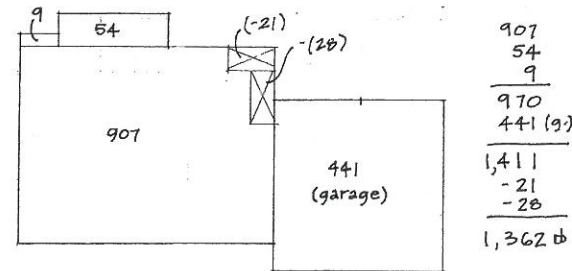


GENERAL NOTES:

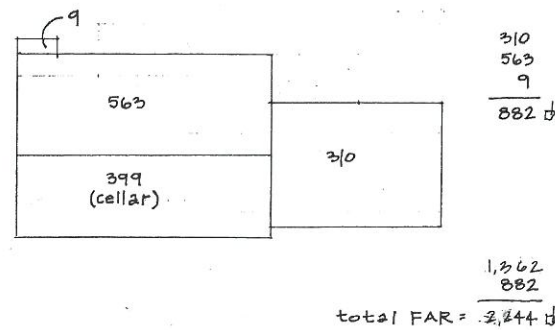
1. Britt/Rowe is not responsible for the design, coordination or implementation of any work performed by consultants, including, but not limited to, structural engineering, soil engineering, civil engineering, landscape architecture, and/or Title 24 engineering.
2. All work done pursuant to these drawings and specifications shall comply with all ordinances and regulations which apply to the work and shall in any case conform to the latest edition of the "Uniform Building Code" (UBC) currently enforced, and all current city, county, and state codes as applicable.
3. Layout for new work is largely based upon relationships to existing conditions. Any questions regarding the intent related to the layout of the new work shall be brought to the attention of Britt/Rowe prior to the commencement of any work. The contractor shall notify Britt/Rowe of all discrepancies prior to the commencement of any work.
4. Preference shall be given to figured/written dimensions on the drawings over scaled measurements. The "Plans", "General Notes", and "Specifications" are intended to agree and supplement one another. Anything indicated in/on one and not the others, shall be executed as if in all. In cases of direct conflict, the most restrictive shall govern.
5. Civil, Soil, and Structural Engineer's specifications shall take precedence over the following architectural specifications.
6. Britt/Rowe retains all rights and ownership of the "Planning Documents" and "Specifications". These documents may not be used in whole or in part on any other project without expressed consent from Britt/Rowe.
7. The owner/developer/client reserves the right to make alterations of the design during the course of the construction as applicable. Any changes shall be approved by the local planning department as applicable. All changes shall be documented by a written "Change Order" and shall be approved by the owner/developer/client.

FAR CALCULATIONS:

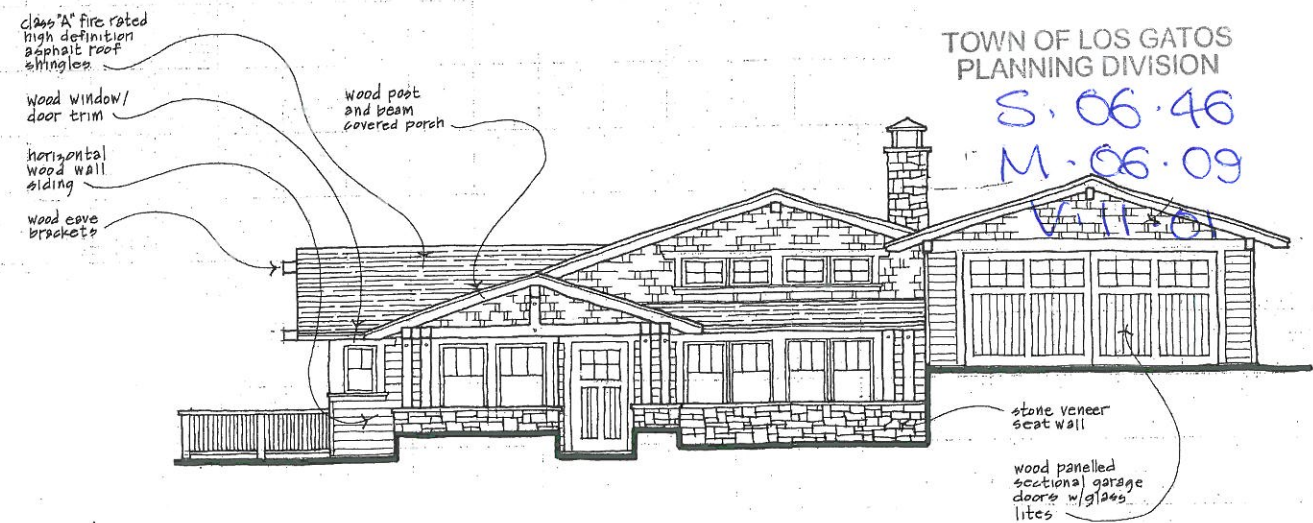
Upper level / garage:



Lower level / middle level:



FRONT VIEW OF PROPOSED RESIDENCE:



RECEIVED

FEB 2 - 2012

TOWN OF LOS GATOS
PLANNING DIVISION

S. 06.46

M. 06.09

V. 11.01

SHEET INDEX:

- A0 Title Sheet/Project Information
- A1 Architectural Site Plan
- A2 Upper/Garage Level Floor Plan
- A3 Middle/Lower Level Floor Plan
- A4 Roof Plan
- A5 Exterior Elevations
- A6 Exterior Elevations
- A7 Design Sections
- A8 Design Section
- A9 Shadow Studies
- P1 Streetscapes/Neighborhood Survey
- P2 Streetscapes

See Separates Index Sheet C-1 for
Civil Engineer's drawings

GENERAL PROJECT INFORMATION:

Scope of Work: Construction of a new multi-level single family residence.

Owner: Jake Peters and Dan Ross
188 Villa Avenue
Los Gatos, CA 95030
(408) 314-3626

Site Address: 339 Bella Vista Avenue
Los Gatos, CA 95032

APN: 529.23.015
Zoning: R1-8 (Hillside Residential Guidelines apply)

Lot Area: 4,915 sq. ft.

Average Lot Slope: 52.9%
A.L.S. @ Building Area: 40.2%

Proposed New Residence:

Building Area (FAR): (see calculations)
House: 1,803 sq. ft.
Garage: 441 sq. ft.
Total FAR: 2,244 sq. ft.
Cellar Area: 399 sq. ft.

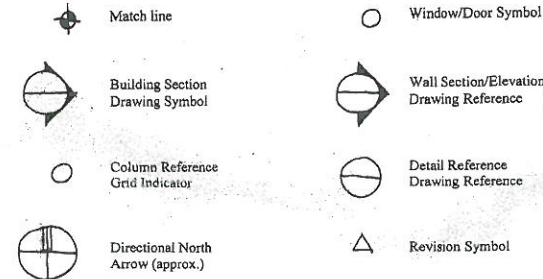
Allowable FAR: 785 sq. ft.

Setbacks:

	Proposed	Allowed
Front:	5'-6"	25'-0"
Left Side:	12'-6"	8'-0"
Right Side:	18'-0"	8'-0"
Rear:	15'-6"	20'-0"

Grading Quantities: See Civil Engineer Plans, sheets C1-C7
Building Height: 25'-0" (as measured from existing grade)

ARCHITECTURAL DRAWING SYMBOLS:



PROJECT CONSULTANTS:

Building Designer: Britt/Rowe
David Britt
108 N. Santa Cruz Avenue
Los Gatos, CA 95030
(408) 354.6224
(408) 654.6514

Civil Engineer: SMP Engineers
1534 Carob Lane
Los Altos, CA 94024
(650) 941.8055
(650) 941.8755 (fax)

Landscape Architect: David Fox and Associates
479 N. Santa Cruz Avenue
Los Gatos, CA 95030
(408) 354.4577

VICINITY MAP:



LOCATION MAP:



REVISIONS	BY
8.4.10	db
11.30.11	db
12.6.11	db

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Britt • Rowe

108 N. Santa Cruz Ave.
Los Gatos, CA 95030

(408) 354.6224 (office)
(408) 354.6514 (fax)

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Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: Project Info
SCALE: n/a
DATE: 5.4.10
DRAWN:

AO

REVISIONS	BY
9.12.11	db
11.30.11	db
12.6.11	db

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Britt • Rowe
11111 Santa Monica Ave
Los Angeles, CA 90025
410.351.6224 (office)
410.351.6511 (fax)

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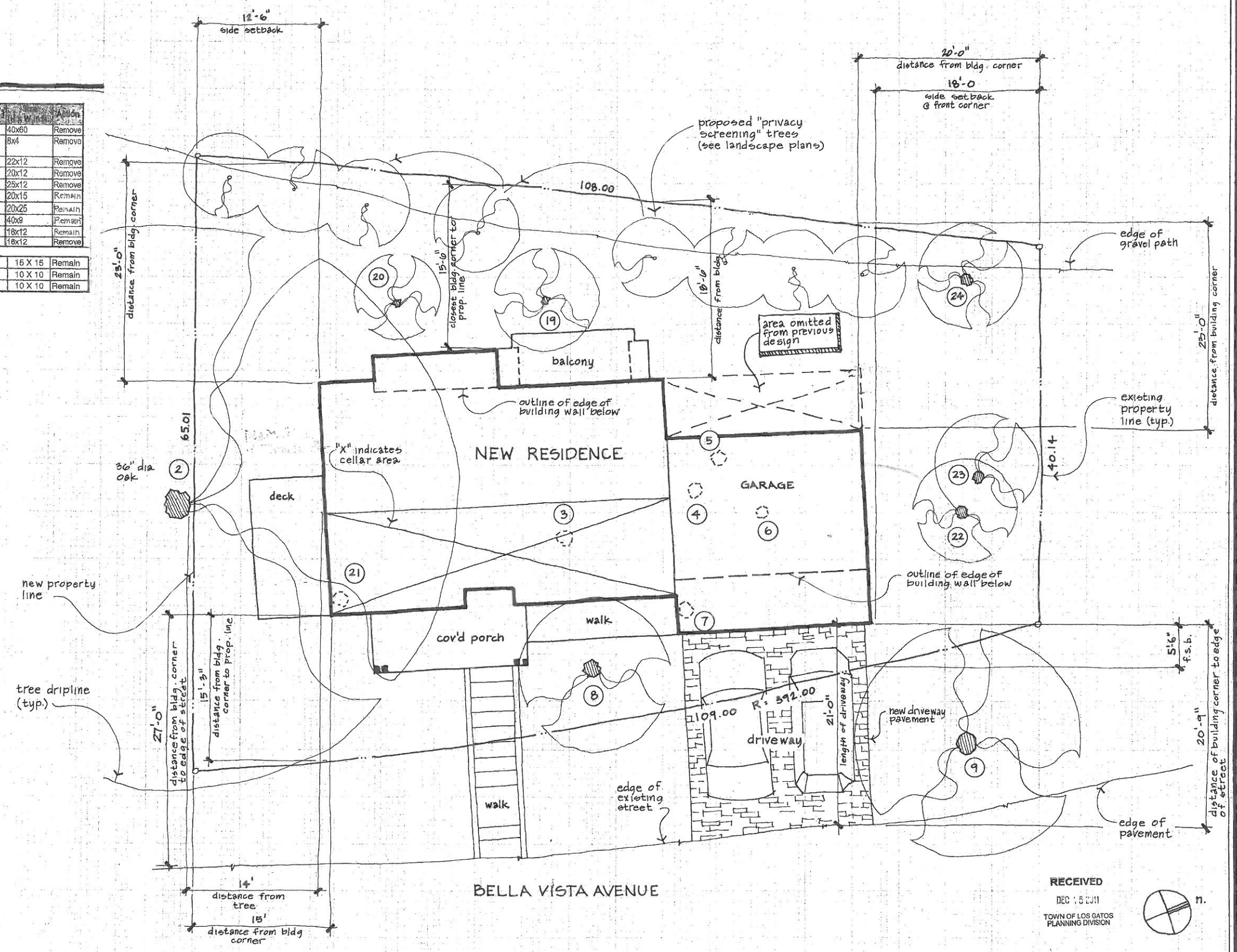
Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: architectural site
SCALE: noted
DATE: 5.4.10
DRAWN:

A1

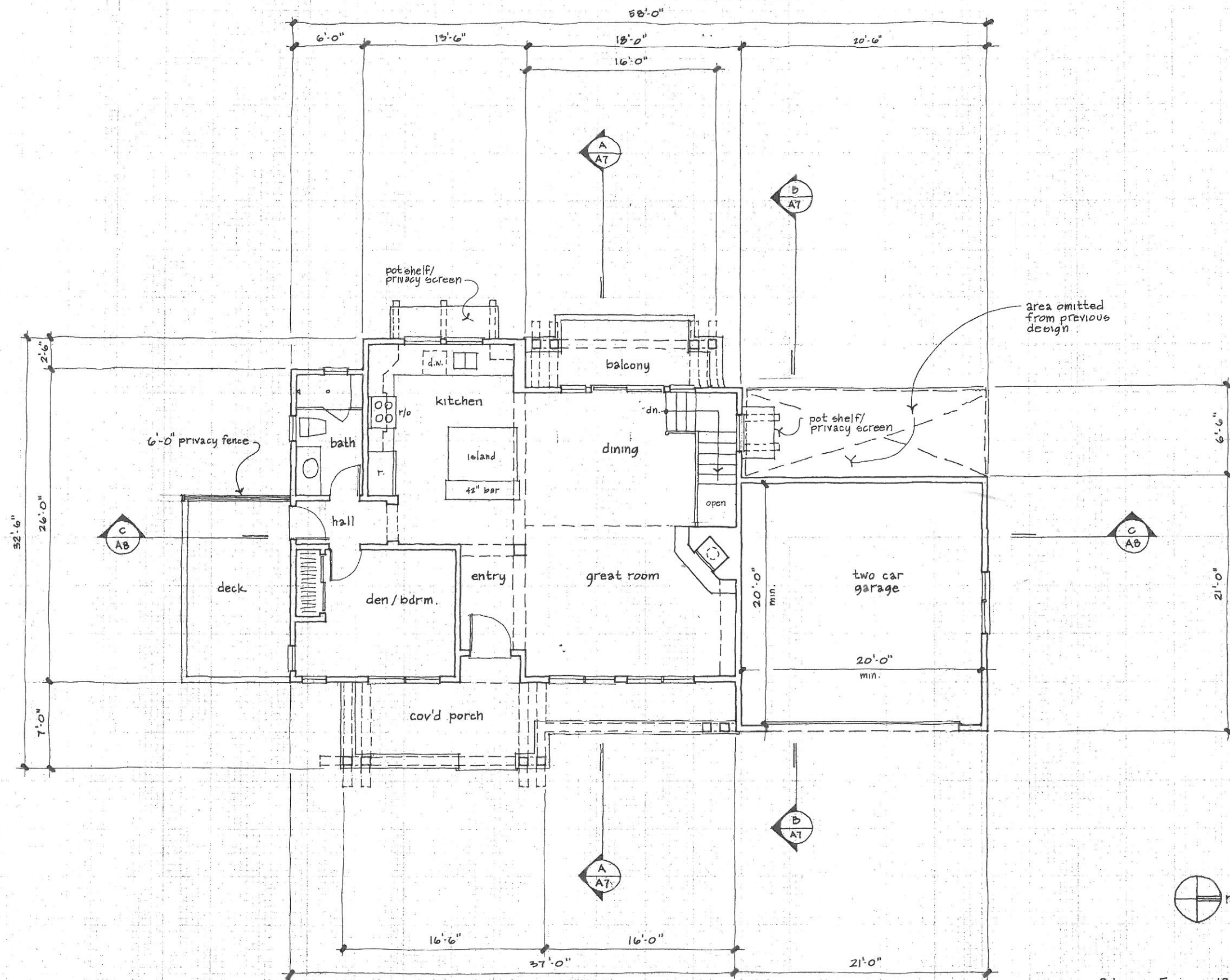
Tree Legend:

NO.	TREE SPECIES	DBH	HEIGHT	STATUS
03	Quercus agrifolia, coast live oak	34.7	40x60	Remove
04	Prunus amygdalus, almond	5.3	8x4	Remove
05	coast live oak	0.2	22x12	Remove
06	coast live oak	7.1	20x12	Remove
07	coast live oak	8.2, 9.1	25x12	Remove
08	coast live oak	9.3	20x15	Remain
09	coast live oak	9.2, 10.7, 8.0	20x25	Remain
19	Pinus canariensis, Canary Island pine	8.4	40x9	Remain
20	Prunus amygdalus, almond	4.2, 3.0	18x12	Remain
21	coast live oak	5.1	16x12	Remove
22	Coast Live Oak	5.2	16 X 15	Remain
23	Coast Live Oak	4.6	10 X 10	Remain
24	Coast Live Oak	5	10 X 10	Remain



ARCHITECTURAL SITE PLAN

4,915 sq ft



GARAGE / UPPER LEVEL PLAN

9700 + 441 (garage)

REVISIONS	BY
9.12.11	db
11.30.11	db
12.6.11	db

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408.364.624 (office)
408.364.614 (cell)

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Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: upper level

SCALE: noted

DATE: 5.5.10

DRAWN:

A2

REVISIONS	BY
11.30.11	

BR

Britt • Rowe

1441 N. Santa Ana Ave.
East Glendale, CA 91201

(818) 244-0000 • Fax: (818) 244-0001

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Proposed New Residence For:

339 BELLA VISTA AVENUE

Los Gatos, California

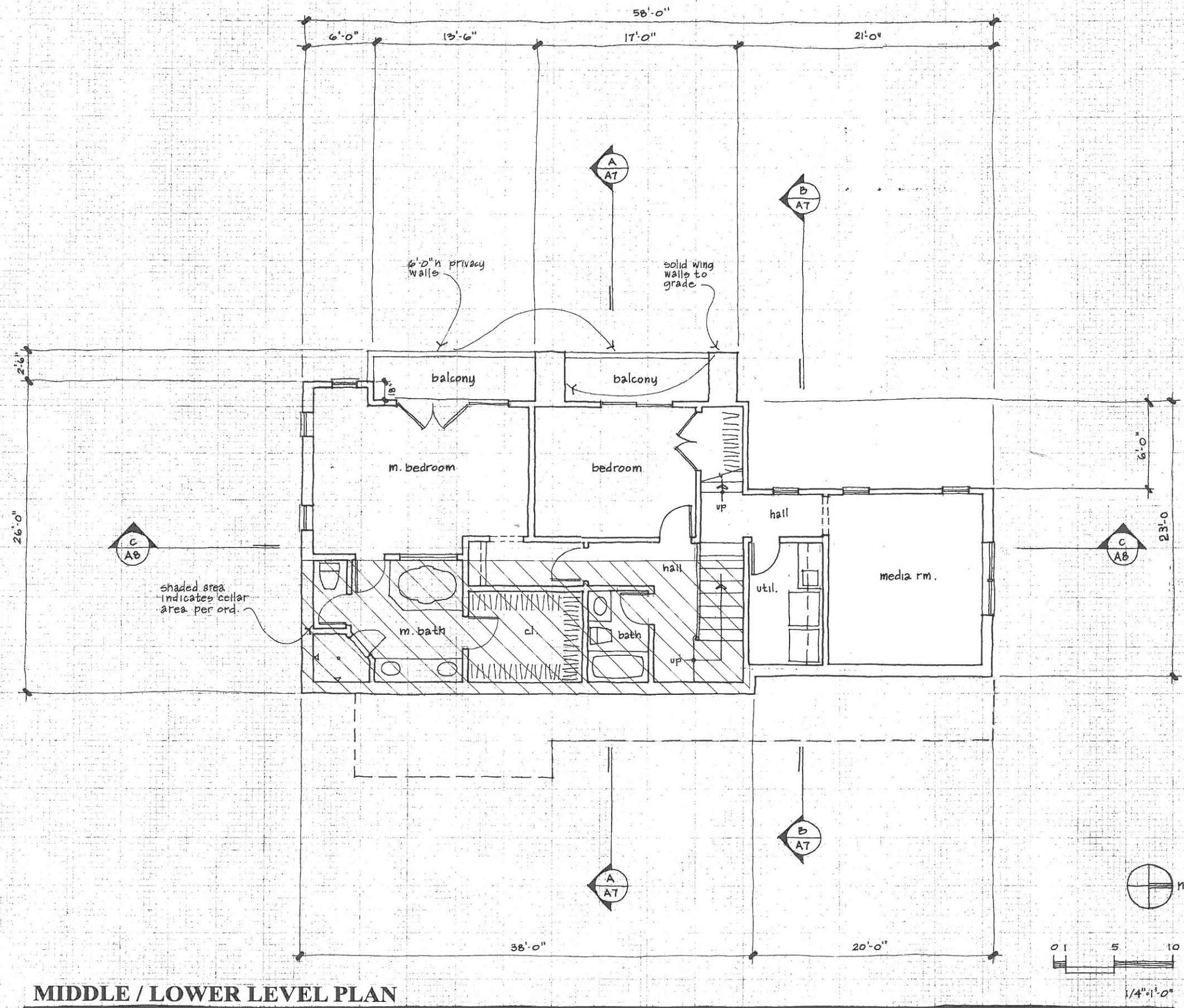
SHEET: lower level plan

SCALE: noted

DATE: 5.5.10

DRAWN:

A3



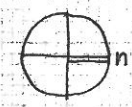
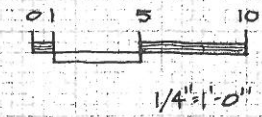
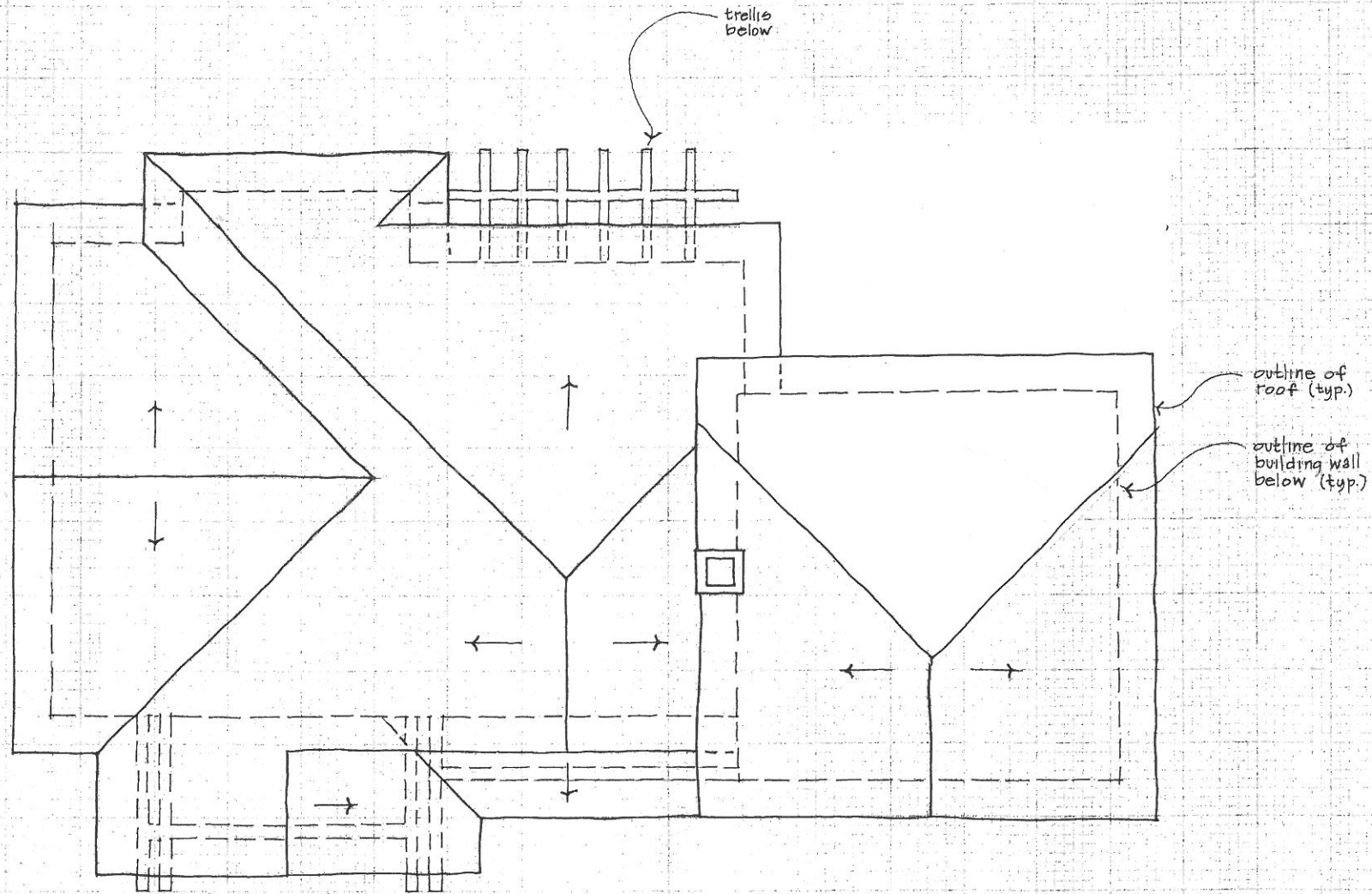
MIDDLE / LOWER LEVEL PLAN

882 sq. ft. + 399 sq. ft. cellar

C:\A\PROJECTS\339 BELLA VISTA\339 BELLA VISTA.dwg

0.01 PAPERLINE (000) 000-1000

ROOF PLAN



REVISIONS	BY
11 30.11	db

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1616 N. Santa Cruz Ave.
Los Gatos, CA 95030

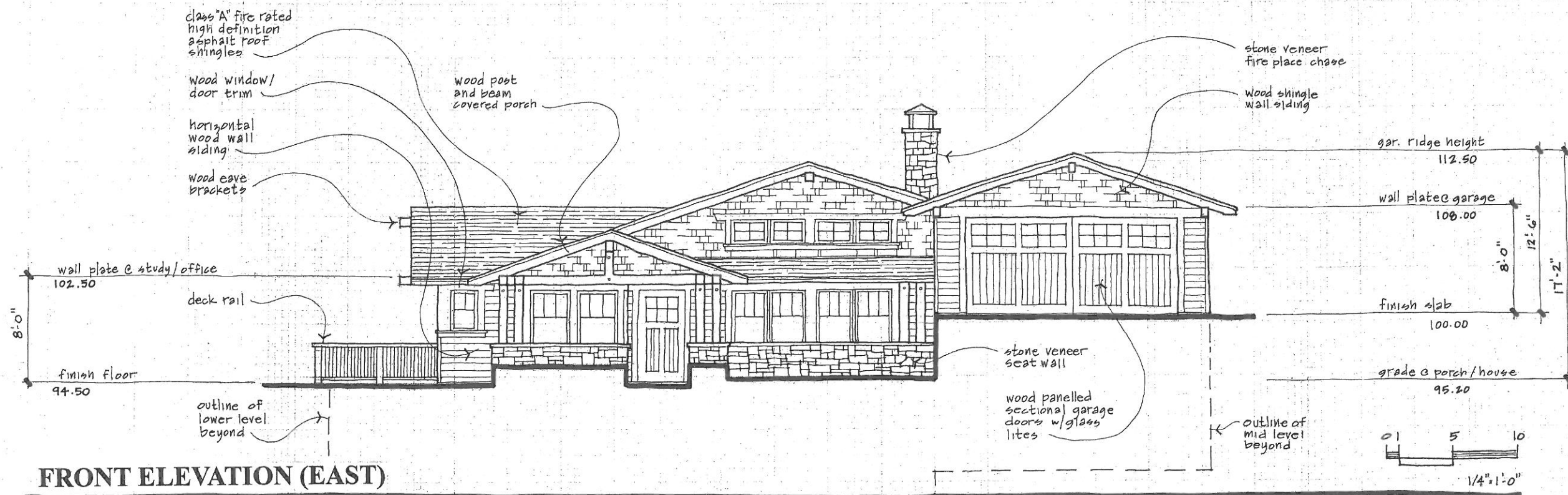
BRITT ROWE ARCHITECTS
408.551.0514 (fax)

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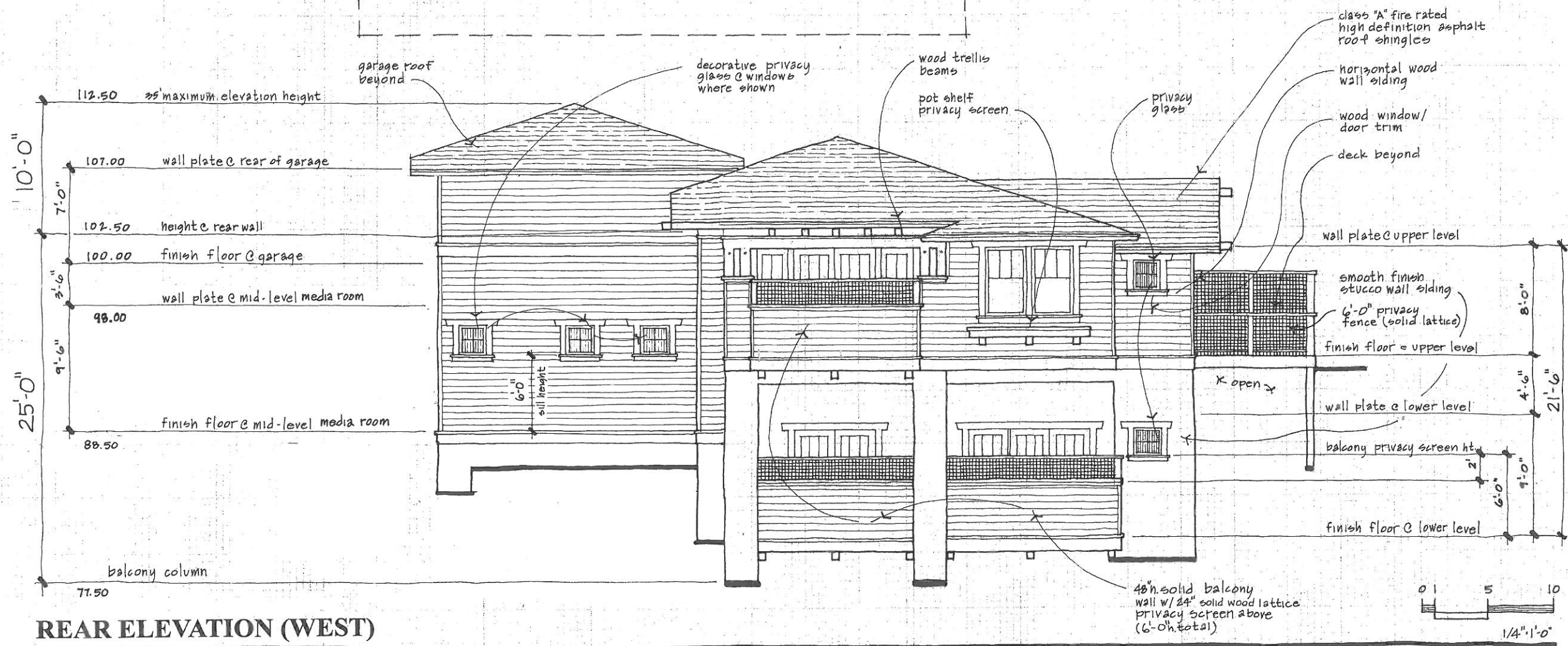
Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: roof plan
SCALE: noted
DATE: 5.5.10
DRAWN:

A4



FRONT ELEVATION (EAST)



REAR ELEVATION (WEST)

REVISIONS	BY
9.12.11	db
11.30.11	db

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108 N. Santa Cruz Ave.
Los Gatos, CA 95032

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408.354.0111 (fax)

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Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: exterior elevations
SCALE: noted
DATE: 5.6.10
DRAWN:

A5

REVISIONS	BY
9.12.11	db
11.30.11	db
12.6.11	db

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Los Gatos, CA 95030

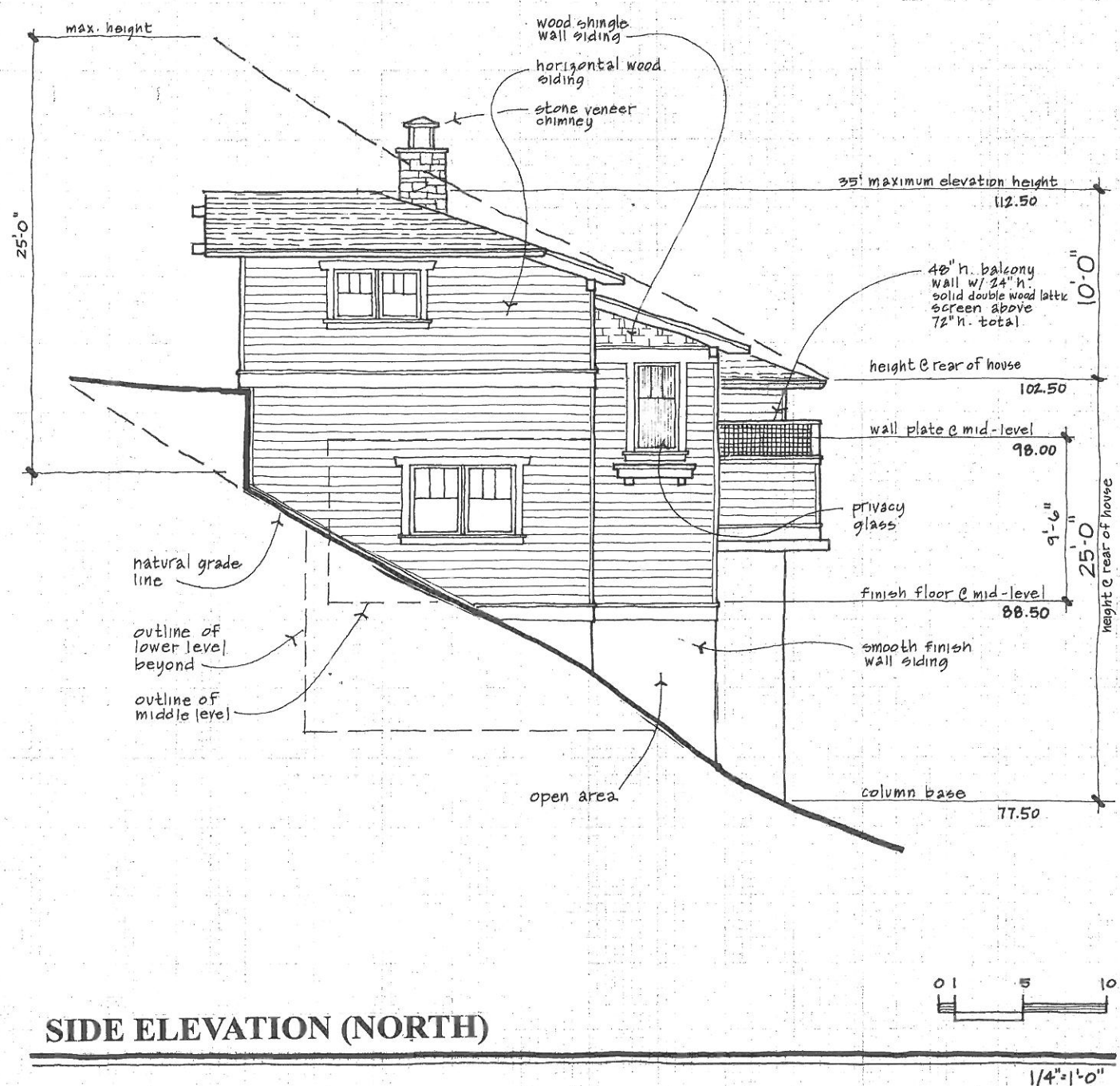
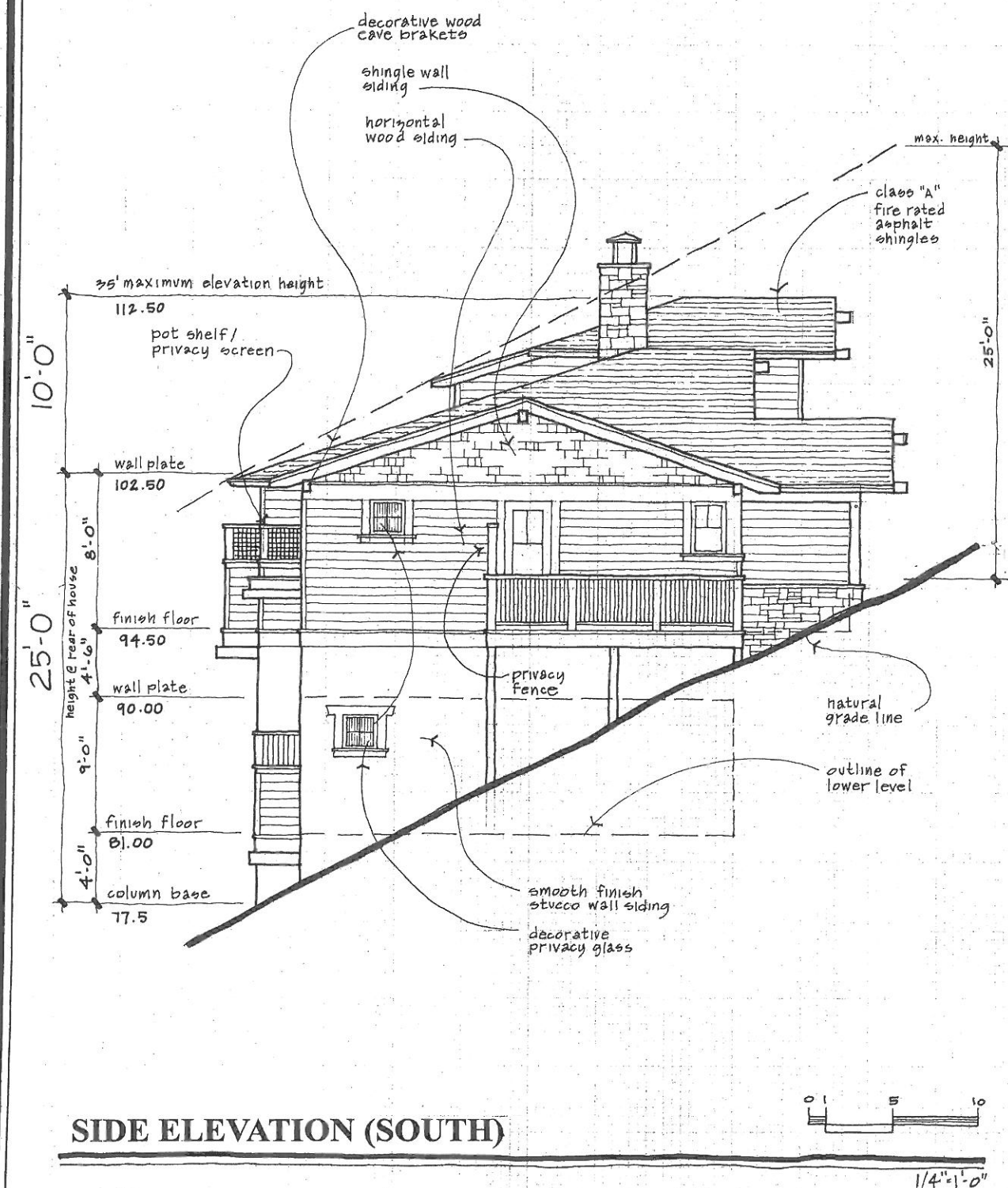
408 354-6204 (office)
408 251-6314 (cell)

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Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: exterior elevations
SCALE: noted
DATE: 5.5.10
DRAWN:

A6



REVISIONS.	BY
11.30.11	
12.6.11	db

BR

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10071 Santa Cruz Ave
Los Gatos, CA 95032

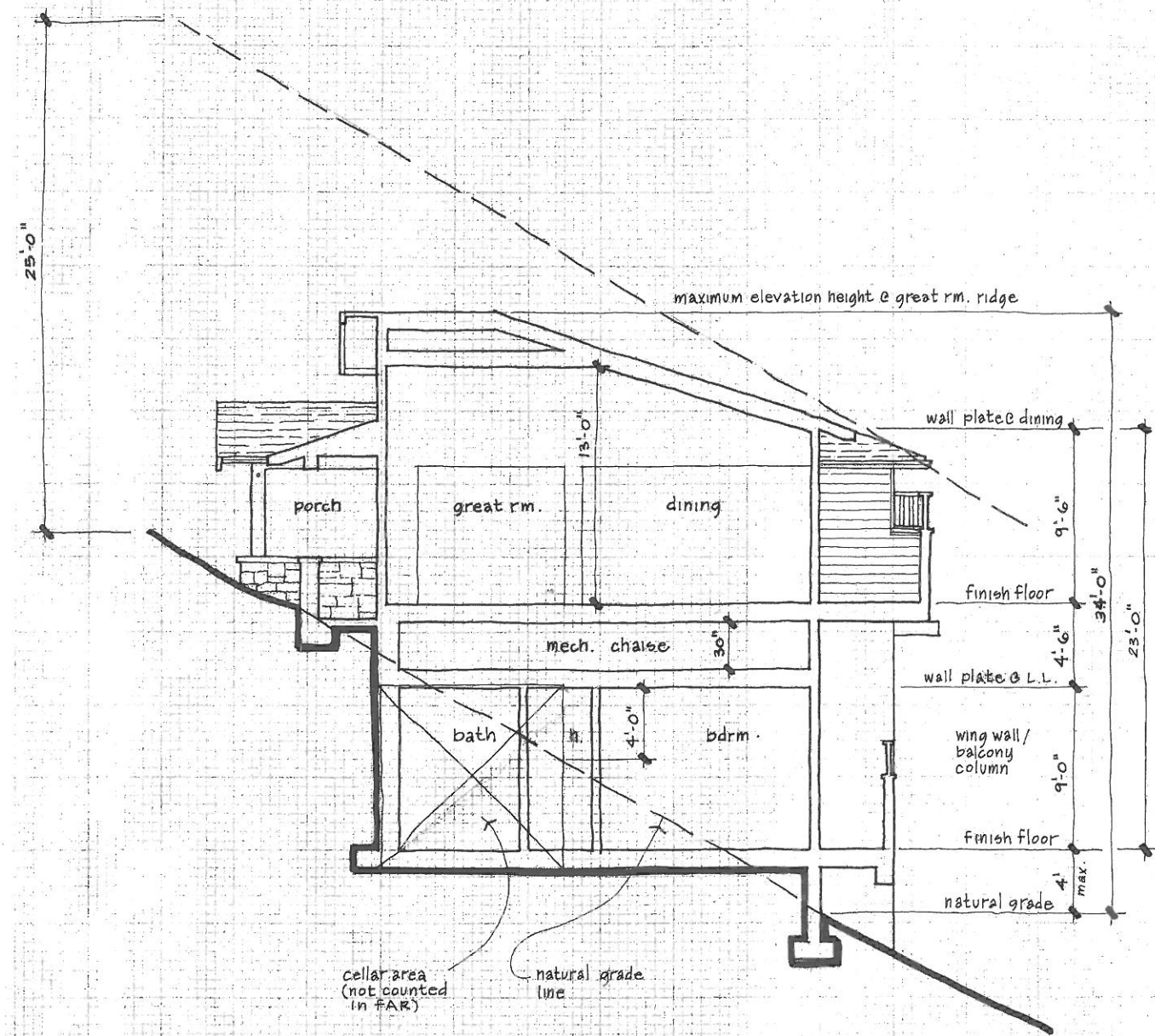
408.351.8214 (office)
408.351.8512 (fax)

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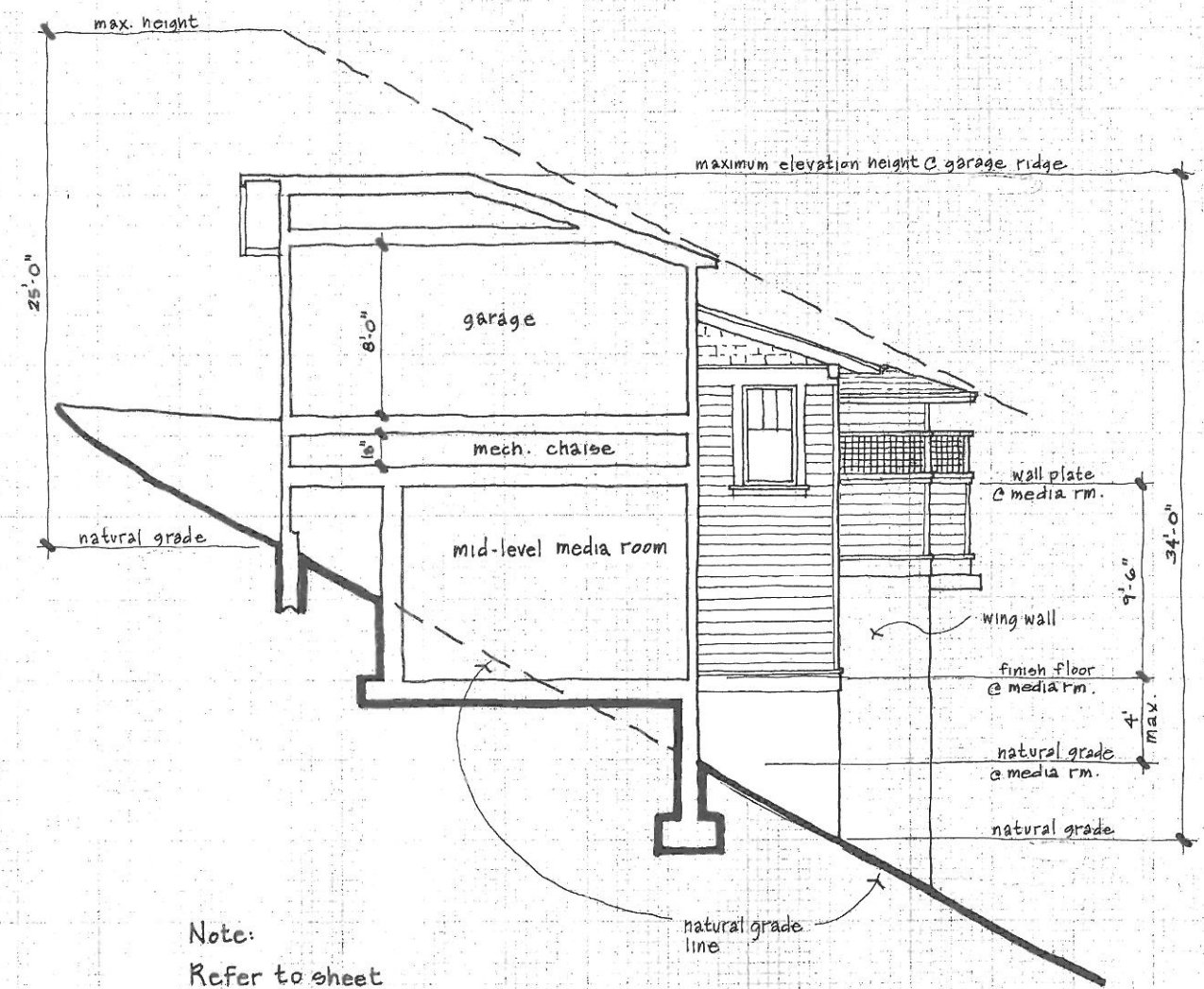
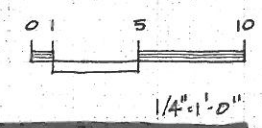
Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: sections A & B
SCALE: noted
DATE: 5.6.10
DRAWN:

A7

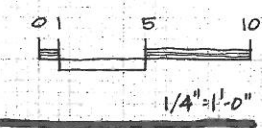


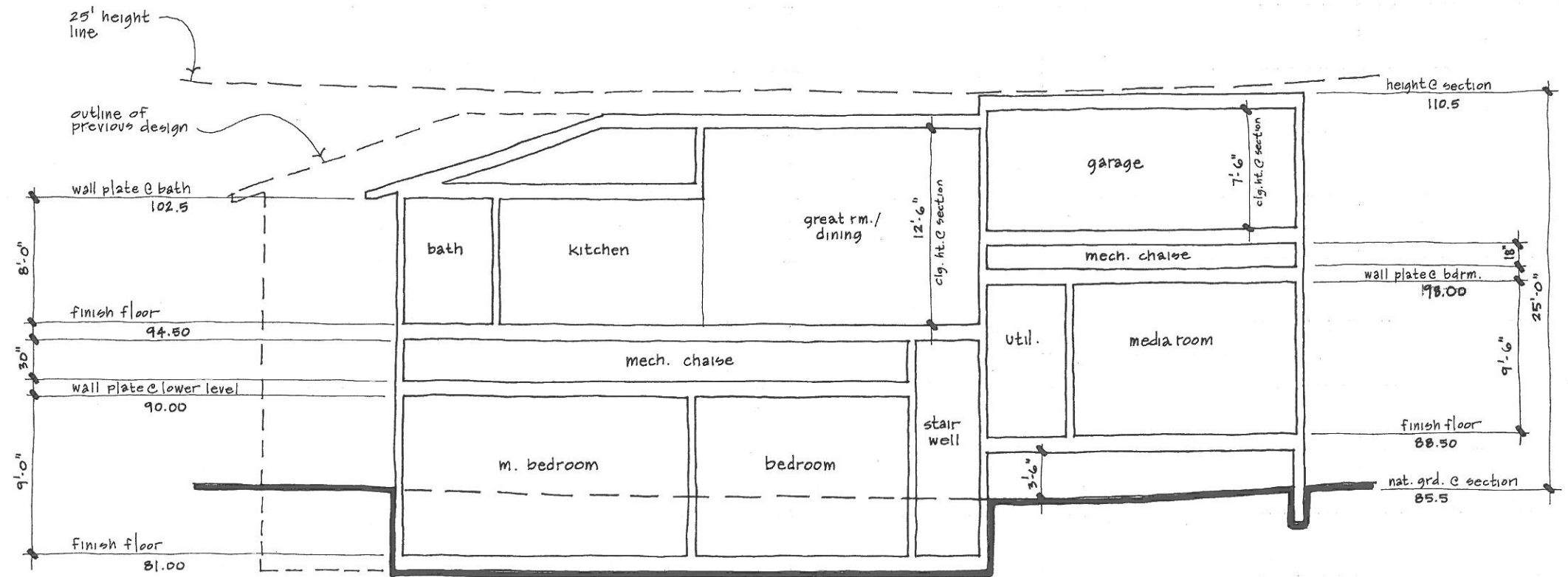
DESIGN SECTION A



Note:
Refer to sheet C-5 for grade lines beyond building.

DESIGN SECTION B





DESIGN SECTION C

REVISIONS	BY
11.30.11	

BR

Britt + Rowe

1000 N. Santa Cruz Ave.
Los Gatos, CA 95030

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408.354.0214 (fax)

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Proposed New Residence For:

339 BELLA VISTA AVENUE

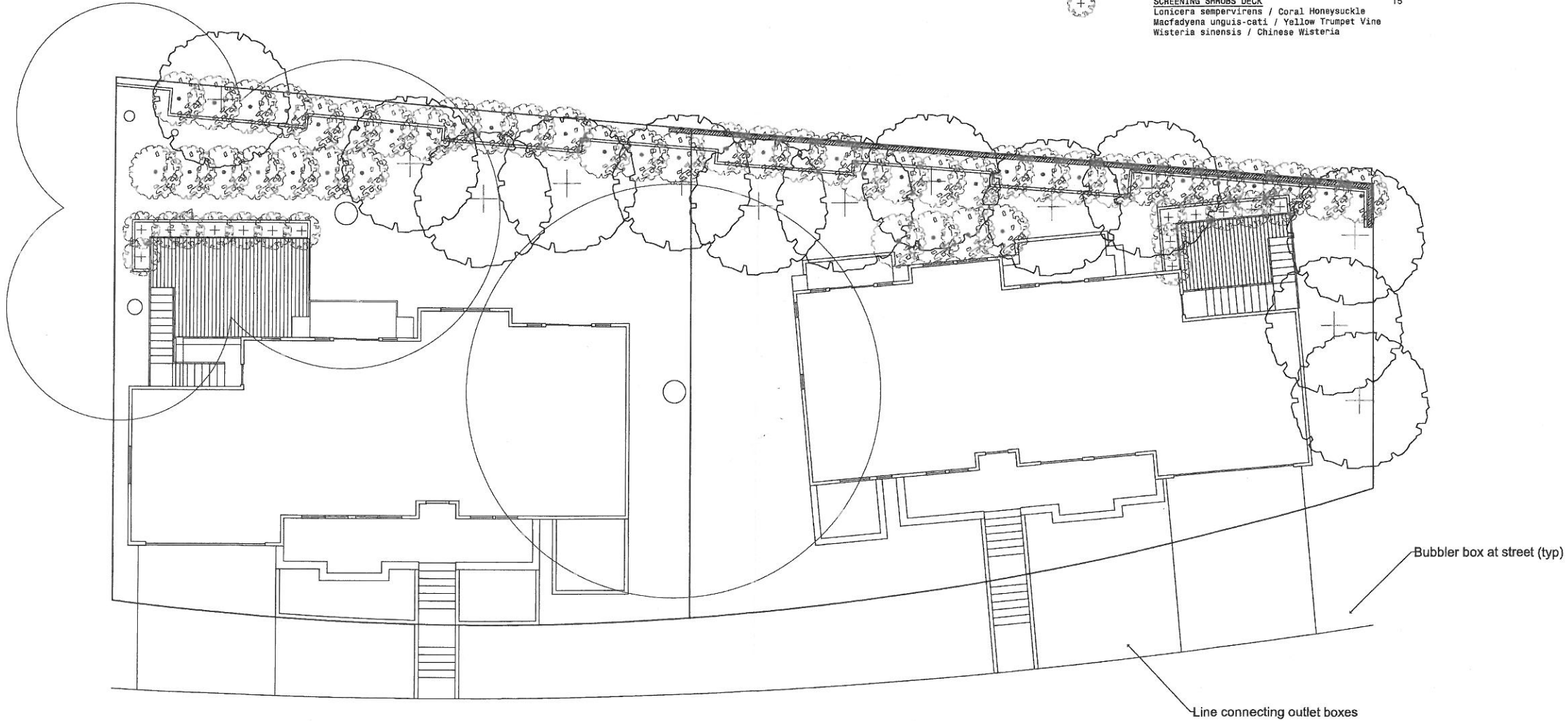
Los Gatos, California

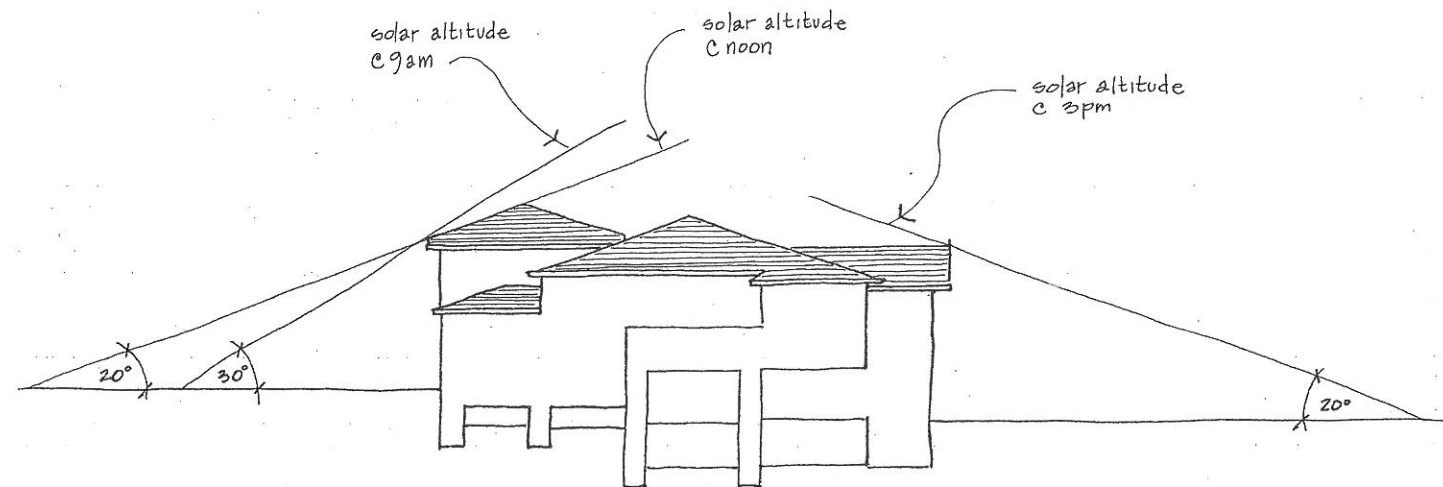
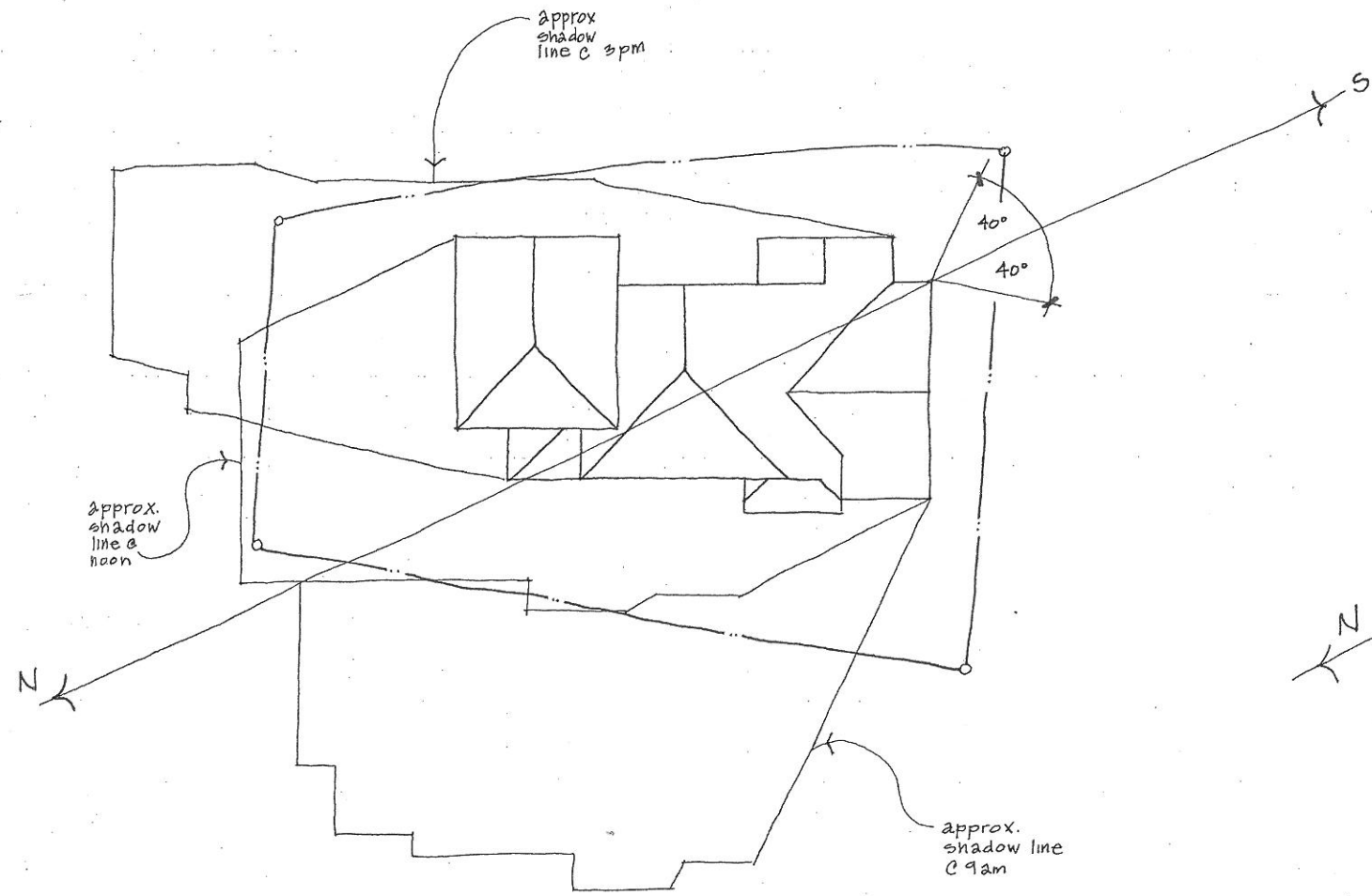
SHEET: Section C
SCALE: noted
DATE: 5.6.10
DRAWN:

A8

CONCEPT PLANT SCHEDULE

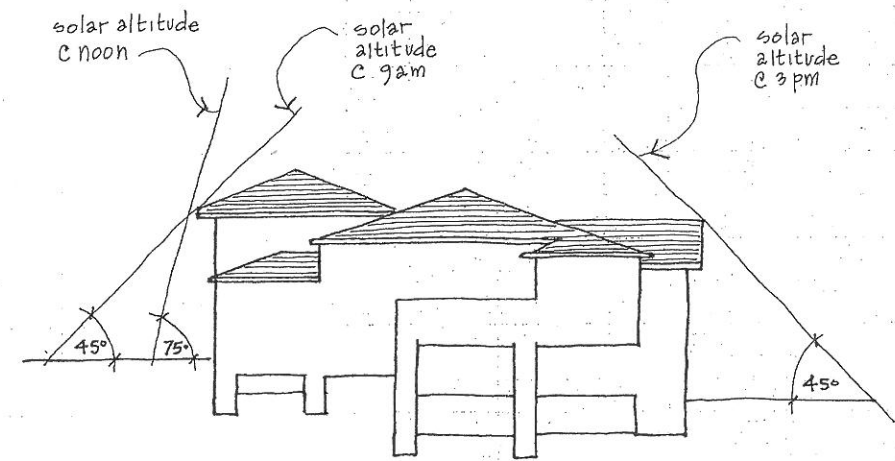
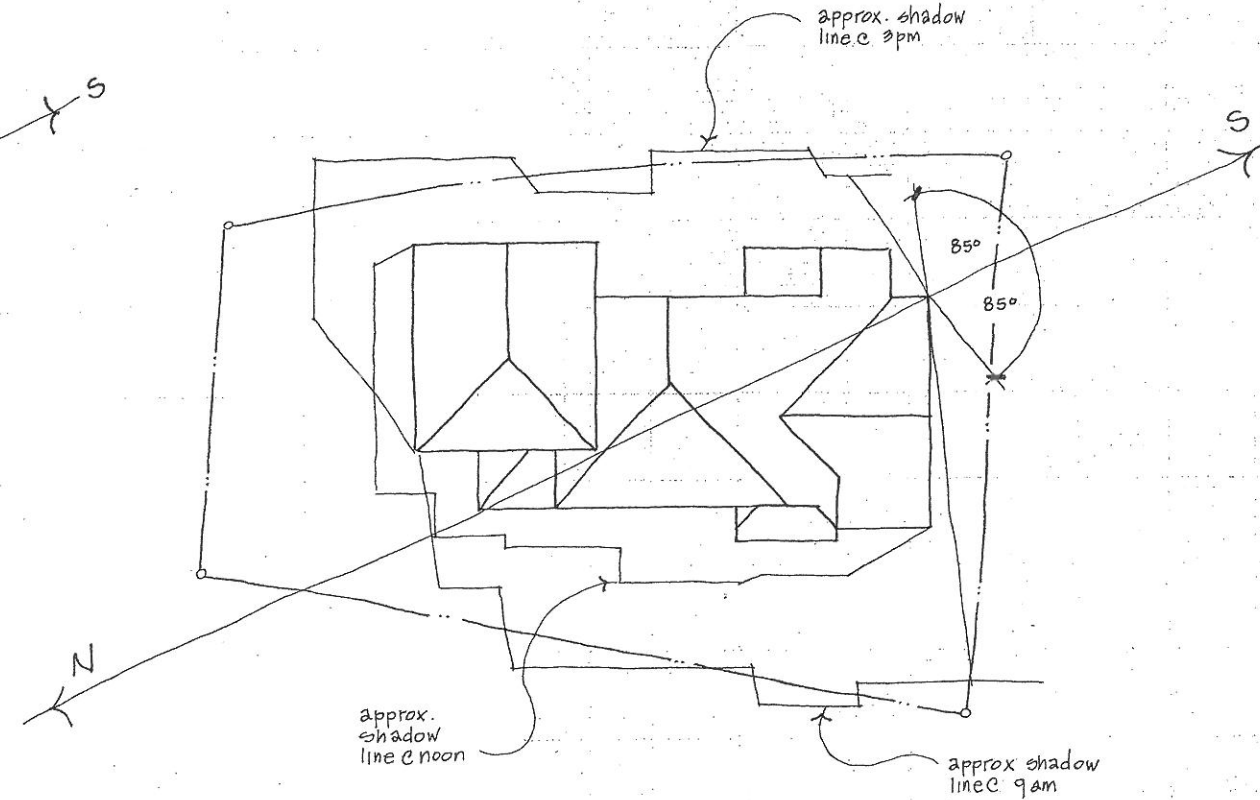
	SCREENING TREES Grevillea robusta / Silk Oak Umbellularia californica / California Laurel	13
	SCREENING SHRUBS PL Laurus nobilis / Sweet Bay Ligustrum texanum / Texas Privet Rhamnus alaternus / Italian Buckthorn	42
	SCREENING SHRUBS DECK Lonicera sempervirens / Coral Honeysuckle Maesobotrya unguis-cati / Yellow Trumpet Vine Wisteria sinensis / Chinese Wisteria	15





SHADOW STUDY @ December 21

1"=10'-0"



SHADOW STUDY @ June 21

1"=10'-0"

REVISIONS

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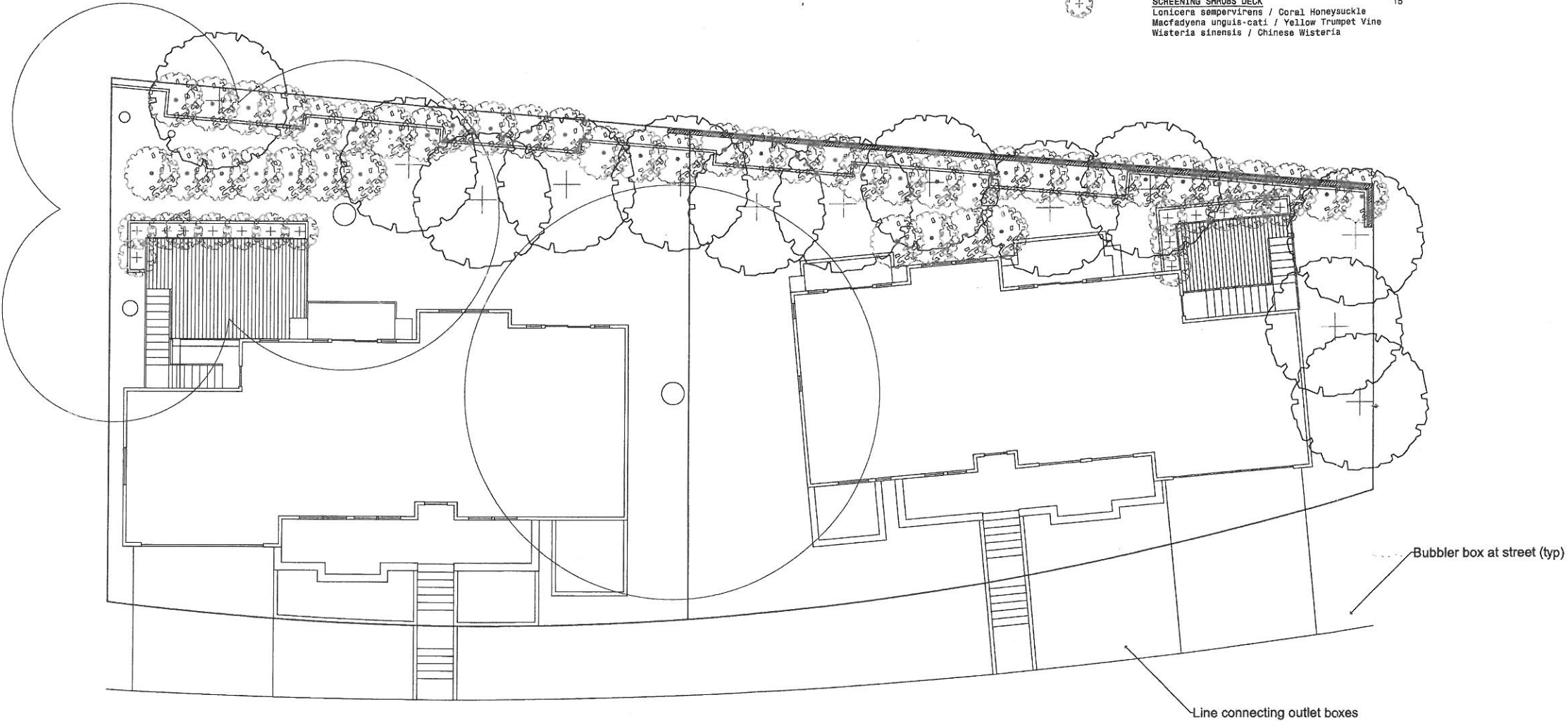
3339 BELLA VISTA AVENUE
Los Gatos, California
Proposed New Residence For:

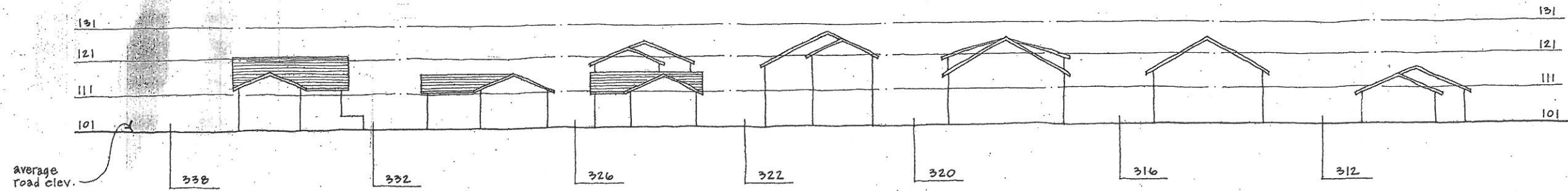
SHEET: street scenes
SCALE: noted
DATE: 5/6/10
DRAWN:

A9

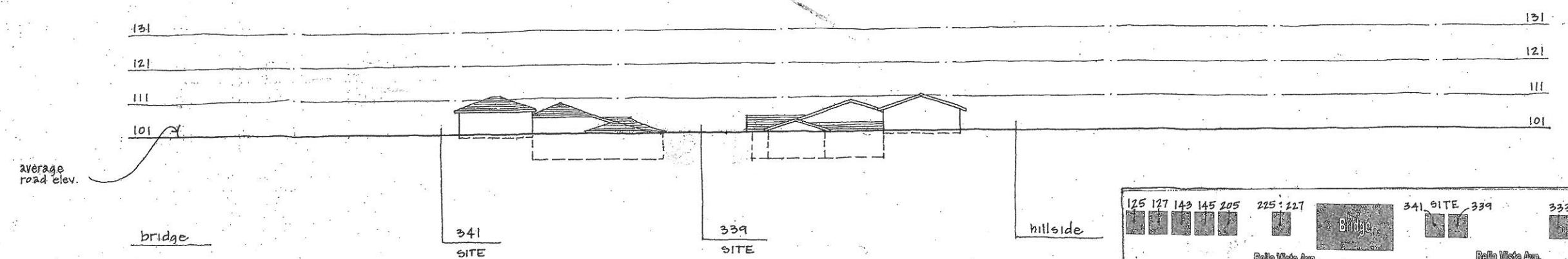
CONCEPT PLANT SCHEDULE

	SCREENING TREES Grevillea robusta / Silk Oak Umbellularia californica / California Laurel	13
	SCREENING SHRUBS PL Laurus nobilis / Sweet Bay Ligustrum texanum / Texas Privet Rhamnus alaternus / Italian Buckthorn	42
	SCREENING SHRUBS DECK Lonicera sempervirens / Coral Honeysuckle Macfadyena unguis-cati / Yellow Trumpet Vine Wisteria sinensis / Chinese Wisteria	15



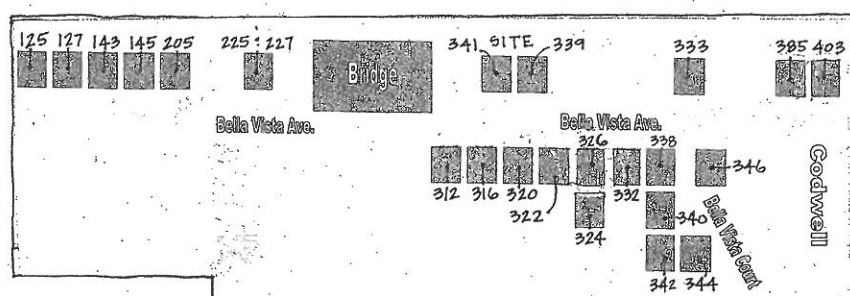
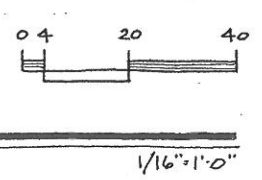


OPPOSITE SIDE OF BELLA VISTA AVE.



PROJECT SIDE OF BELLA VISTA AVE.

STREETSCAPES



Neighborhood Survey

Address	APN	Lot Size	Bldg Sq. Ft.	FAR	Stories	Units
125 Bella Vista Ave.	529.25.005	3,049	1,260	.4133	1	
127 Bella Vista Ave.	529.25.004	3,484	999	.2867	1	
143 Bella Vista Ave.	529.25.003	4,791	1,404	.2930	1	
145 Bella Vista Ct.	529.25.002	4,791	1,750	.3652	2	
166 Bella Vista Ave.	529.23.004	4,791	1,392	.2905	1	
205 Bella Vista Ave.	529.24.005	6,098	1,907	.3127	1	
312 Bella Vista Ave.	529.22.029	10,018	.884	.0882	1	
316 Bella Vista Ave.	529.22.030	9,147	1,344	.1469	2	
320 Bella Vista Ave.	529.22.056	9,583	2,407	.2511	2	
322 Bella Vista Ave.	529.22.057	9,147	3,500	.3826	2	
324 Bella Vista Ave.	529.22.032	10,890	1,591	.1460	1	
332 Bella Vista Ave.	529.22.033	15,246	1,571	.1030	2	
338 Bella Vista Ave.	529.48.001	1,742	1,157	.6641	1	2
339 Bella Vista Ave.	529.23.016	4,915	1,843	.3750	2	
340 Bella Vista Ave.	529.48.002	1,306	1,640	1.255	2	
341 Bella Vista Ave.	529.23.015	5,240	1,728	.3298	2	
342 Bella Vista Ave.	529.48.003	871	1,420	1.630	2	
344 Bella Vista Ave.	529.48.004	871	1,233	1.415	1	
346 Bella Vista Ave.	529.22.055	12,196	1,483	.1215	1	
350 Bella Vista Ave.	529.22.036	7,405	1,842	.2487	2	
354 Bella Vista Ave.	529.22.037	10,890	2,274	.2088	1	
385 Bella Vista Ave.	529.21.009	10,018	3,016	.3011	2	
403 Bella Vista Ave.	529.21.036	13,068	2,662	.2037	2	
339 Bella Vista	529.23.004	4,790	1,592		1	2

REVISIONS	BY
9.29.06	
5.7.10	db

BR

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Los Gatos, CA 95030

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408.354.6514 (fax)

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Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: streetscapes / n.s.
SCALE: noted
DATE: 3.15.06
DRAWN:

P1

REVISIONS	BY
5.7.10	db

BR

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Los Gatos, CA 95030

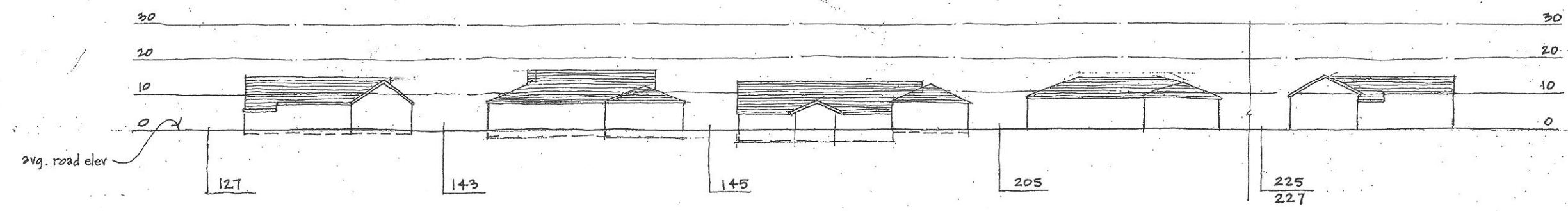
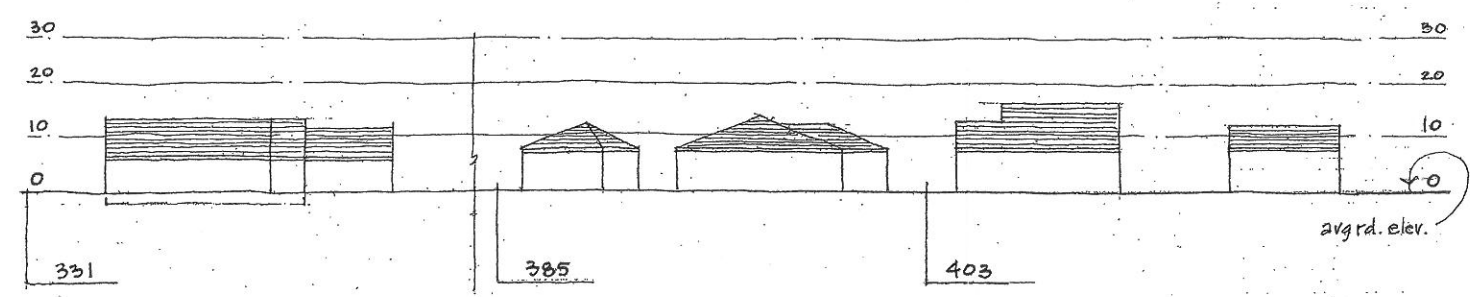
408.354.6224 (office)
408.354.0511 (fax)

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Proposed New Residence For:
339 BELLA VISTA AVENUE
Los Gatos, California

SHEET: streetscapes
SCALE: noted
DATE: 7.14.06
DRAWN:

P2



ADDITIONAL STREETSCAPES

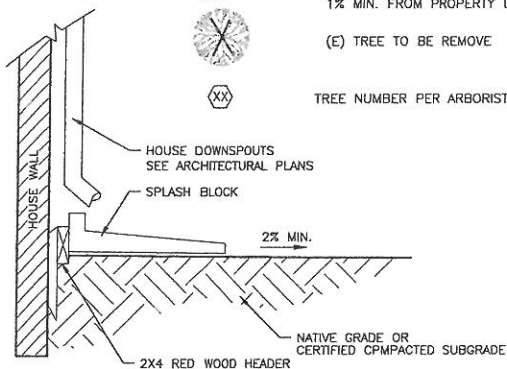
1/16"=1'-0"

ABBREVIATIONS

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GFF	FINISH GRADE AT FRONT OF GARAGE
AD	AREA DRAIN	HP	HIGH POINT
BOW	GRADE AT BOTTOM OF WALL	INV	INVERT
C	CONCRETE	NTS	NOT TO SCALE
CB	CATCH BASIN	(N)	NEW
CL	CHAIN LINK	P	PAVEMENT
CF	FINISH GRADE AT BACK OF GARAGE	PCC	PORTLAND CEMENT CONCRETE
CO	CLEAN OUT	PPP	PERFORATED PLASTIC PIPE
CPP	CORRUGATED PLASTIC PIPE	TC	TOP OF CURB
C-OP	CURB OPENING	TG	TOP OF GRATE
DRW	DRIVEWAY	TOF	TOP OF FOUNDATION
(E)	EXISTING	TOS	TOP OF SLAB
FF	FINISH FLOOR	TOW	TOP OF WALL
FG	FINISH GRADE	SSB	SIDE SETBACK
FL	FLOW LINE	SSCO	SANITARY SEWER CLEAN OUT
G	GRADE	SUD	SUBDRAIN PIPE
		WLK	WALKWAY

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	F---	FILL AREA LIMIT
---	C---	CUT AREA LIMIT
102	102	CONTOUR
---	W---	WATER LINE
---	SD---	STORM DRAIN PIPE (SOLID)
---	SS---	SANITARY SEWER PIPE
---	SUB---	SUBDRAIN PIPE (PERFORATED)
OH	OH	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
●	●	SANITARY SEWER MANHOLE
●	●	STORM DRAIN MANHOLE
WM	WM	ELECTROLIER
WM	WM	WATER METER
○	○	TREE WITH TRUNK
102.23	102.23	6" WOODEN FENCE
---	---	SPOT ELEVATION
---	---	TREE PROTECTION FENCE
---	---	5' TALL CHAIN LINK
---	---	SWALE
---	---	DIRECTION OF FLOW IN PIPE
---	---	AREA DRAIN/ INLET
---	---	OVERLAND RELEASE PATH
---	---	GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE
---	---	1% MIN. FROM PROPERTY LINE TO SWALE
(E)	(E)	TREE TO BE REMOVE
XX	XX	TREE NUMBER PER ARBORIST REPORT

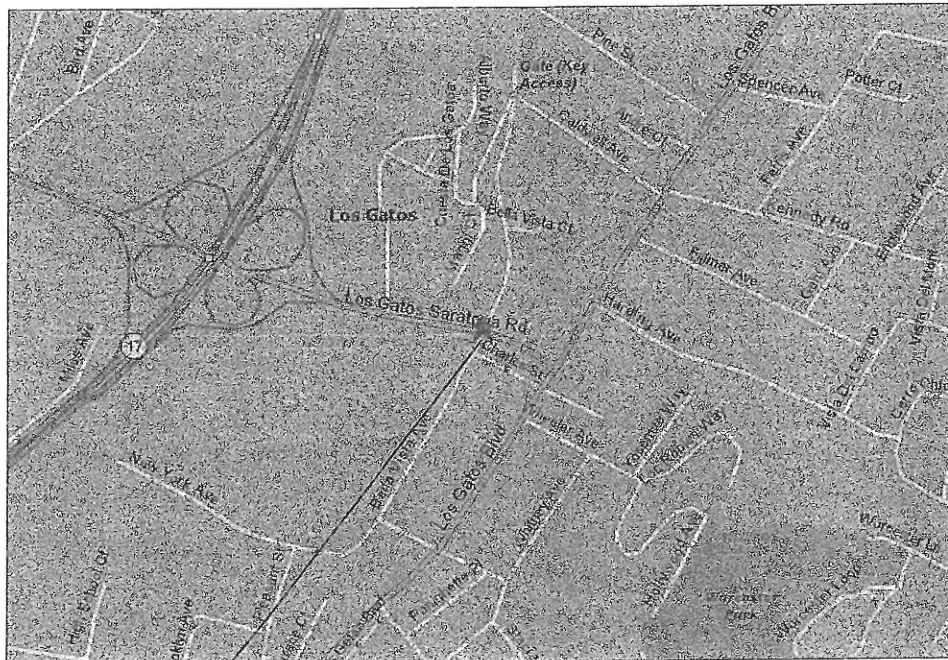


SPLASH BLOCK
N.T.S.

GRADING AND DRAINAGE PLANS

TWO (2) NEW SINGLE FAMILY HOMES

339 AND 341 BELLA VISTA, LOS GATOS, CA



PROJECT SITE

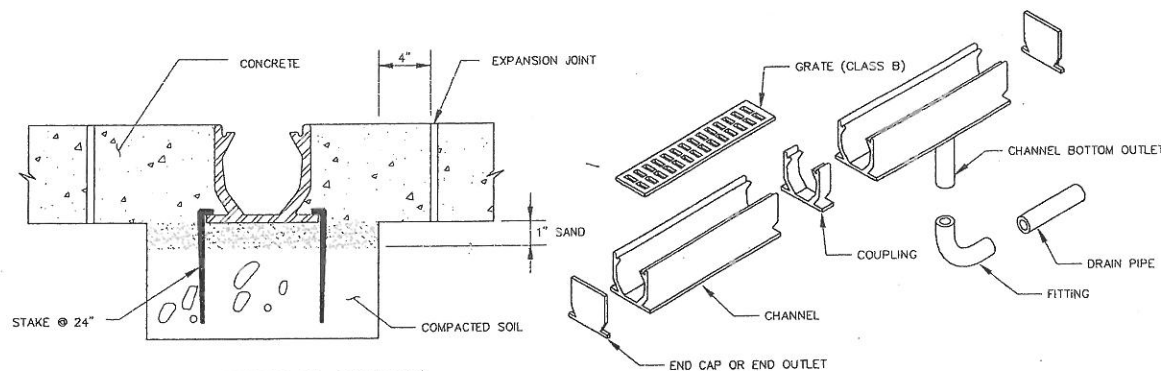
LOCATION MAP
N.T.S.

PUMP NOTES:

1. HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING .
2. PUMPS TO BE CONNECTED TO BACKUP GENERATORS TO PREVENT FLOODING IN CASE OF BLACKOUT.
3. PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.
4. PROVIDE RESERVE PUMP FOR EACH PUMP WELL.
5. PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/ LIGHT ALARM, TO NOTIFY RESIDENTS OF POSSIBLE RISE OF WATER IN PUMPWELL.

PIPE NOTES:

ALL THE PIPES TO BE PVC SCHEDULE 40 OR BETTER.



CHANNEL DRAIN TYPICAL DETAIL
N.T.S.

SHEET INDEX:

C-1	COVER SHEET/ NOTES/ DETAILS
C-2	SITE PLAN, TOPOGRAPHY MAP, LOT LINES
C-3	341 BELLA VISTA, GRADING AND DRAINAGE PLAN
C-4	339 BELLA VISTA, GRADING AND DRAINAGE PLAN
C-5	341 BELLA VISTA CROSS SECTIONS
C-6	339 BELLA VISTA CROSS SECTIONS
C-7	UTILITY PLAN

DRAINAGE NOTES

1. Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
2. All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
3. On site storm drain lines shall consist of solid PVC-SDR35 minimum or better.

UTILITY NOTES::

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. CONNECT SANITARY SEWER AND WATER LINES TO EXISTING STREET LATERALS.
3. CONNECT GAS AND ELECTRIC LINES TO EXISTING STREET LATERALS, PER PG&E STANDARDS.
4. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
5. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
6. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER/ DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLANS.

NOTE:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

GEOTECHNICAL ENGINEER OF RECORD

THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL REPORT

PREPARED BY _____ DATED _____
BY C.E.G. # _____ BY G.E. # _____

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



NOTICE TO CONTRACTOR:

TOP OF WALL AND BACK OF WALL ELEVATIONS SHOWN ON THIS PLANS ARE TO PROVIDE DESIGN GUIDE LINES FOR STRUCTURAL ENGINEER AND MAY NOT BE THE ACTUAL VALUE. CONTRACTOR TO REVIEW THE STRUCTURAL DETAILS AND CALCULATE ACTUAL ELEVATIONS.

EARTHWORK TABLE

	CUT (CY)	FILL (CY)	IMPORT (CY)	EXPORT (CY)
BASEMENT	191	26		
STORAGE	35	14		
PORCH/FRONT	48	20		
DRIVEWAY	0	29		
TOTAL	274	89	0	185
BASEMENT	172	31		
STORAGE	33	11		
PORCH/FRONT	42	20		
DRIVEWAY	0	34		
TOTAL	247	96	0	150
TOTAL BALANCE:	520	184	0	336

NOTE: 1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFF'S.

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GRADING AND DRAINAGE PLANS
COVER SHEET
339 AND 341 BELLA VISTA, LOS GATOS, CA
APN: 529-23-015 AND 529-23-016

Revisions:

Date: JULY 22, 2010
Scale: AS SHOWN
Prepared by: V.G.
Checked by: S.R.
Job #: 2622

Sheet:

1 OF 7
C-1

TREE TABLE, 341 & 339 BELLA VISTA

TREE LABEL	SCIENTIFIC NAME COMMON NAME	DIA. @ 3" HT. (inches)	DRIP (FEET) HT. X W.	ACTION
1	QUERCUS AGRIFOLIA COAST LIVE OAK	8.3, 16.3, 7.5 18.1 18.3, 17.5, 13.2, 14.6	45 X 65	REMOVE
2	COAST LIVE OAK	44.6	45 X 65	REMAIN
3	COAST LIVE OAK	34.7	40 X 60	REMOVE
4	PRUNUS AMYGDALUS ALMOND	5.3	8 X 4	REMOVE
5	COAST LIVE OAK	8.2	22 X 12	REMOVE
6	COAST LIVE OAK	7.1	20 X 12	REMOVE
7	COAST LIVE OAK	8.2, 9.1	25 X 12	REMOVE
8	COAST LIVE OAK	9.3	20 X 15	REMOVE
9	COAST LIVE OAK	9.2, 10.7, 8.0	20 X 25	REMOVE
10	COAST LIVE OAK	13.0	20 X 18	REMOVE
11	ALMOND	4.9, 3.5, 3.0	18 X 6	REMOVE
12	COAST LIVE OAK	31.7	30 X 60	REMAIN
13	QUERCUS LOBATA VALLEY OAK	11.5	40 X 15	REMAIN
14	COAST LIVE OAK	4.7	12 X 10	REMAIN
15	COAST LIVE OAK	5.6, 11.0, 8.1, 17.8	35 X 25	REMAIN
16	OLEA EUROPAEA EUROPEAN OLIV	8.5, 4.0, 4.2, 4.0	18 X 18	REMAIN
17	COAST LIVE OAK	17.3	40 X 30	REMAIN
18	COAST LIVE OAK	11.7	25 X 20	REMAIN
19	PIRUS CANARIENSIS CANARY ISLAND PINE	8.4	40 X 9	REMAIN
20	ALMOND	4.2, 3.0	16 X 12	REMOVE
21	COAST LIVE OAK	5.1	16 X 12	REMOVE
22	COAST LIVE OAK	5.2	X 15	REMAIN
23	COAST LIVE OAK	4.6	X 10	REMAIN
24	COAST LIVE OAK	5.0	X 10	REMAIN

- NOTES:
- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF
 - REFERENCED ASSUMED B.M. TOP OF SANITARY SEWER MANHOLE LOCATED AT BELLA VISTA AVE., DISTANT 34.5± EASTERLY OF MOST EASTERLY PROPERTY CORNER AS SHOWN UPON THIS MAP EL. 100.00
 - THE BEARING N 31°53' E OF NORTHWESTERLY LINE OF LOT 11, AS SHOWN UPON CERTAIN MAP ENTITLED "MAP OF STANLEY'S SUBDIVISION", RECORDED IN BOOK "N" OF MAPS, AT PAGE 8, WAS TAKEN AS BASIS OF BEARINGS FOR ALL BEARINGS SHOWN HEREON.
 - THIS IS A TOPOGRAPHIC MAP, NOT A BOUNDARY SURVEY. LINES SHOWN ARE DERIVED FROM RECORD DATA AND MAY VARY SOMEWHAT FROM ABSOLUTE BOUNDARY LOCATION.

LEGEND AND ABBREVIATIONS

- STREET CENTERLINE
WOOD FENCE
PROPERTY LINE
EDGE OF PAVEMENT
ANCHOR
WATER VALVE
SANITARY SEWER MANHOLE
POWER POLE
CHAINLINK FENCE

EP

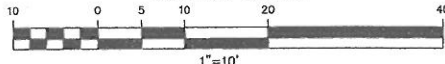
ANC

SSMH

PP

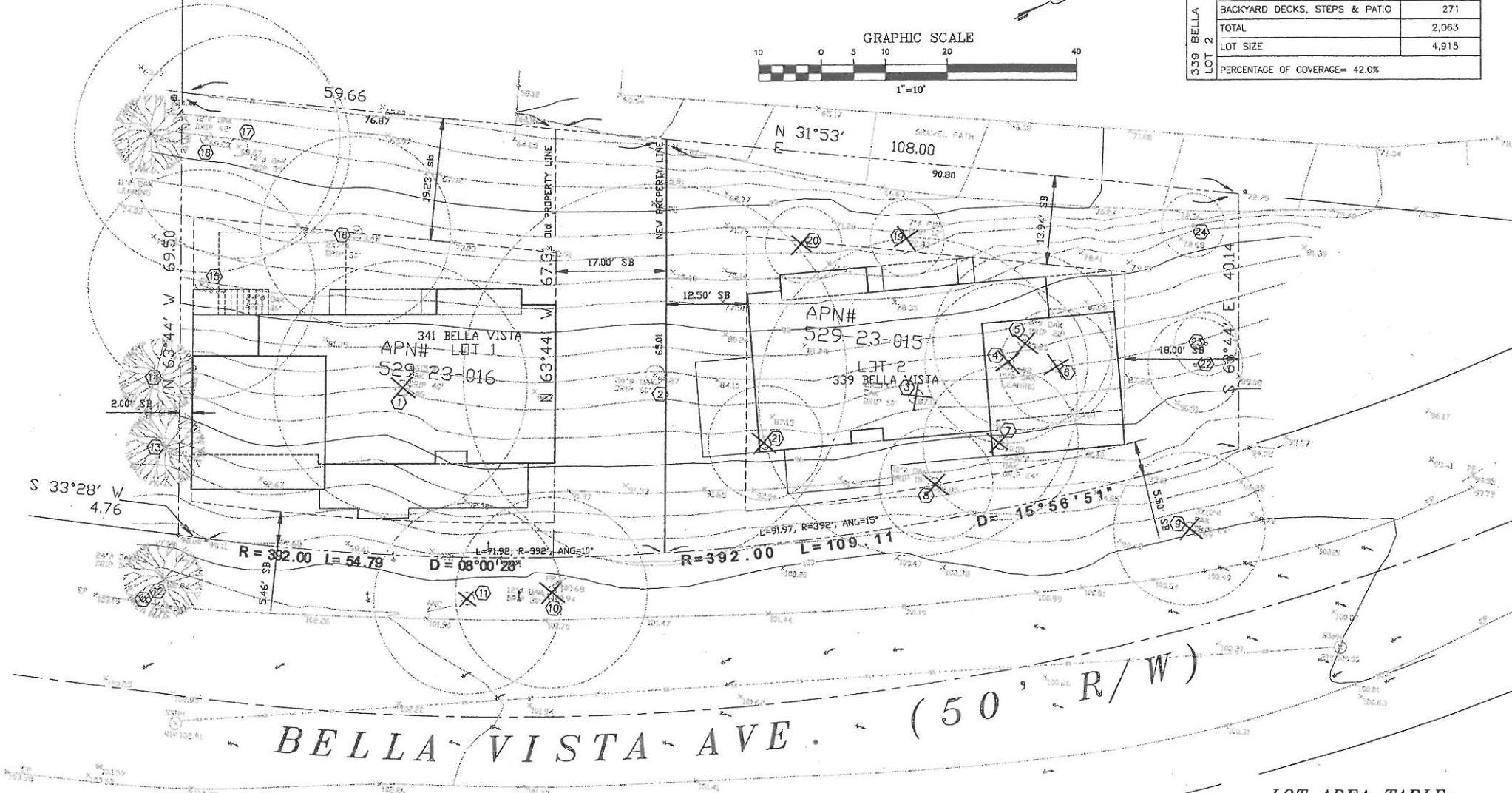
TREE NUMBER PER ARBORIST REPORT

GRAPHIC SCALE



IMPERVIOUS AREA:

PRE DEVELOPMENT = 0 (SQ. FT.)	
POST DEVELOPMENT	AREA (SQ. FT.)
BUILDING	1,419
DRIVEWAY	173
FRONT PORCH, WALKWAY & STEPS	288
BACKYARD DECKS, STEPS & PATIO	402
TOTAL	2,282
LOT SIZE	5,240
PERCENTAGE OF COVERAGE=	43.5%
BUILDING	1,419
DRIVEWAY	149
FRONT PORCH, WALKWAY & STEPS	224
BACKYARD DECKS, STEPS & PATIO	271
TOTAL	2,063
LOT SIZE	4,915
PERCENTAGE OF COVERAGE=	42.0%



DRAINAGE NOTES

1. Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
2. All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
3. On site storm drain lines shall consist of solid PVC-SCH 40 minimum or better. Use PVC SCH80 for pipes running under driveway.
4. Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

LOT 1 (341 BELLA VISTA) SLOPE DENSITY CALCULATION:

LOT AREA (GROSS) = 5,240.0 SQ. FT.
2' CONTOUR'S TOTAL LENGTH = 1,312.7' FT
SLOPE DENSITY : 50.1%

LOT 2 (339 BELLA VISTA) SLOPE DENSITY CALCULATION:

LOT AREA (GROSS) = 4,915.3 SQ. FT.
2' CONTOUR'S TOTAL LENGTH = 1,301.1'
SLOPE DENSITY : 52.9%

SLOPE NOTE:

ENTIRE PROJECT AREA HAS A SLOPE STEEPER THAN 30%

SLOPE NOTE:

ENTIRE PROJECT AREA HAS A SLOPE STEEPER THAN 30%

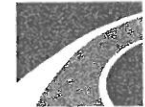
LOT AREA TABLE:

PRE DEVELOPMENT:		
	AREA (SQ. FT.)	AREA (ACRES)
LOT 1	4,106	0.094
LOT 2	6,049	0.139
TOTAL	10,155	0.233

POST DEVELOPMENT:

	AREA (SQ. FT.)	AREA (ACRES)
LOT 1	5,240	0.120
LOT 2	4,915	0.113
TOTAL	10,155	0.233

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GRADING AND DRAINAGE PLANS

SITE PLAN

339 AND 341 BELLA VISTA, LOS GATOS, CA

APN: 529-23-015 AND 529-23-016

Revisions:

Date: JULY 22, 2010
Scale: 1"=10'
Prepared by: V.G.
Checked by: S.R.
Job #: 2622

Sheet:

2 OF 7
C-2



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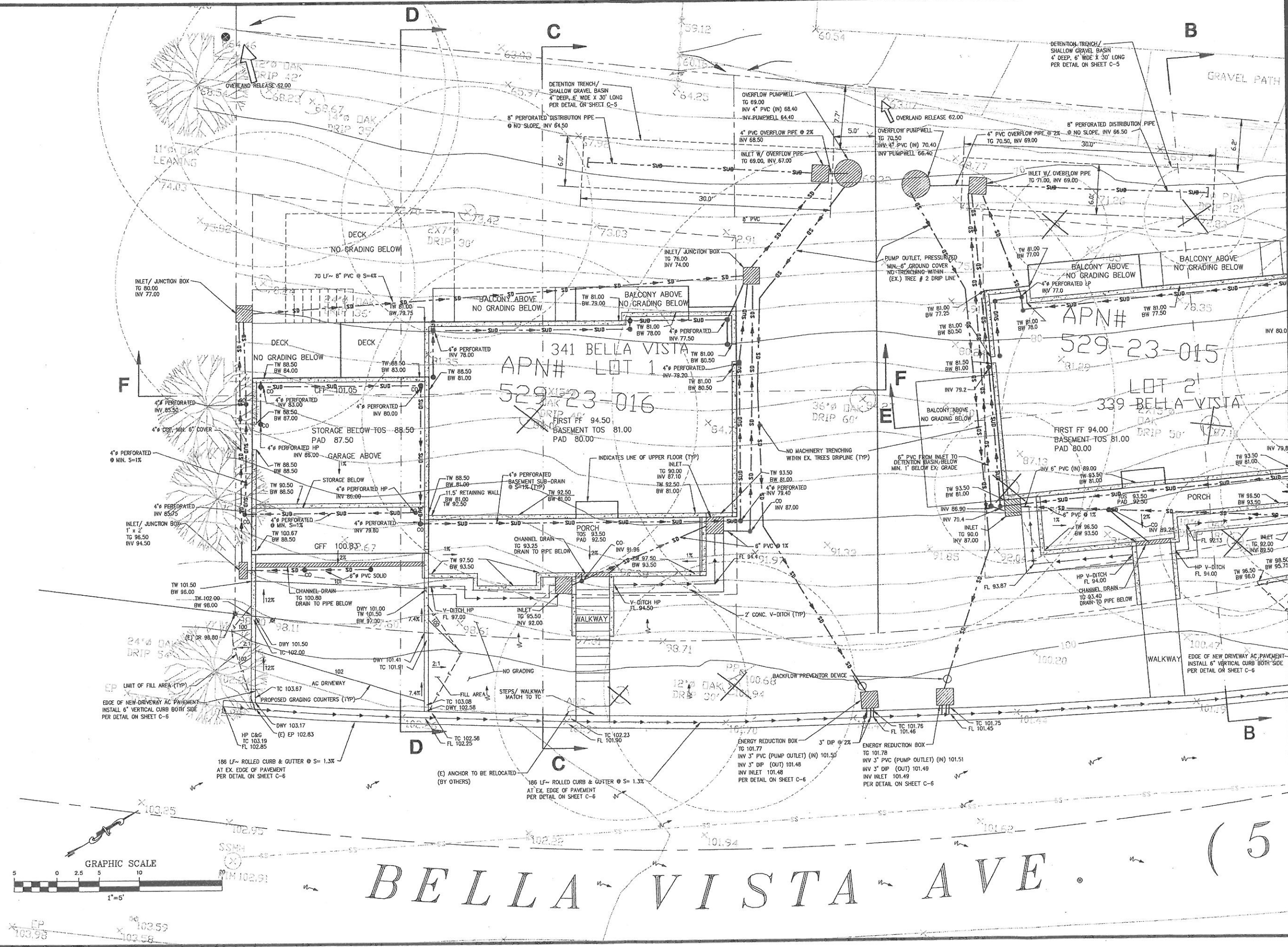
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GRADING AND DRAINAGE PLANS
341 BELLA VISTA, GRADING AND DRAINAGE PLAN
339 AND 341 BELLA VISTA, LOS GATOS, CA
APN: 529-23-015 AND 529-23-016

Revisions:

Date: JULY 22, 2010
Scale: 1"=5'
Prepared by: V.G.
Checked by: S.R.
Job #: 2622
Sheet: 3 OF 7
C-3





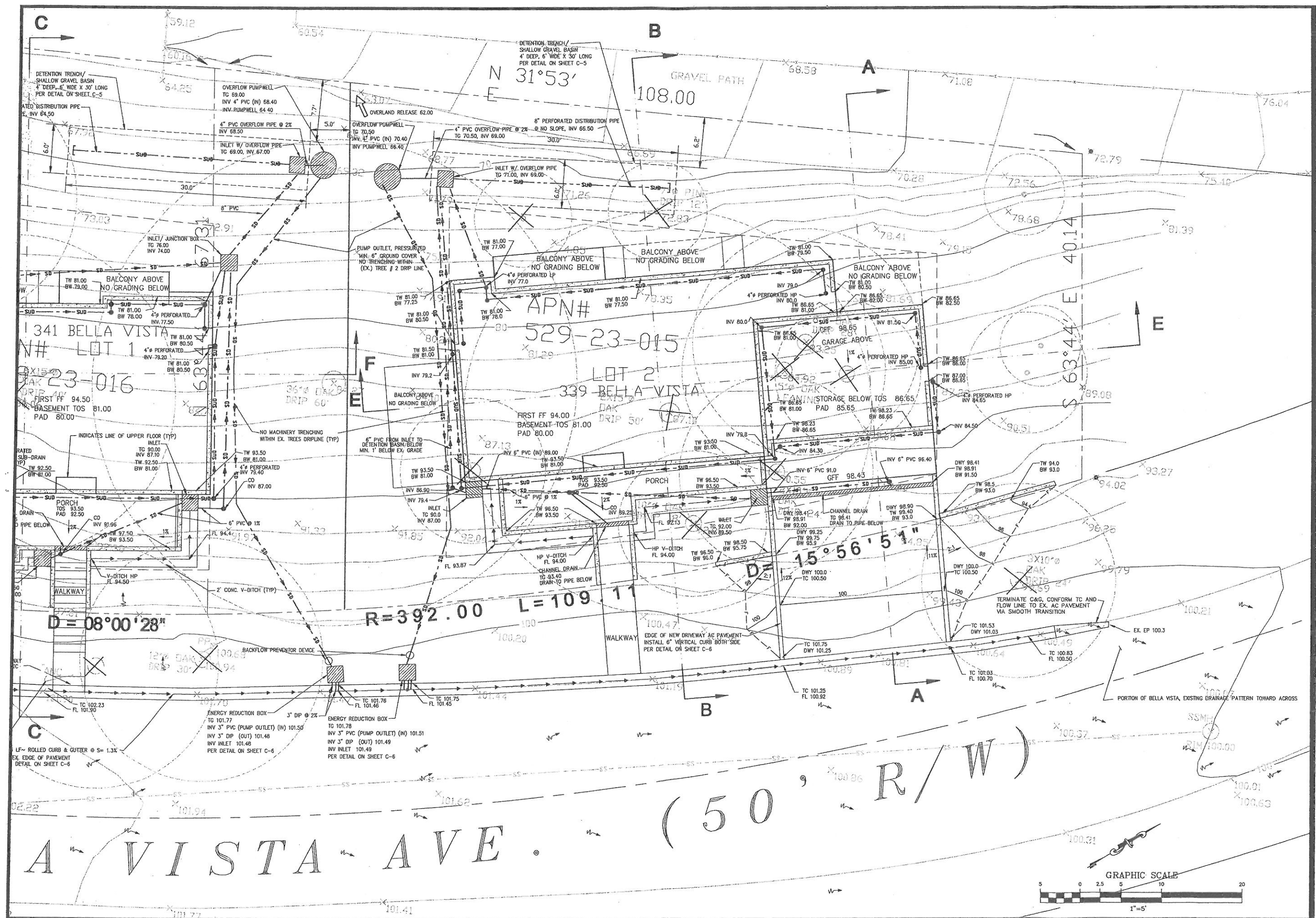
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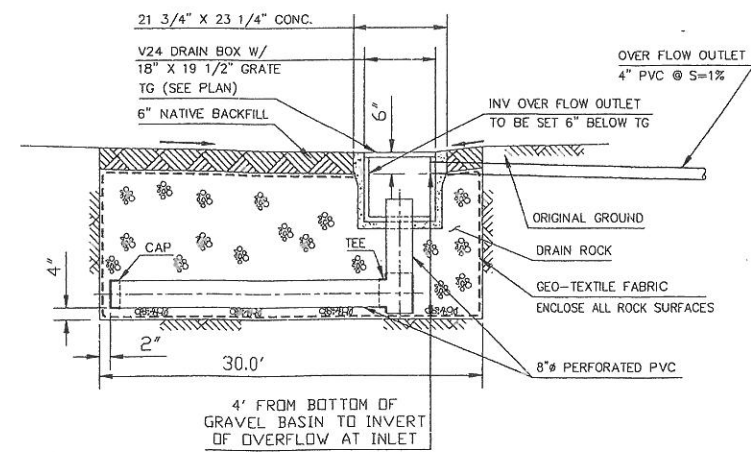
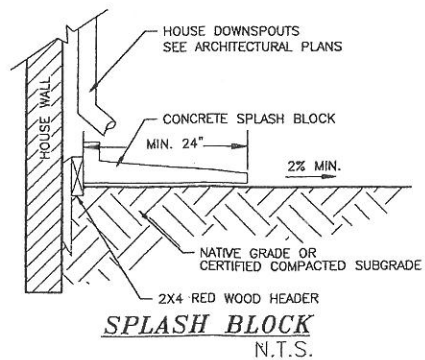
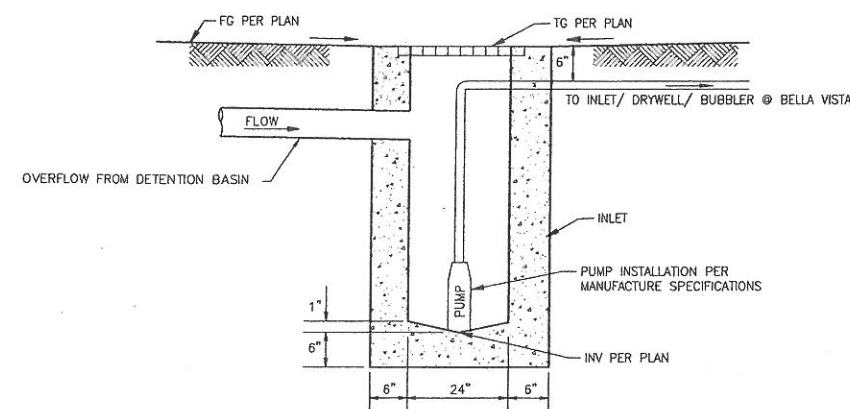
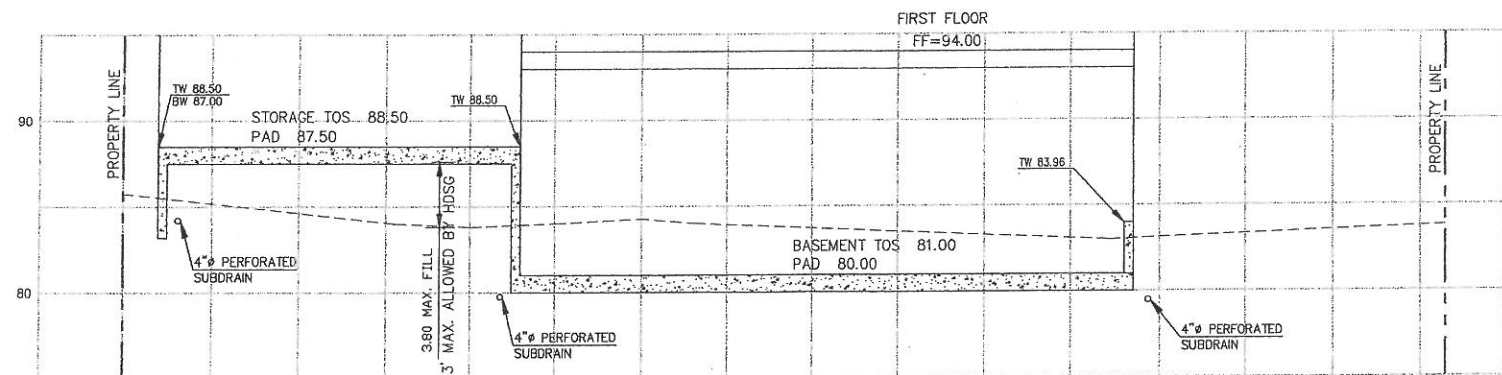
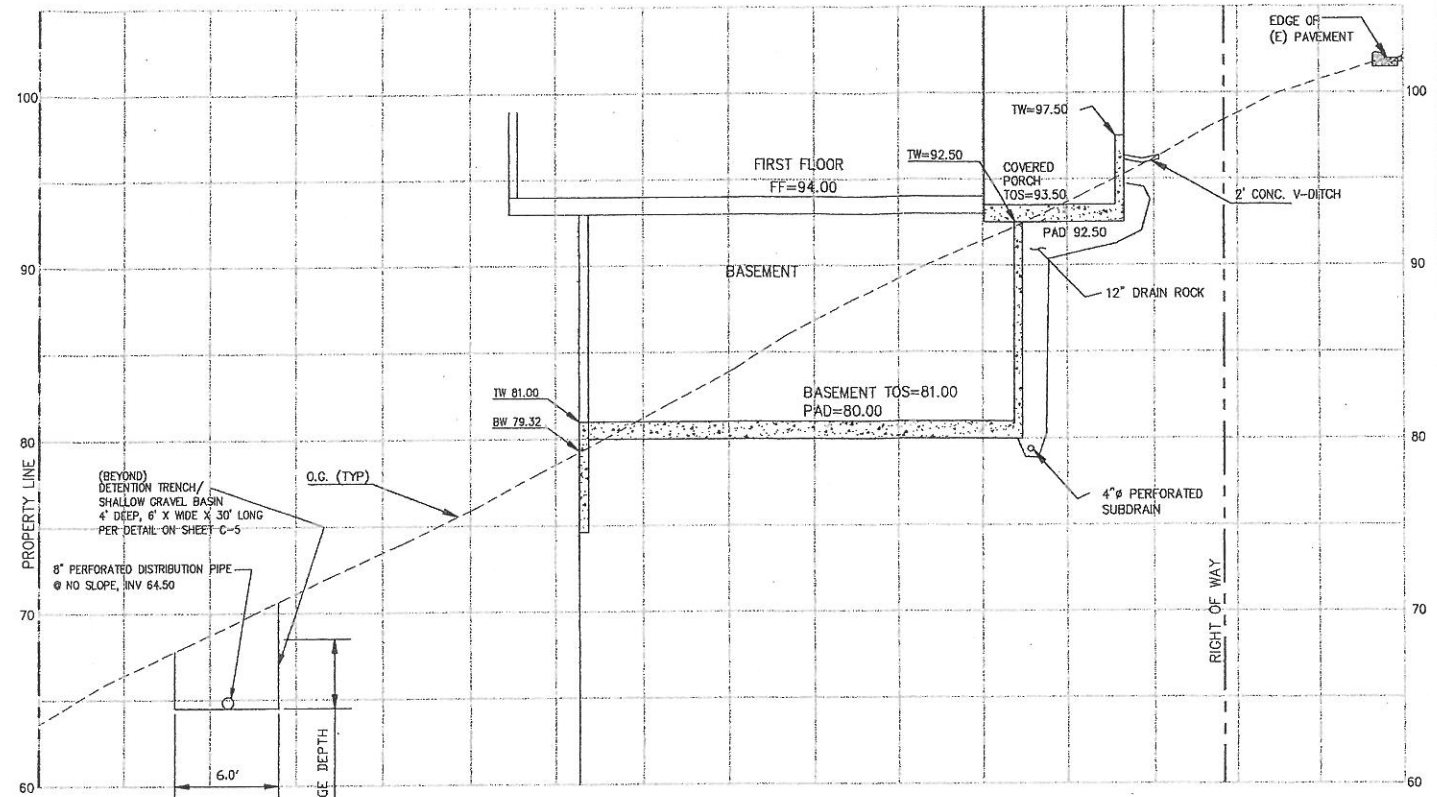
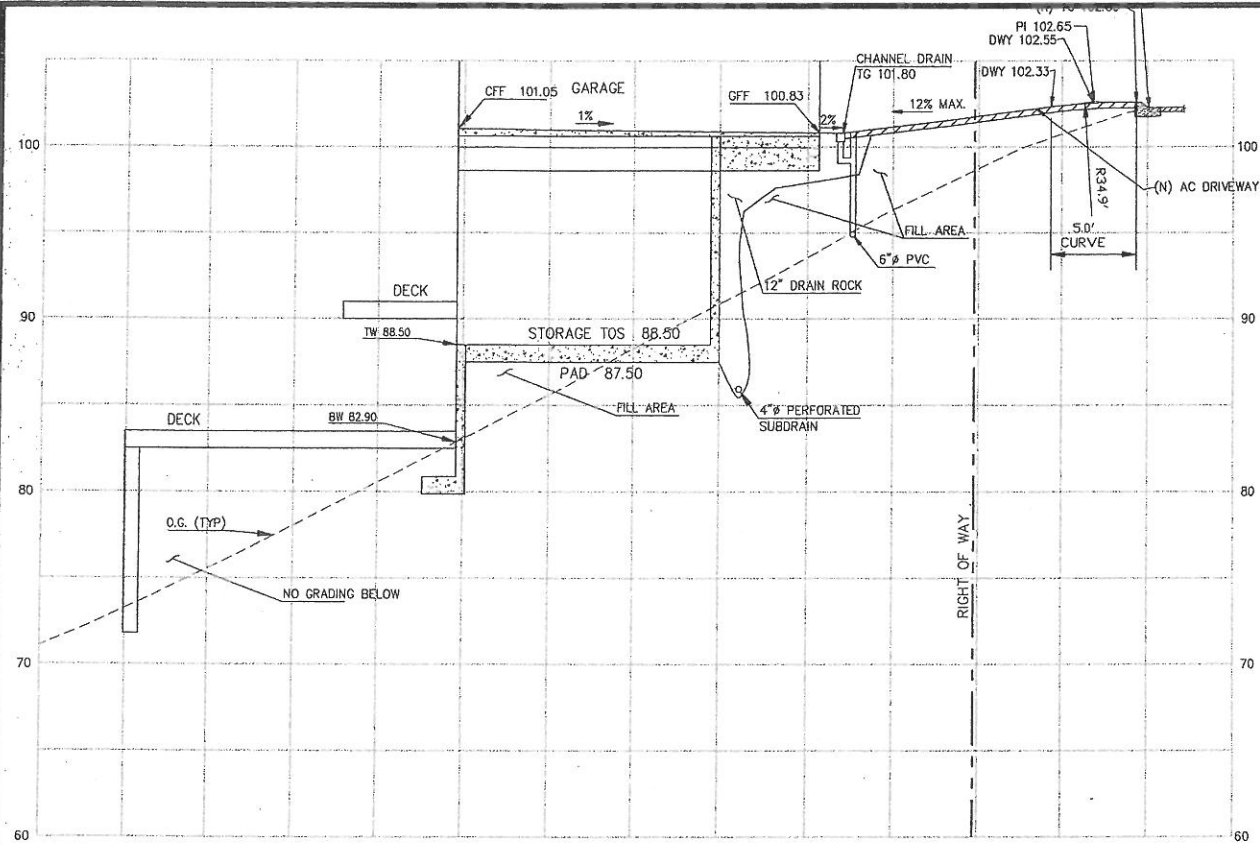
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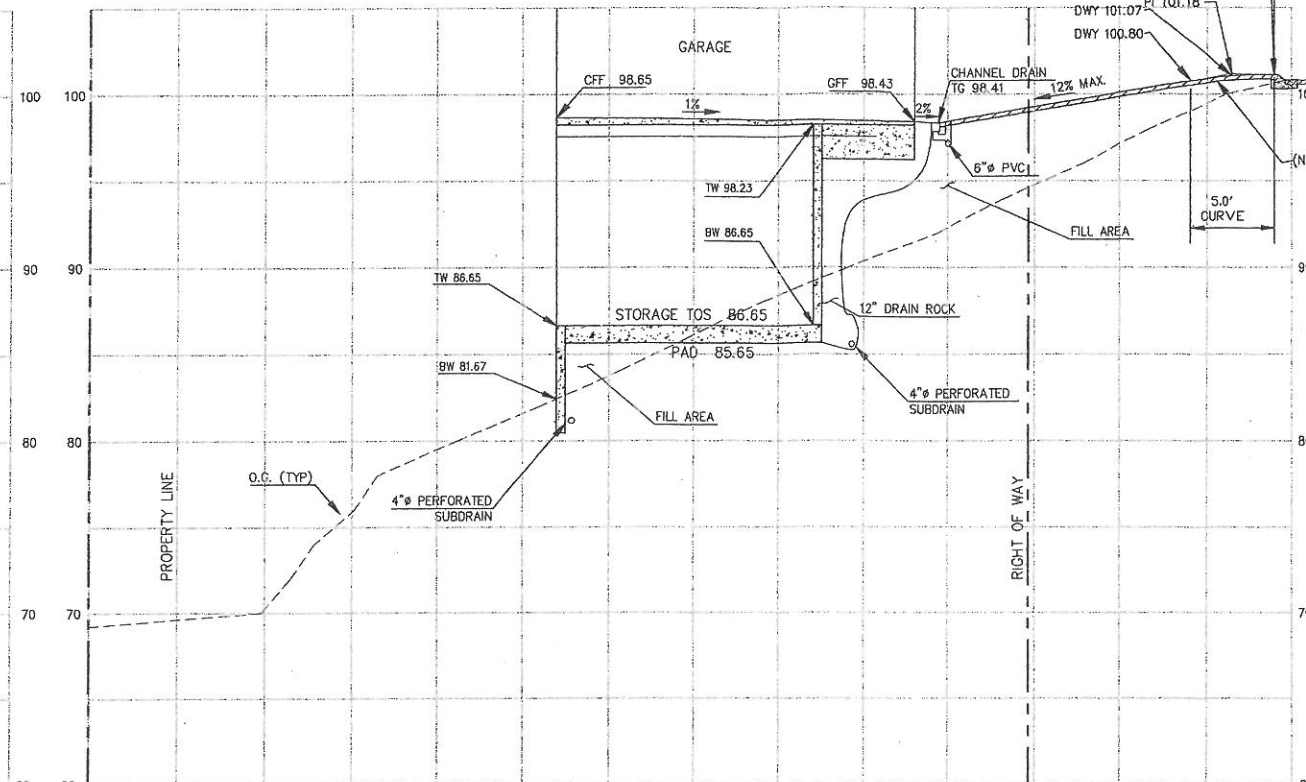
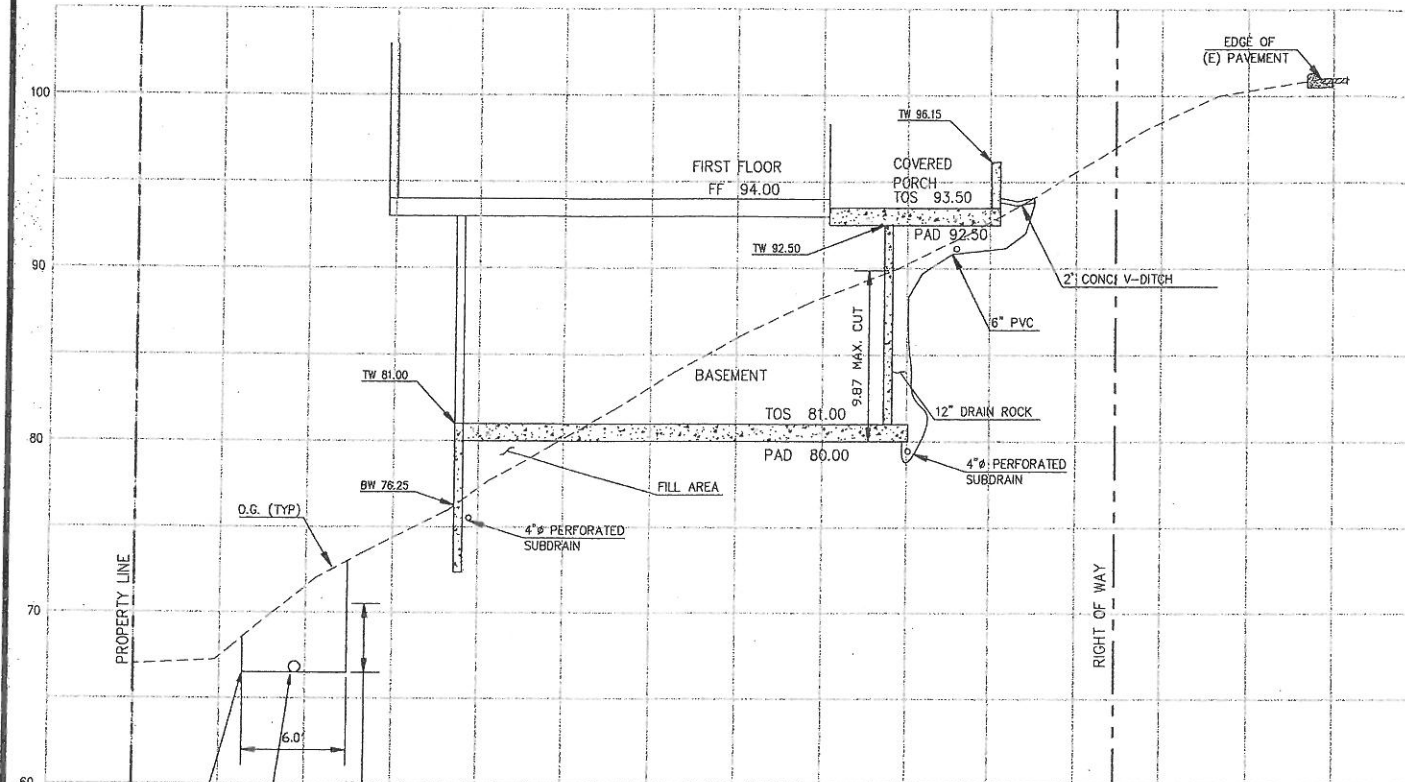
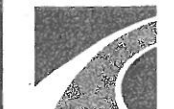
APN: 529-23-015 AND 529-23-016

Date: JULY 22, 2010
Scale: 1"=5'
Prepared by: V.G.
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Job #: 2622
Sheet:

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C-4



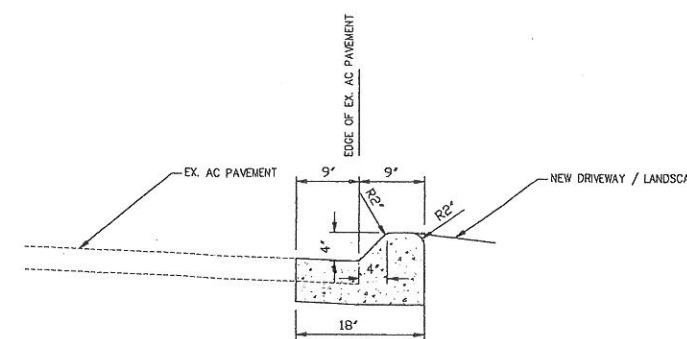
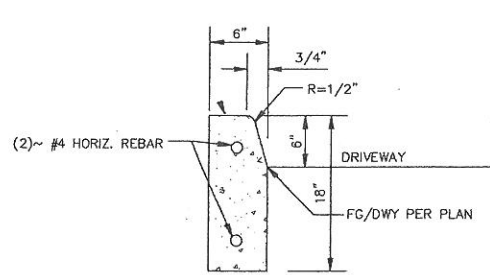
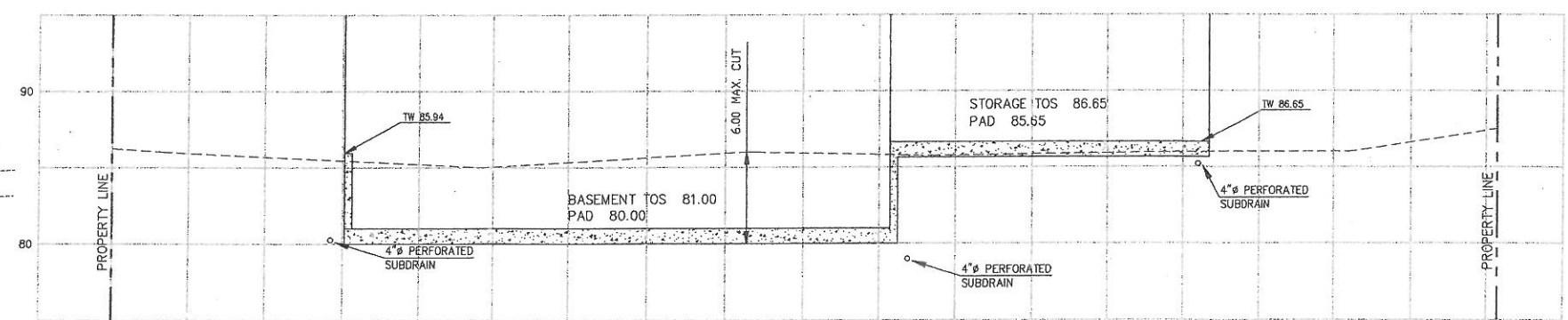
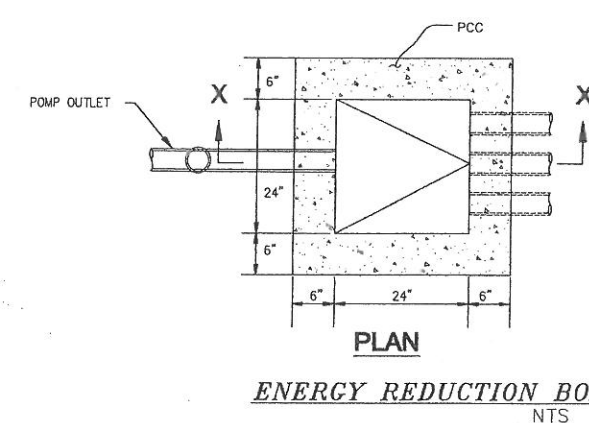
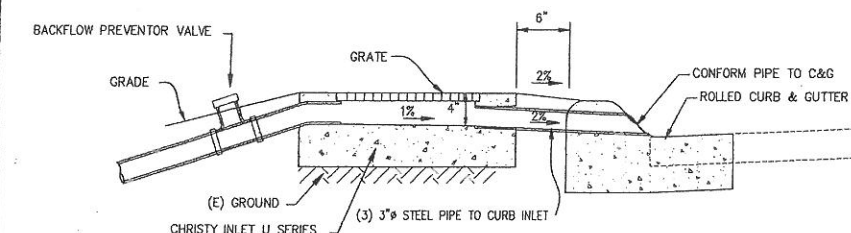


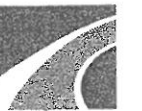


DETENTION TRENCH/
SHALLOW GRAVEL BASIN
4' DEEP, 6' WIDE X 30' LONG
PER DETAIL ON SHEET C-5

6" PERFORATED DISTRIBUTION PIPE
NO SLOPE, INV 66.50

4.0' AVERAGE DEPTH





NOTES:

- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF
- REFERENCED ASSUMED B.M.: TOP OF SANITARY SEWER MANHOLE LOCATED AT BELLA VISTA AVE., DISTANT 34.5± EASTERLY OF MOST EASTERLY PROPERTY CORNER AS SHOWN UPON THIS MAP EL: 100.00
- THE BEARING N 31°53' E. OF NORTHWESTERLY LINE OF LOT 11, AS SHOWN UPON CERTAIN MAP ENTITLED "MAP OF STANLEY'S SUBDIVISION", RECORDED IN BOOK "N" OF MAPS, AT PAGE 8, WAS TAKEN AS BASIS OF BEARINGS FOR ALL BEARINGS SHOWN HEREON.
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LEGEND AND ABBREVIATIONS

---	STREET CENTERLINE
---	WOOD FENCE
---	PROPERTY LINE
---	EDGE OF PAVEMENT
EP	ANCHOR
ANC	WATER VALVE
SSMH	SANITARY SEWER MANHOLE
PP	POWER POLE
---	CHAINLINK FENCE

