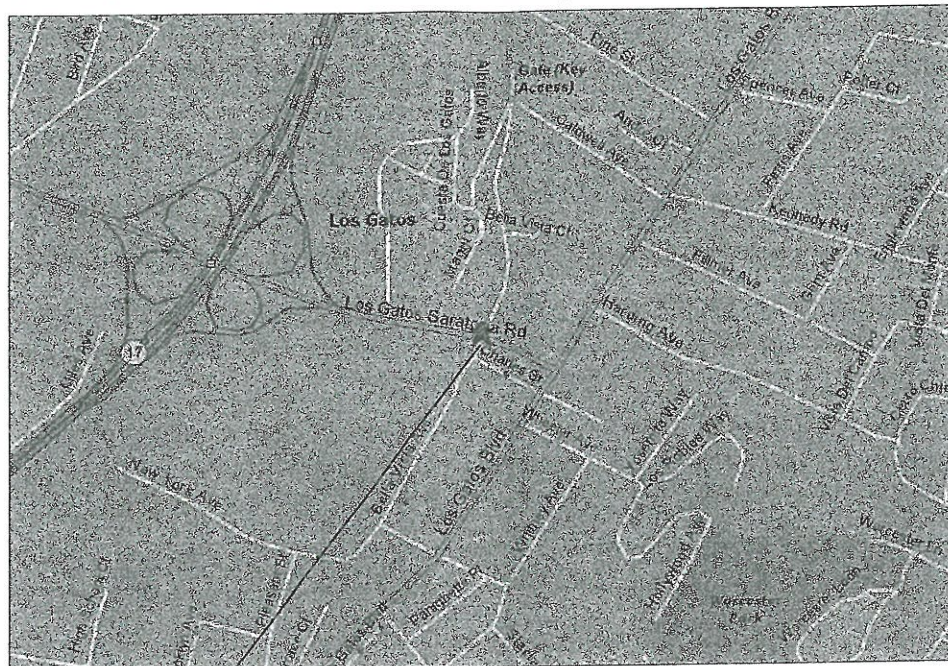


SPLASH BLOCK
N.T.S.

GRADING AND DRAINAGE PLANS

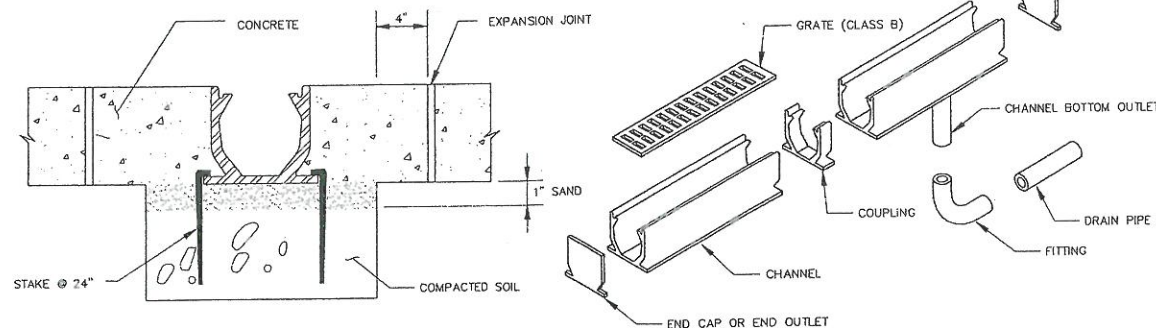
TWO (2) NEW SINGLE FAMILY HOMES

339 AND 341 BELLA VISTA, LOS GATOS, CA



PROJECT SITE

LOCATION MAP
N.T.S.



CHANNEL DRAIN TYPICAL DETAIL

N.T.S.

SHEET INDEX:

C-1	COVER SHEET/ NOTES/ DETAILS
C-2	SITE PLAN, TOPOGRAPHY MAP, LOT LINES
C-3	341 BELLA VISTA, GRADING AND DRAINAGE PLAN
C-4	339 BELLA VISTA, GRADING AND DRAINAGE PLAN
C-5	341 BELLA VISTA CROSS SECTIONS
C-6	339 BELLA VISTA CROSS SECTIONS
C-7	UTILITY PLAN

DRAINAGE NOTES

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
- On site storm drain lines shall consist of solid PVC-SDR35 minimum or better.

UTILITY NOTES::

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONNECT SANITARY SEWER AND WATER LINES TO EXISTING STREET LATERALS.
- CONNECT GAS AND ELECTRIC LINES TO EXISTING STREET LATERALS, PER PG&E STANDARDS.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER/ DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLANS.

NOTE:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

GEOTECHNICAL ENGINEER OF RECORD

THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL REPORT

PREPARED BY: _____ DATED: _____

BY C.E.G. # _____ BY G.E. # _____

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



NOTICE TO CONTRACTOR:

TOP OF WALL AND BACK OF WALL ELEVATIONS SHOWN ON THIS PLANS ARE TO PROVIDE DESIGN GUIDE LINES FOR STRUCTURAL ENGINEER AND MAY NOT BE THE ACTUAL VALUE. CONTRACTOR TO REVIEW THE STRUCTURAL DETAILS AND CALCULATE ACTUAL ELEVATIONS.

EARTHWORK TABLE

	CUT (CY)	FILL (CY)	IMPORT (CY)	EXPORT (CY)
BASEMENT	191	26		
STORAGE	35	14		
PORCH/FRONT	48	20		
DRIVEWAY	0	29		
TOTAL	274	89	0	185
BASEMENT	172	31		
STORAGE	33	11		
PORCH/FRONT	42	20		
DRIVEWAY	0	34		
TOTAL	247	96	0	150
TOTAL BALANCE:	520	184	0	336

NOTE: 1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.

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OWNER:

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GRADING AND DRAINAGE PLANS
COVER SHEET

339 AND 341 BELLA VISTA, LOS GATOS, CA
APN: 529-23-015 AND 529-23-016

Revisions:

Date: JULY 22, 2010
Scale: AS SHOWN
Prepared by: V.G.
Checked by: S.R.
Job #: 2622

Sheet:

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C-1



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GRADING AND DRAINAGE PLANS
SITE PLAN
339 AND 341 BELLA VISTA, LOS GATOS, CA
APN: 529-23-015 AND 529-23-016

Revisions:

Date: JULY 22, 2010
Scale: 1"=10'
Prepared by: V.G.
Checked by: S.R.
Job #: 2622

Sheet:

2 OF 7
C-2

TREE TABLE, 341 & 339 BELLA VISTA

TREE LABEL	SCIENTIFIC NAME COMMON NAME	DIA. @ 3" HT. (inches)	DRIP (FEET) HT. X W.	ACTION
1	QUERCUS AGRIFOLIA COAST LIVE OAK	8.3, 16.5, 7.5 18.1 18.5, 17.5, 13.2, 14.6	45 X 65	REMOVE
2	COAST LIVE OAK	44.6	45 X 65	REMAIN
3	COAST LIVE OAK	34.7	40 X 60	REMOVE
4	PRUNUS AMYGDALUS ALMOND	5.3	8 X 4	REMOVE
5	COAST LIVE OAK	8.2	22 X 12	REMOVE
6	COAST LIVE OAK	7.1	20 X 12	REMOVE
7	COAST LIVE OAK	8.2, 9.1	25 X 12	REMOVE
8	COAST LIVE OAK	9.3	20 X 15	REMOVE
9	COAST LIVE OAK	9.2, 10.7, 8.0	20 X 25	REMOVE
10	COAST LIVE OAK	13.0	20 X 18	REMOVE
11	ALMOND	4.9, 3.5, 3.0	18 X 6	REMOVE
12	COAST LIVE OAK	31.7	30 X 60	REMAIN
13	QUERCUS LOBATA VALLEY OAK	11.5	40 X 15	REMAIN
14	COAST LIVE OAK	4.7	12 X 10	REMAIN
15	COAST LIVE OAK	5.6, 11.0, 8.1, 17.8	35 X 25	REMAIN
16	OLEA EUROPAEA EUROPEAN OLV	8.6, 4.0, 4.2, 4.0	18 X 18	REMAIN
17	COAST LIVE OAK	17.3	40 X 30	REMAIN
18	COAST LIVE OAK	11.7	25 X 20	REMAIN
19	PINUS CANARIENSIS CANARY ISLAND PINE	8.4	40 X 9	REMAIN
20	ALMOND	4.2, 3.0	16 X 12	REMOVE
21	COAST LIVE OAK	5.1	16 X 12	REMOVE
22	COAST LIVE OAK	5.2	X 15	REMAIN
23	COAST LIVE OAK	4.6	X 10	REMAIN
24	COAST LIVE OAK	5.0	X 10	REMAIN

DRAINAGE NOTES

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
- On site storm drain lines shall consist of solid PVC-SCH 40 minimum or better. Use PVC SCH80 for pipes running under driveway.
- Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

LOT 1 (341 BELLA VISTA) SLOPE DENSITY CALCULATION:

LOT AREA (GROSS) = 5,240.0 SQ. FT
2' CONTOUR'S TOTAL LENGTH = 1,312.7' FT
SLOPE DENSITY : 50.1%

SLOPE NOTE:

ENTIRE PROJECT AREA HAS A SLOPE STEEPER THAN 30%

LOT 2 (339 BELLA VISTA) SLOPE DENSITY CALCULATION:

LOT AREA (GROSS) = 4,915.3 SQ. FT
2' CONTOUR'S TOTAL LENGTH = 1,301.1'
SLOPE DENSITY : 52.9%

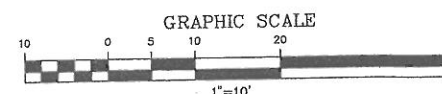
SLOPE NOTE:

ENTIRE PROJECT AREA HAS A SLOPE STEEPER THAN 30%

LEGEND AND ABBREVIATIONS

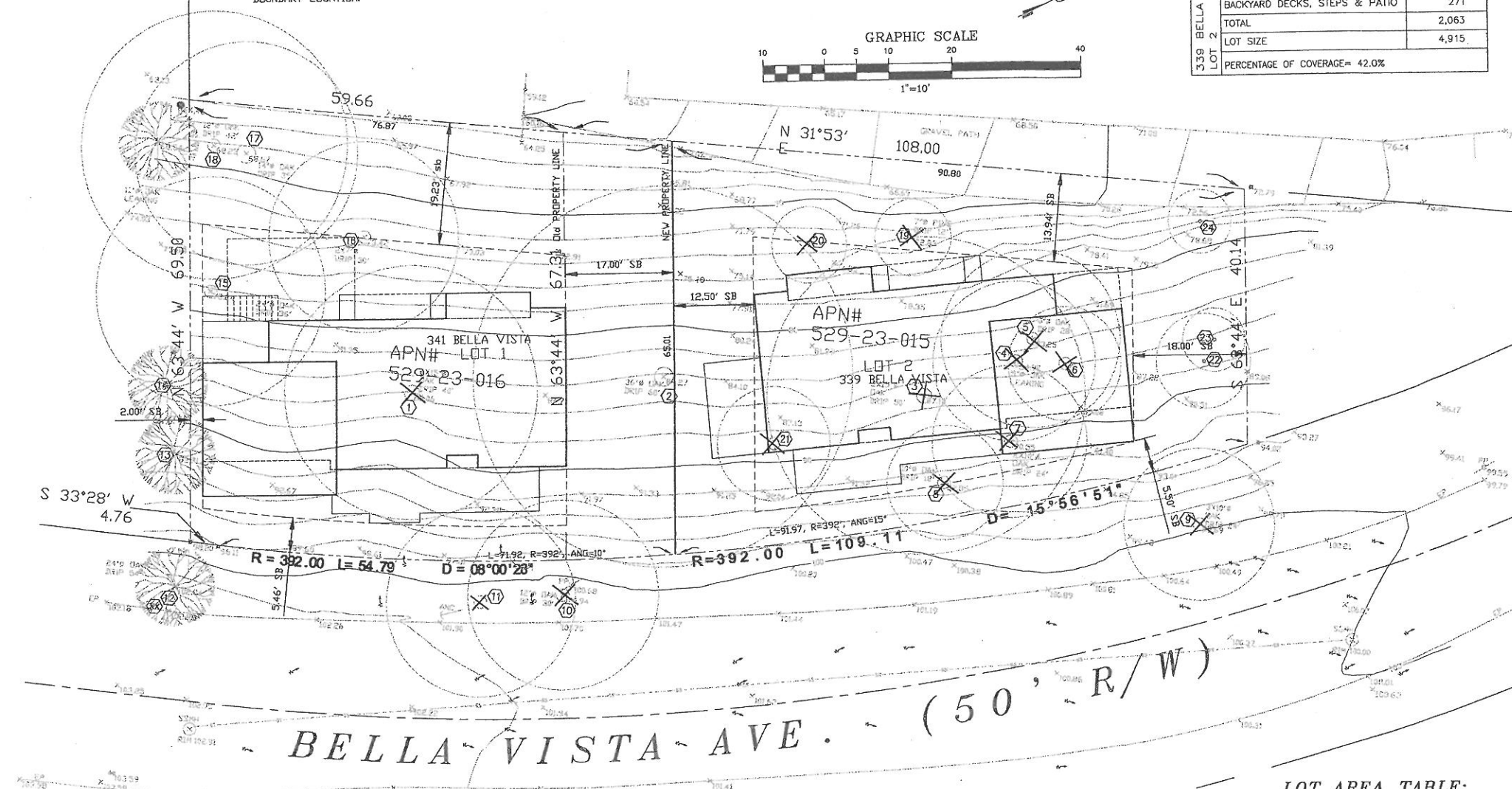
EP	STREET CENTERLINE
ANC	WOOD FENCE
SSMH	PROPERTY LINE
PP	EDGE OF PAVEMENT
	ANCHOR
	WATER VALVE
	SANITARY SEWER MANHOLE
	POWER POLE
	CHAINLINK FENCE

XX TREE NUMBER PER ARBORIST REPORT



IMPERVIOUS AREA:

PRE DEVELOPMENT = 0 (SQ. FT.)	
POST DEVELOPMENT	AREA (SQ. FT.)
BUILDING	1,419
DRIVEWAY	173
FRONT PORCH, WALKWAY & STEPS	288
BACKYARD DECKS, STEPS & PATIO	402
TOTAL	2,282
LOT SIZE	5,240
PERCENTAGE OF COVERAGE =	43.5%
BUILDING	1,419
DRIVEWAY	149
FRONT PORCH, WALKWAY & STEPS	224
BACKYARD DECKS, STEPS & PATIO	271
TOTAL	2,063
LOT SIZE	4,915
PERCENTAGE OF COVERAGE =	42.0%





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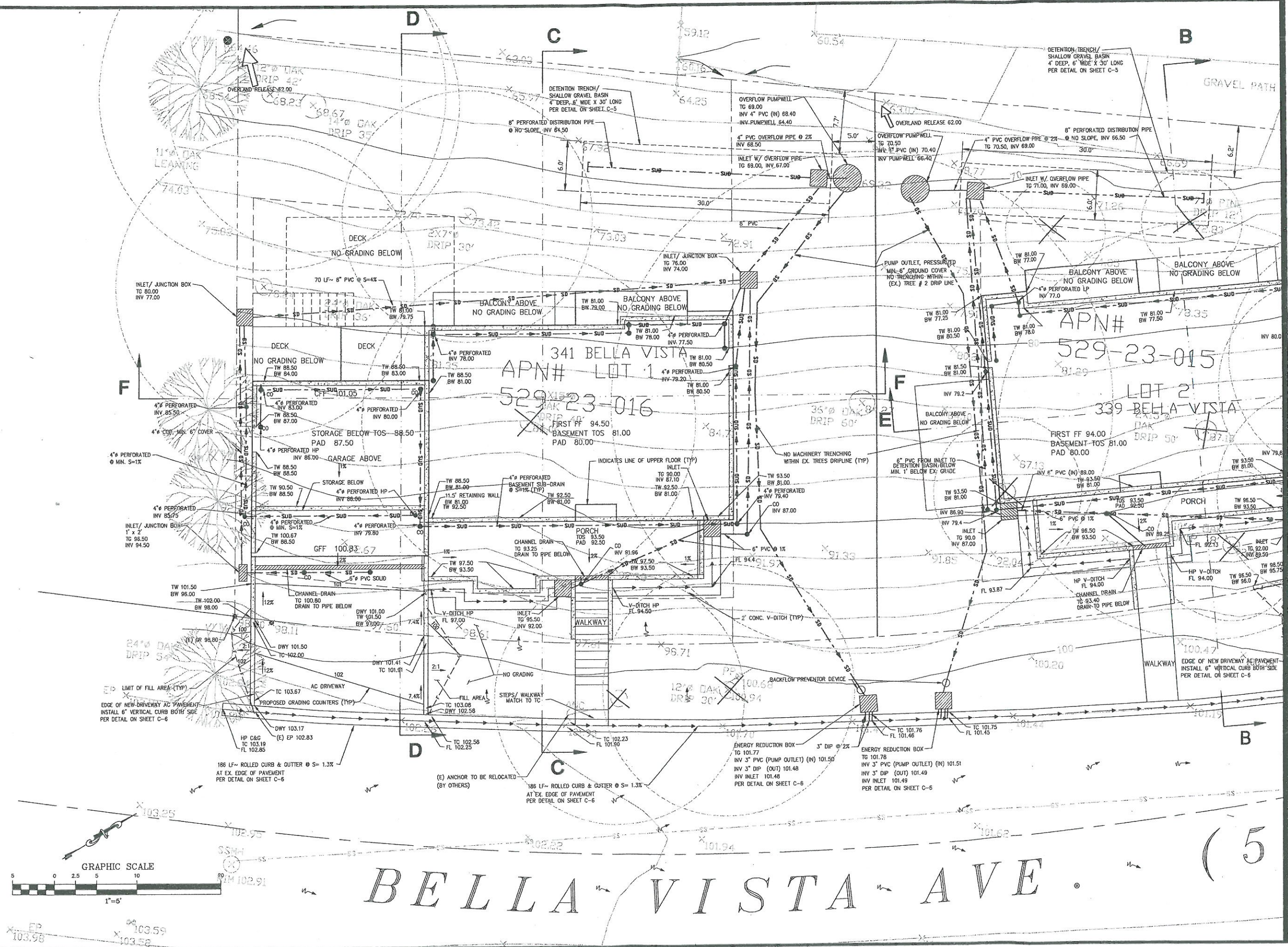
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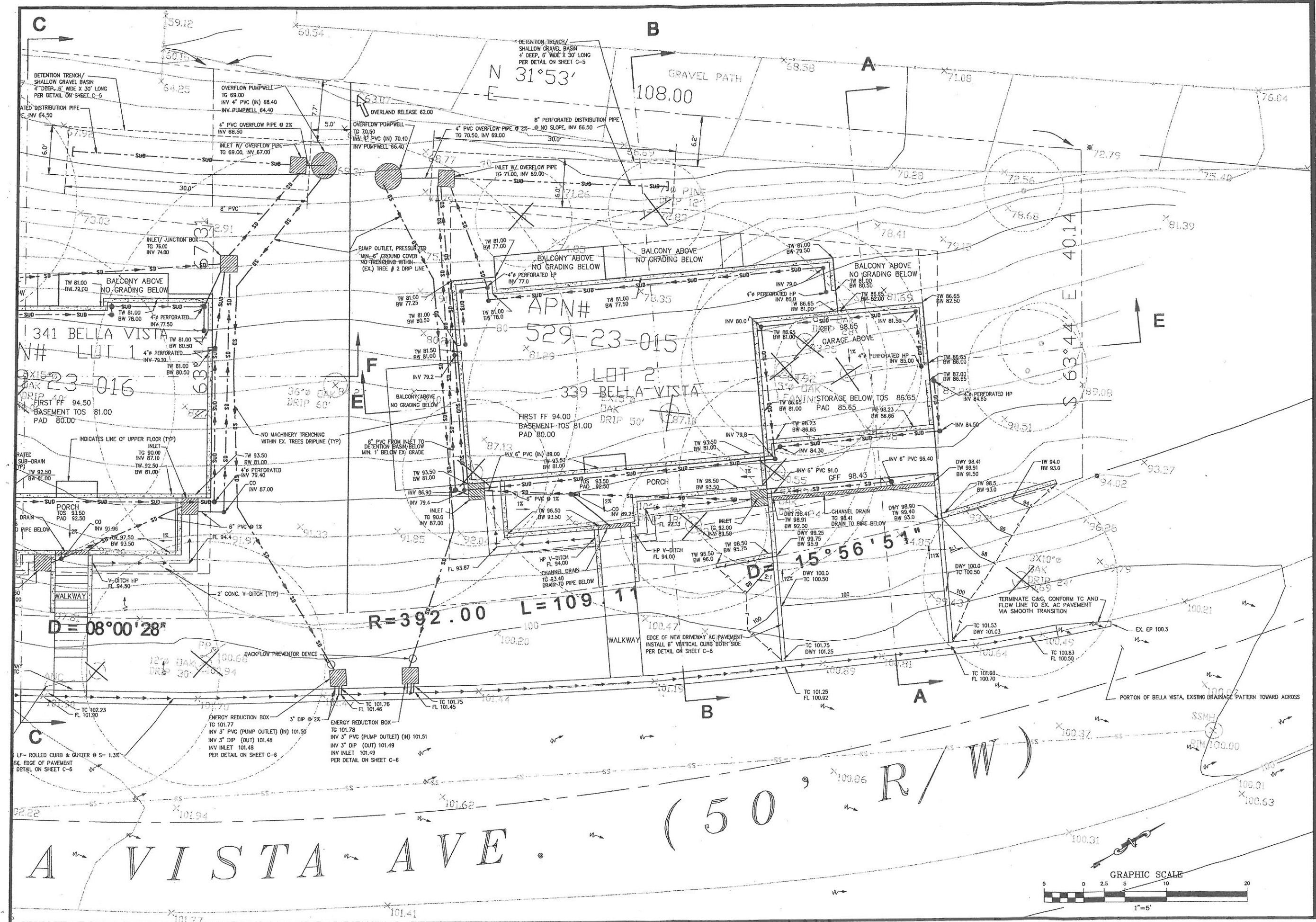
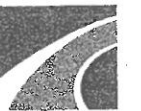
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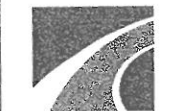
GRADING AND DRAINAGE PLANS
341 BELLA VISTA, GRADING AND DRAINAGE PLAN
339 AND 341 BELLA VISTA, LOS GATOS, CA
APN: 529-23-015 AND 529-23-016

Revisions:

Date: JULY 22, 2010
Scale: 1"=5'
Prepared by: V.G.
Checked by: S.R.
Job #: 2622
Sheet: 3 OF 7
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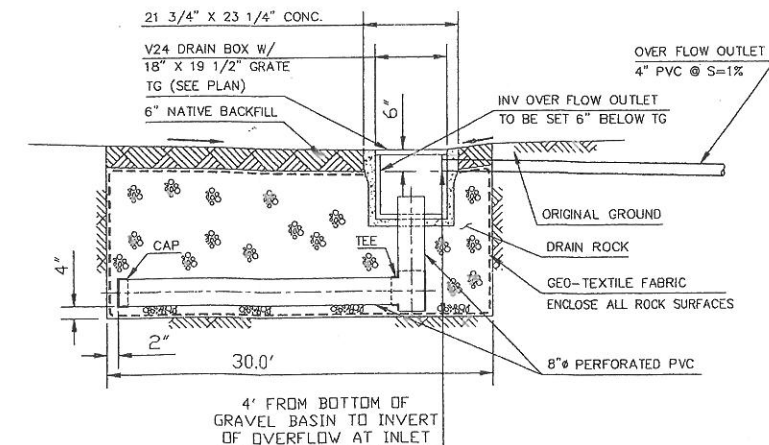
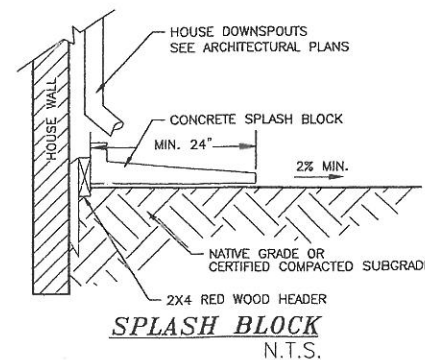
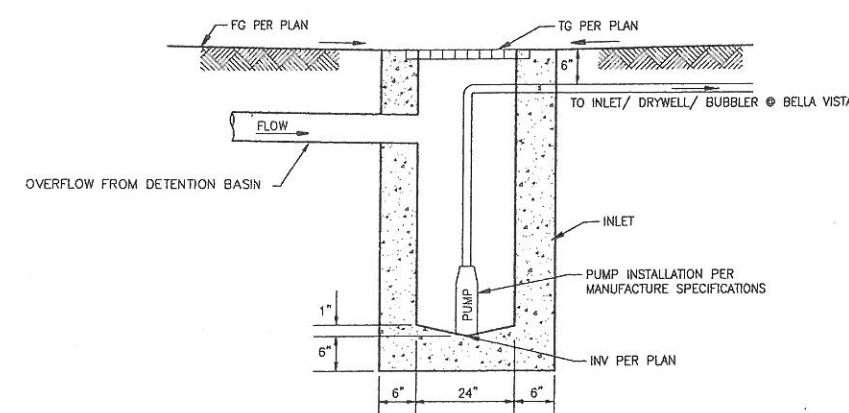
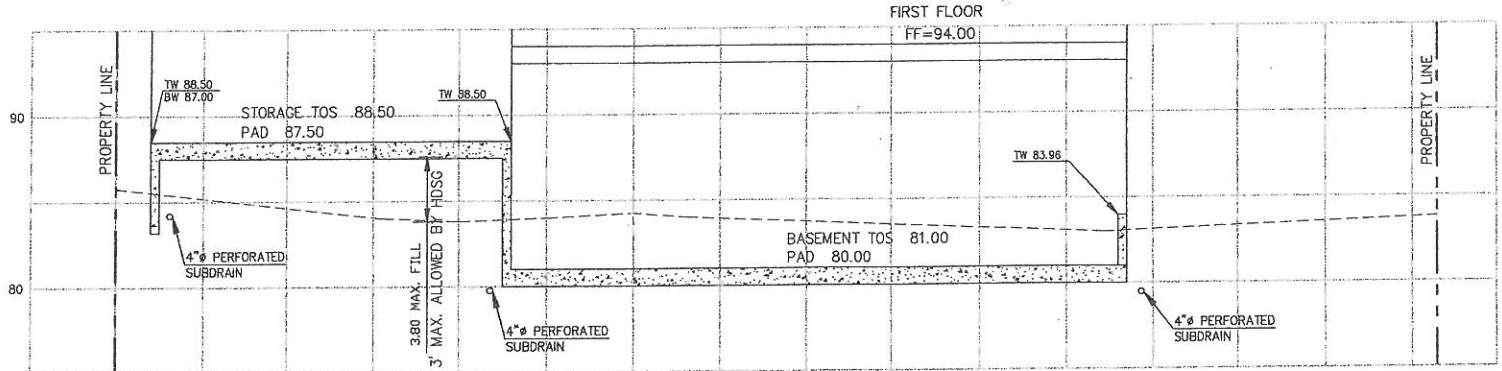
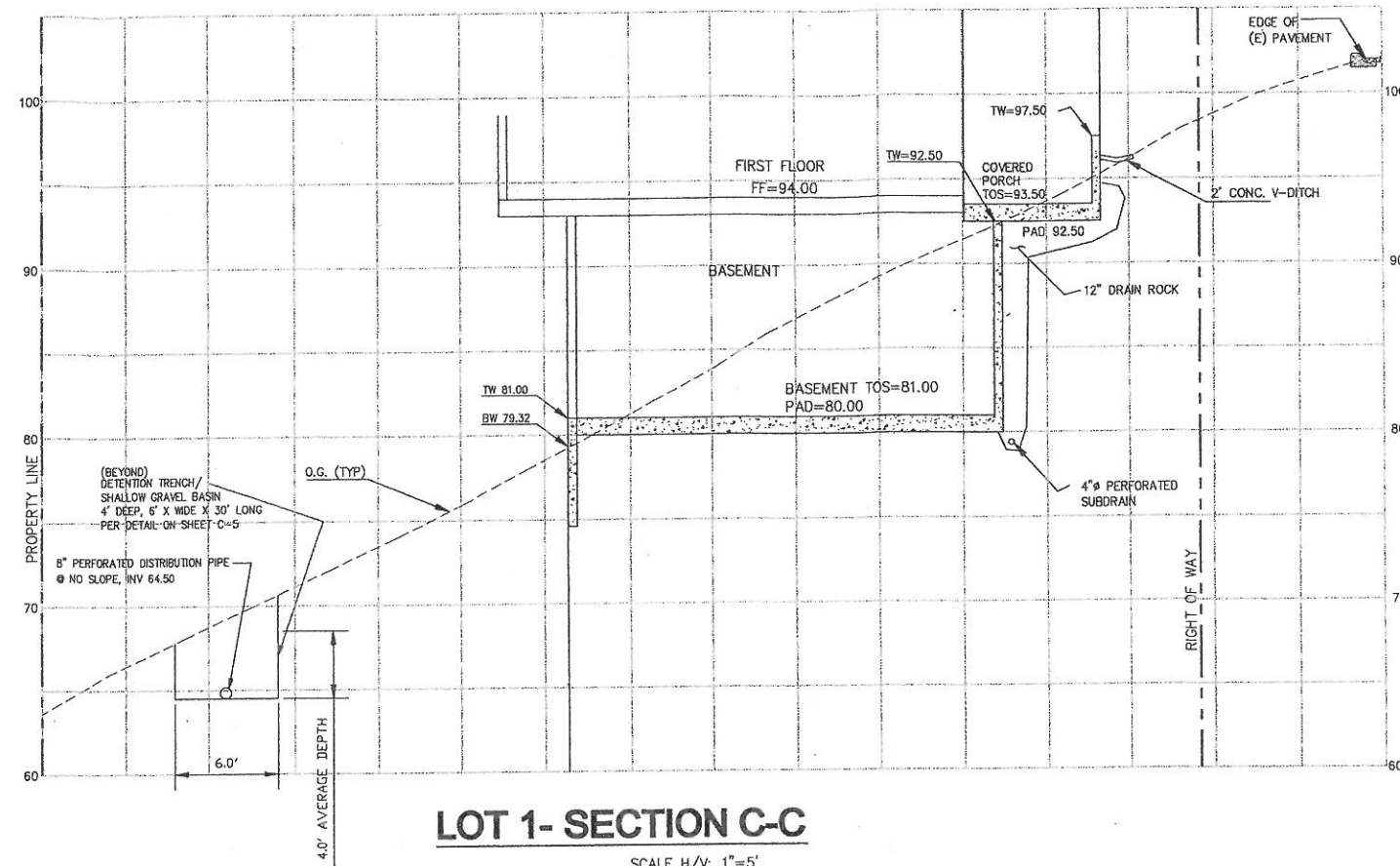
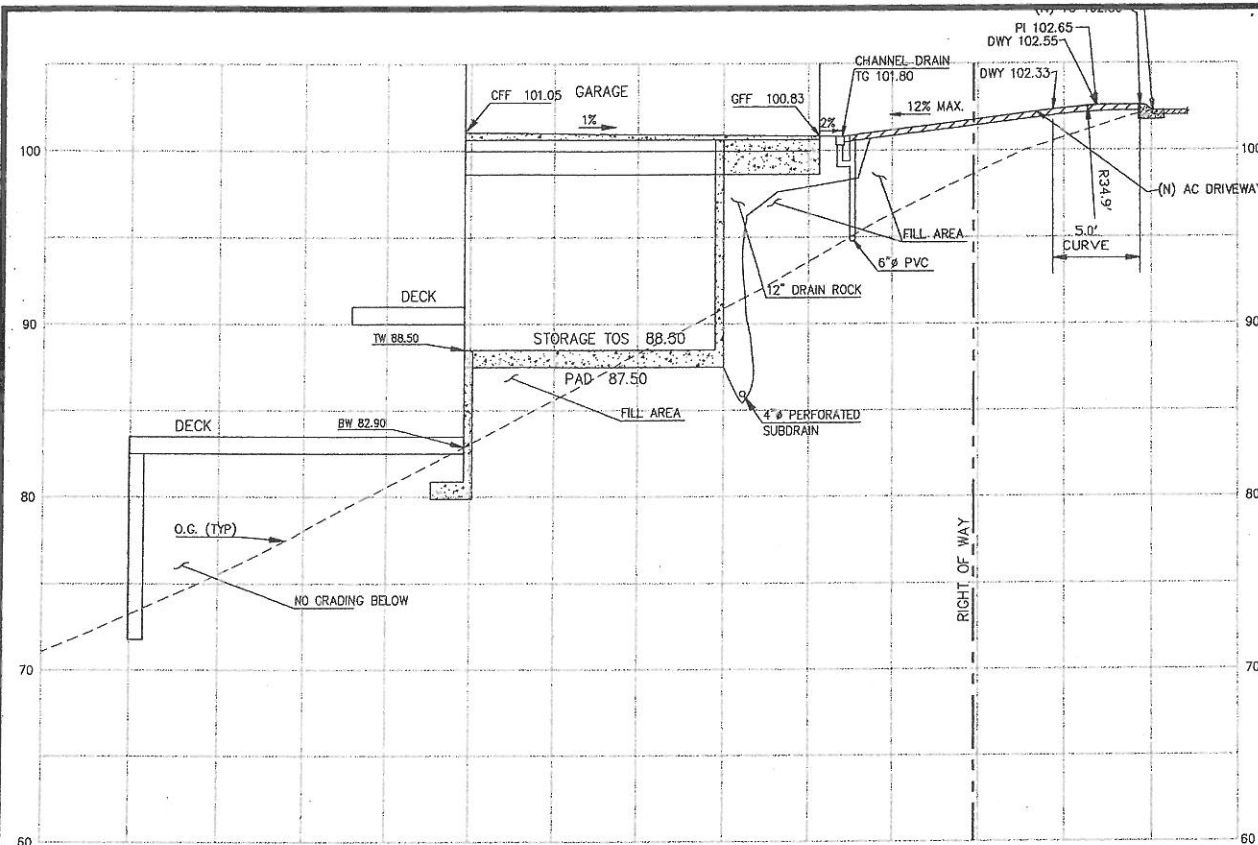
GRADING AND DRAINAGE PLANS
341 BELLA VISTA CROSS SECTIONS
339 AND 341 BELLA VISTA, LOS GATOS, CA
APN: 529-23-015 AND 529-23-016

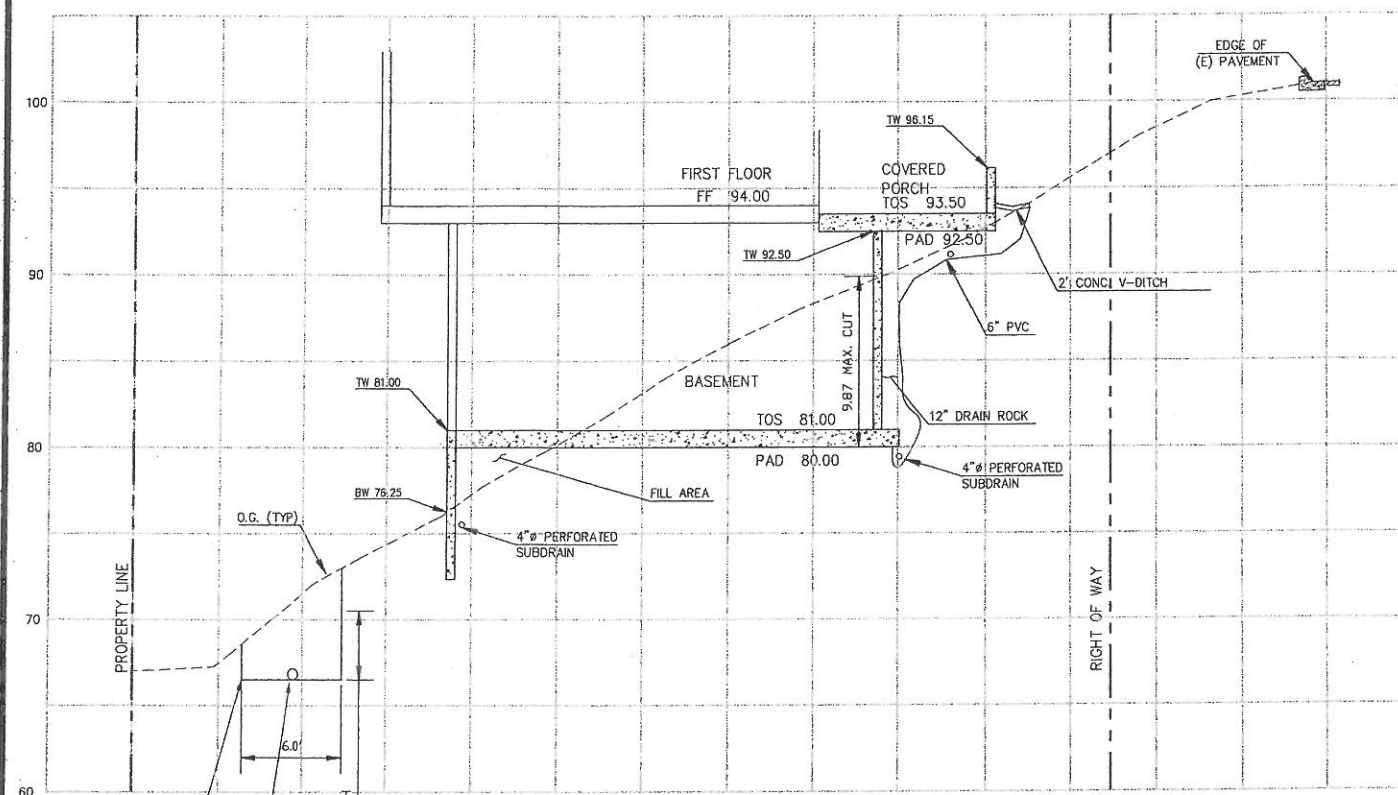
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Prepared by:
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Checked by:
S.R.
Job #:
2622

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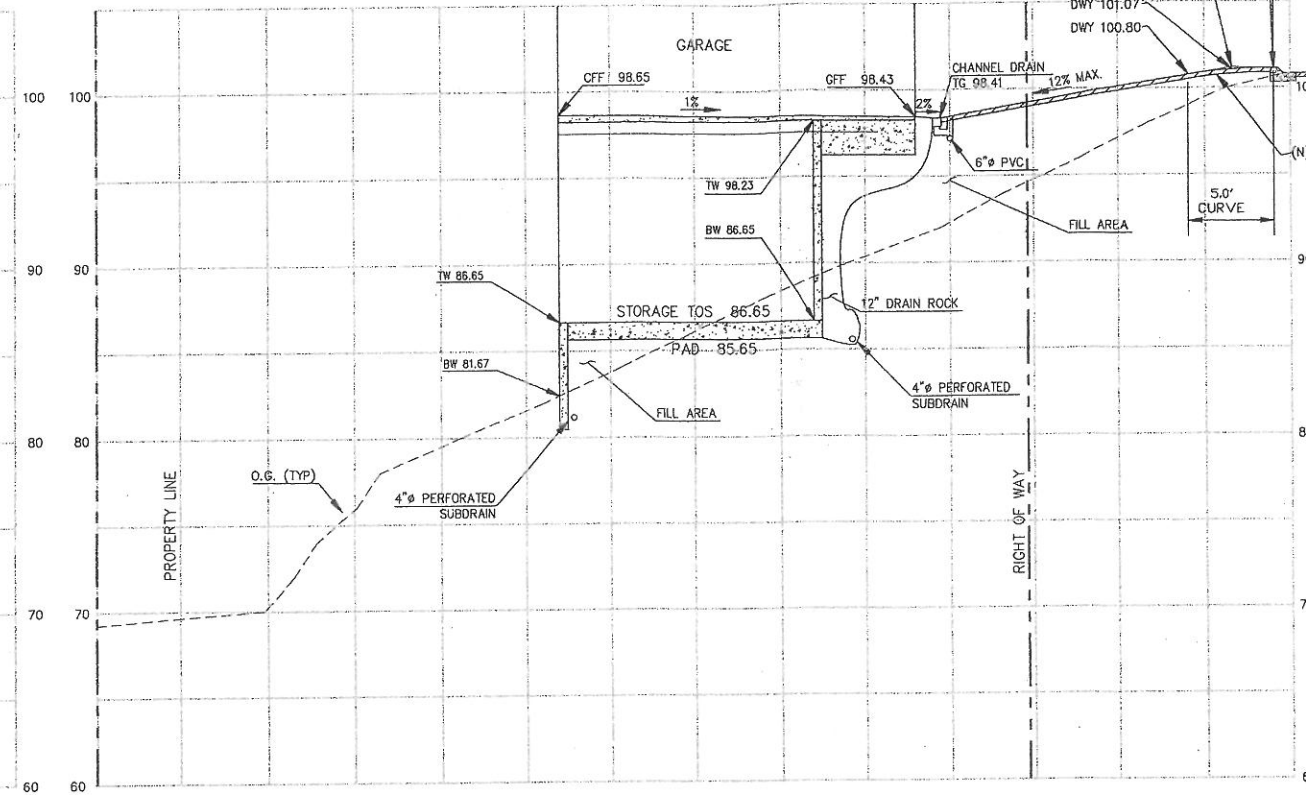


LOT 2- SECTION B-B

SCALE H/V: 1"=5'

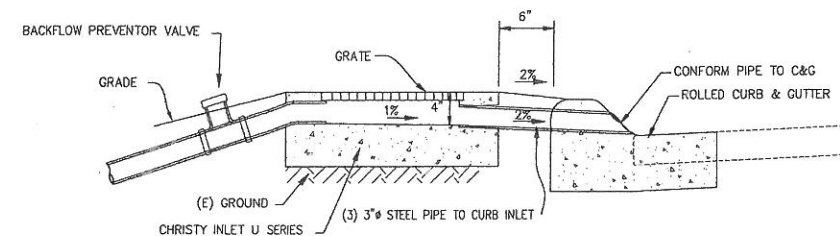
8" PERFORATED DISTRIBUTION PIPE
NO SLOPE, INV 66.50DETENTION TRENCH/
SHALLOW GRAVEL BASIN
4" DEEP, 6" WIDE X 30' LONG
PER DETAIL ON SHEET C-5

4.0' AVERAGE DEPTH

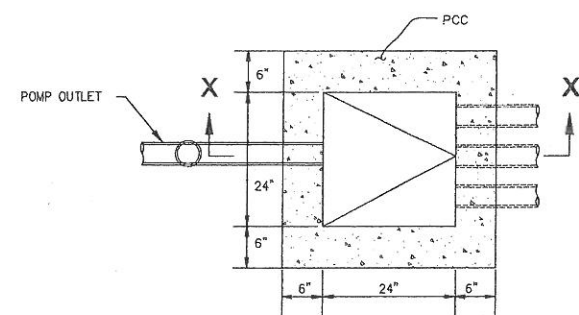


LOT 2- SECTION A-A

SCALE H/V: 1"=5'



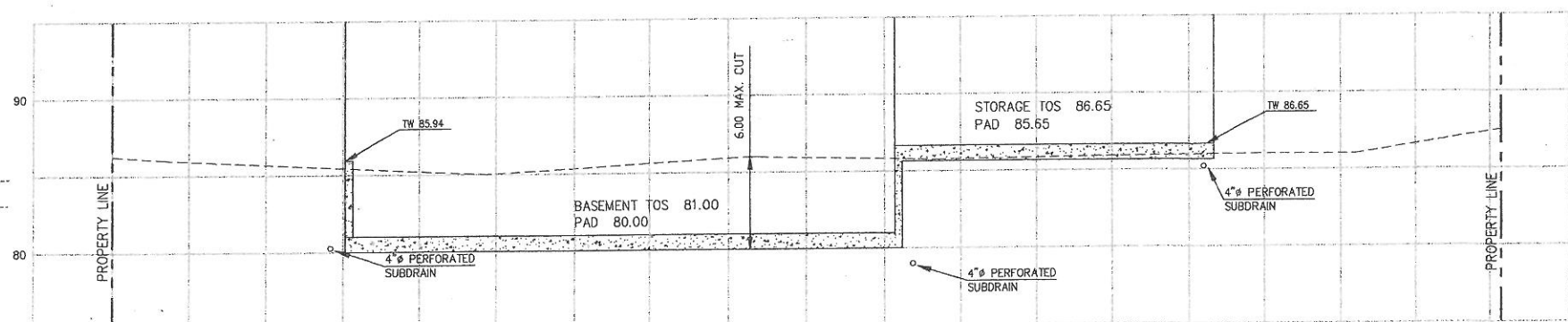
SECTION X-X



PLAN

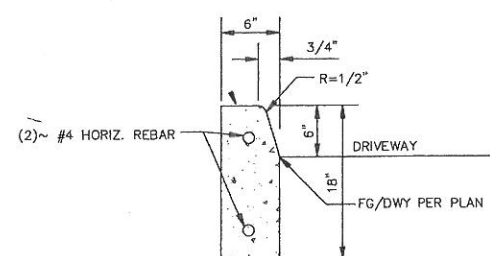
ENERGY REDUCTION BOX

NTS



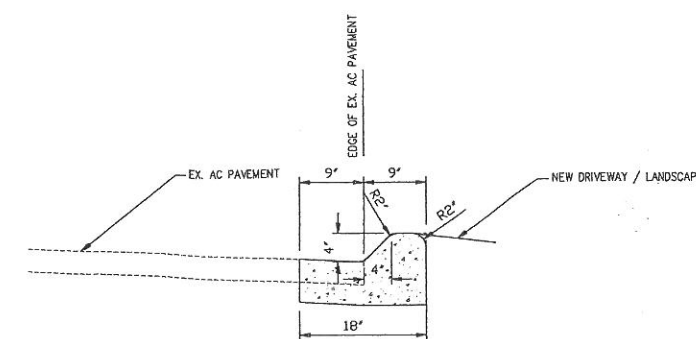
LOT 2- SECTION E-E

SCALE H/V: 1"=5'



ON-SITE VERTICAL CURB (AT EDGE OF NEW DRIVEWAYS)

NTS



ROLLED CURB & GUTTER (AT BELLA VISTA)

NTS

NOTES:

- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

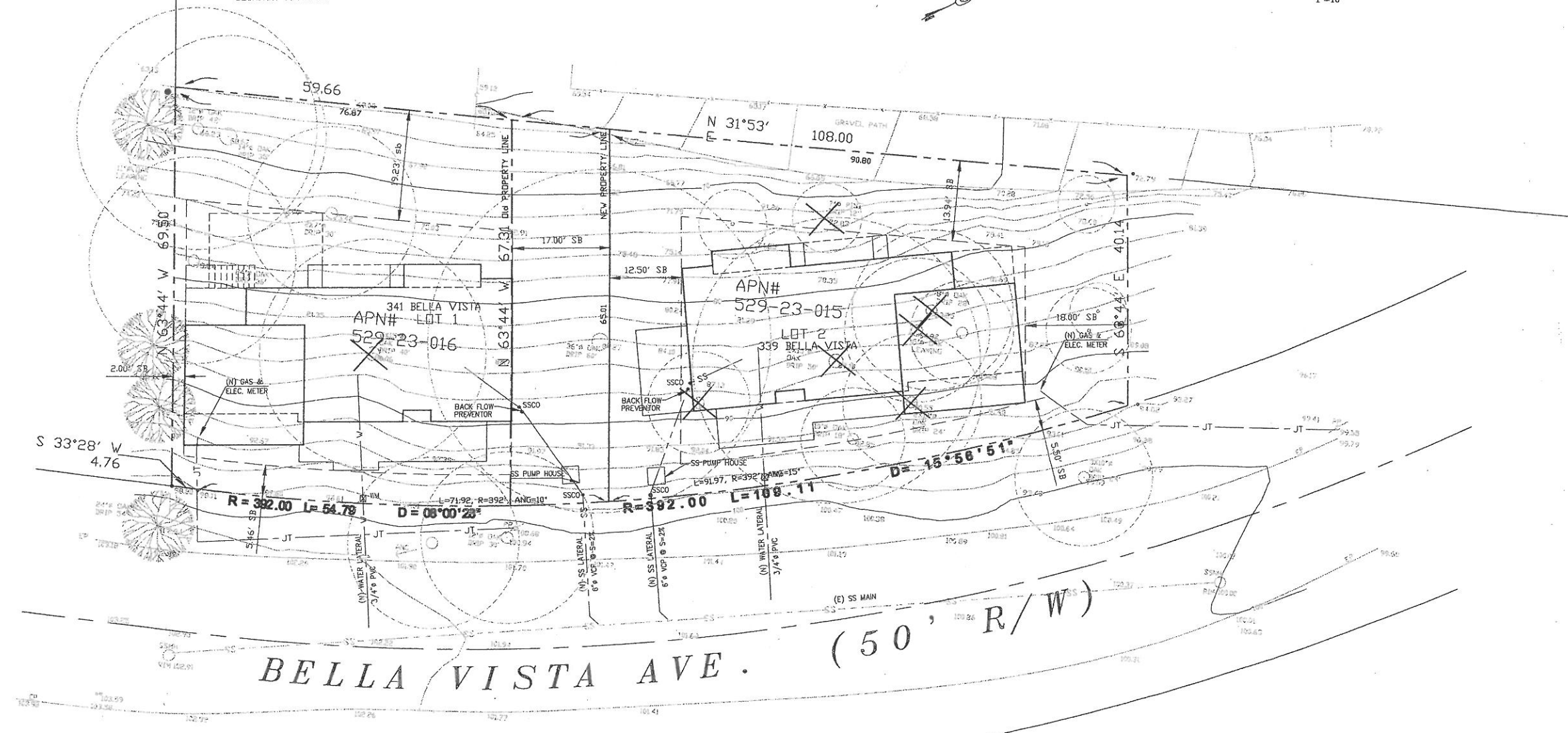
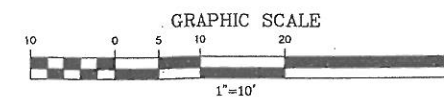
- REFERENCED ASSUMED B.M. TOP OF SANITARY SEWER MANHOLE LOCATED AT BELLA VISTA AVE. DISTANT 34.54' EASTERLY OF MOST EASTERLY PROPERTY CORNER AS SHOWN UPON THIS MAP EL. 100.00

- THE BEARING N 31°53' E. OF NORTHWESTERLY LINE OF LOT 11, AS SHOWN UPON CERTAIN MAP ENTITLED "MAP OF STANLEY'S SUBDIVISION", RECORDED IN BOOK "N" OF MAPS, AT PAGE 8, WAS TAKEN AS BASIS OF BEARINGS FOR ALL BEARINGS SHOWN HEREON.

- THIS IS A TOPOGRAPHIC MAP, NOT A BOUNDARY SURVEY. LINES SHOWN ARE DERIVED FROM RECORD DATA AND MAY VARY SOMEWHAT FROM ABSOLUTE BOUNDARY LOCATION.

LEGEND AND ABBREVIATIONS

---	STREET CENTERLINE
----	WOOD FENCE
----	PROPERTY LINE
----	EDGE OF PAVEMENT
EP	ANCHOR
ANC	WATER VALVE
SSMH	SANITARY SEWER MANHOLE
PP	POWER POLE
----	CHAINLINK FENCE



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UTILITY PLAN

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