



TOWN OF LOS GATOS
PLANNING COMMISSION STAFF REPORT
Meeting Date: November 11, 2015

ITEM NO: 2

PREPARED BY: Erin M. Walters, Associate Planner
ewalters@losgatosca.gov

APPLICATION NO.: Zone Change Application Z-15-001
Architecture and Site Application S-15-018

LOCATION: **485 Monterey Avenue** (southwest corner of Monterey Avenue and Andrews Street)

**APPLICANT/
CONTACT PERSON:** Michael Black

PROPERTY OWNER: Black Real Estate Investment LLC

APPLICATION SUMMARY: Requesting approval to rezone a property from O to R-1D, to demolish an existing office building, construct a new single-family residence, construct an accessory structure with reduced setbacks, and obtain a grading permit for property zoned O. APN 410-16-026.

DEEMED COMPLETE: September 8, 2015
FINAL DATE TO TAKE ACTION:
Architecture and Site Application: March 8, 2016.

RECOMMENDATION: Approval if the Planning Commission determines the modifications meet the Commission's direction.

PROJECT DATA:

General Plan Designation:	Medium Density Residential, 5-12 dwelling units per acre
Zoning Designation:	Office, O
Applicable Plans & Standards:	General Plan Residential Design Guidelines
Parcel Size:	9,000 sq. ft.
Surrounding Area:	

	Existing Land Use	General Plan	Zoning
North	Residential	Medium Density Residential	R-1D
East	Residential	Medium Density Residential	O
South	Residential	Medium Density Residential	R-1D
West	Residential	Medium Density Residential	R-1D

CEQA: The Architecture and Site application is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303; New Construction or Conversion of Small Structures.

FINDINGS:

- As required, pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, the Architecture and Site application is Categorically Exempt, Section 15303: New Construction or Conversion of Small Structures.
- That the project is consistent with the Residential Design Guidelines.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code for Architecture and Site applications.
- As required by Section 29.40.015(b)(1) of the Town Code for a three-foot reduced rear setback for an accessory structure.

ACTION: The decision of the Planning Commission is final unless appealed within ten days.

EXHIBITS: Previously received with the October 14, 2015 Staff Report:

1. Location Map
2. Findings and Considerations
3. Recommended Conditions of Approval (10 pages)
4. Draft Ordinance (two pages), includes Exhibit A
5. Project Data Sheet (one page)
6. Project Description and Letter of Justification (two pages), received August 28, and September 8, 2015, respectively
7. Project Zoning Map (one page)
8. Project General Plan Map (one page)
9. Architectural Consultant Reports, received April 20, 2015 (five pages), June 3, 2015 (six pages), and August 19, 2015 (six pages).
10. Applicant's Response to the Consulting Architect's Report, received August 28, 2015 (one page)
11. Materials, received August 28, 2015 (one page)
12. Consulting Arborist's Reports, received March 31, 2015 (26 pages), May 19, 2015 (four pages), and August 24, 2015 (three pages)

13. Applicant's Responses to the Consulting Arborist's Report, received July 28, 2015 (one page) and August 28, 2015 (one page each)
14. Letter of Support, received September 3, 2015 (one page)
15. Neighborhood Streetscape, received September 8, 2015 (one page)
16. Previous Submittals - Elevations, received March 5, 2015 (two pages), May 11, 2015 (two pages), and July 28, 2015 (two pages).
17. Development Plans, received September 17, 2015 (15 pages)

Previously received with the October 14, 2015 Desk Item:

18. Email from Wendy Paige, received October 9, 2015
19. Revised Conditions of Approval

Received with this Staff Report:

20. Findings and Considerations (one page)
21. Applicant's Letter, received October 27, 2015 (16 pages)
22. Revised Neighborhood Streetscape, received October 26, 2015 (one page)
23. Revised Development Plans, received October 26, 2015 (15 pages)

BACKGROUND:

On October 14, 2015, the Planning Commission recommended approval of the zone change for the subject property from O to R-1D to Town Council. The Town Council introduced the zone change Ordinance on November 3, 2015 and the second reading is scheduled for November 17, 2015.

On October 14, 2015, the Planning Commission also considered an Architecture and Site application to demolish an existing medical office building and construction of a 2,853-square foot two-story single-family residence with a detached 774-square foot two car garage with a reduced three foot rear setback. The Commission continued the Architecture and Site application to this agenda and directed the applicant to consider reducing the mass of the house, reducing the size of the garage, and meeting the required five-foot rear setback for the detached garage.

As a continued item, the project description on the agenda and this report remain the same as the required notice. The project no longer includes the rezone application as the Planning Commission recommended approval of the zone change to Town Council. The Planning Commission is only considering the Architecture and Site application.

ANALYSIS:

A. Architecture and Site

The applicant submitted a letter addressing the direction of the Planning Commission (Exhibit 21). Staff's analysis of each recommendation is below in italic type.

1. Consider reducing the mass and scale of the house

In order to reduce the mass and scale of the proposed two-story house the applicant has lowered the roof pitch from a 6:12 to 5:12. The modified roof pitch lowers the proposed height of the house by 11.5 inches (see Exhibits 22 and 23) bringing the height to 26 feet 8.5 inches. This is eight inches taller than the existing two-story house located one house to the south on Monterey Avenue. The applicant has included a rendering depicting the proposed two-story house (Exhibit 21) and a revised streetscape (Exhibit 22).

2. Consider reducing the size of the detached garage

The applicant has not reduced the size of the proposed 774-square foot detached garage. The applicant has provided justification for the size of the garage (Exhibit 21).

Town Code provides a maximum allowable floor area ratio (FAR) based on lot size for the residence and a separate calculation for the garage. The maximum allowable garage square footage for this subject property is 776 square feet, and the proposed garage is 774 square feet.

The proposed garage complies with Section 29.40.015 (A)(5) of the Town Code which required accessory buildings (detached garage) to occupy fifteen (15) percent or less of the lot, to be calculated exclusive of the required building setbacks. The proposed garage meets the 15 percent coverage requirement.

The garage meets the interior clear dimensions required by Town Code for a two car garage (20 feet x 20 feet) and includes a garage workshop area.

The proposed one-story garage is located in the rear corner of the property. The two car garage door façade is setback 21 feet from the property line and will be seen from the streetscape along Andrews Street (see Exhibit 22). The proposed two-car garage is compatible with the neighborhood streetscape.

3. Consider meeting the required 5-foot rear setback for detached garage

The applicant has proposed no change to the proposed three foot rear setback for the detached garage (accessory structure). The applicant has provided further justification for the request and how the proposed request meets the criteria required by Town Code.

The proposed garage meets all setback requirements with the exception of the rear setback. The request for a reduced rear yard setback for the accessory structure is not a variance, rather is it an exception from the Town Code that is allowed by Section 29.40.015(b)(1). For R-1 zones Section 29.40.015(b)(1) allows required side and rear yards to be reduced to three-feet from a property line, with consideration of the following criteria:

- The number and size of structures already within a reduced setback area.

The proposed project does not propose any other accessory structures within the reduced setback area.

- Visibility.

The proposed one-story garage is located in the far rear corner of the site. The visibility of the accessory structure is minimal as the garage door elevation will be the only visible elevation from the streetscape.

- Compatibility with other structures in the neighborhood.

The proposed reduced three foot rear setback is compatible with the immediate neighborhood pattern as there are other detached garages with three foot reduced setbacks in the immediate neighborhood (see Exhibit 21, Diagram A).

- Historic Preservation Considerations.

This consideration is not applicable as the proposed project is new construction.

- Privacy.

The proposed accessory structure is located at the far corner of the lot, adjacent to a six foot tall fence and is 14 feet seven inches in height. There are no windows or openings on the proposed elevation facing the rear property line. The proposed location of the accessory structure will not infringe on the adjacent neighbor's privacy.

- Compatibility of Historic Nature of Neighborhoods.

The proposed three foot reduced rear setback for the accessory structure is compatible with the historic nature of the immediate neighborhood. The age of accessory structures with reduced rear setbacks that are located within the immediate neighborhood where built between 1900 to 1997.

The proposed project meets all of the above criteria required by Town Code to consider a reduced three-foot rear yard setback for an accessory structure.

PUBLIC COMMENTS:

At this time, the Town has not received any written comments for the revised project.

CONCLUSION AND RECOMMENDATION:

A. Conclusion

Staff believes the applicant has addressed the Commission's concerns by reducing the mass and height of the residence through the modification of roof pitch. The project complies with the Residential Design Guidelines as the residence is well designed, is an appropriate size for the lot, and would be compatible with the surrounding homes in the immediate neighborhood. In addition the applicant has provided justification for the proposed size of the garage and meets the criteria required by Town Code to consider a reduced three foot rear yard setback for an accessory structure. The proposed project meets all zoning requirements, required considerations and required criteria and for these reasons Staff recommends approval of the revised project.

B. Recommendation

If the Commission determines the revisions and additional justification adequately address its concerns, staff recommends the Commission to take the following actions to approve the Architecture and Site Application:

1. Find that the proposed project is categorically exempt, pursuant to Section 15303 of the California Environmental Quality Act as adopted by the Town (Exhibit 20); and
2. Make the required findings as required by Section 29.10.09030(e) of the Town Code for granting approval of a demolition of a commercial building (Exhibit 20); and
3. Make the finding that the project complies with the Residential Design Guidelines (Exhibit 20); and

4. Make the required considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture & Site application (Exhibit 20); and
5. Make the required considerations as required by Section 29.40.015(b)(1) of the Town Code to grant approval of a three-foot reduced rear yard setback for an accessory structure (Exhibit 20); and
6. Approve Architecture and Site Application S-15-018 with the conditions contained in Exhibit 19 and development plans attached as Exhibit 23.

If the Commission has concerns with the proposed project, it can:

1. Continue the matter to a date certain with specific direction; or
2. Approve the application with additional and/or modified conditions; or
3. Deny the Architecture and Site application.



Prepared by:
Erin M. Walters
Associate Planner



Approved by:
Laurel R. Prevetii
Town Manager/Community Development
Director

LRP:EMW:cg

cc: Michael Black, Black Real Estate Investments LLC, 15651 Glen Una Drive, Los Gatos, CA 95030
Elizabeth Wiersema, Studio Three Design, 1585 The Alameda, Suite 200, San Jose CA 95126

PLANNING COMMISSION – November 11, 2015
REQUIRED FINDINGS AND CONSIDERATIONS FOR:

485 Monterey Avenue

Zone Change Application Z-15-001

Architecture and Site Application S-15-018

Requesting approval to rezone a property from O to R-1D, to demolish an existing office building, construct a new single-family residence, construct an accessory structure with reduced setbacks, and to obtain a grading permit for property zoned O. APN 410-16-026.

PROPERTY OWNERS: Black Real Estate Investment LLC

APPLICANT: Michael Black

FINDINGS:

Required finding for CEQA:

- The architecture and site application is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

Required findings for demolition:

- As required by Section 29.10.09030(e) of the Town Code for the demolition of a commercial building:
 1. The Town's housing stock will be increased by one housing unit;
 2. The structure has no historic significance;
 3. The property owner does not desire to maintain the structure due to its current condition; and
 4. The economic utility of the structure is limited due to its condition.

Required Compliance with the Residential Design Guidelines:

- The project is in compliance with the Residential Design Guidelines for single-family homes not in hillside residential areas.

CONSIDERATIONS:

Required considerations in review of Architecture and Site applications:

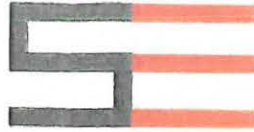
- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

Required consideration of the following criteria to allow the required rear yard of an accessory structure to be reduced to three feet from a property line:

- As required by Section 29.40.015(b)(1) of the Town Code, the criteria required to allow the required rear yard of an accessory structure (detached garage) to be reduced three feet from the property line were made in reviewing this project.

EXHIBIT 20

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October 26, 2015

Ms. Erin Walters
Town of Los Gatos
Community Development Dept.
Planning Division
110 E. Main Street
Los Gatos, CA 95030

RECEIVED

OCT 27 2015

TOWN OF LOS GATOS
PLANNING DIVISION

5-15-018

Re: 485 Monterey Avenue
Zoning Change Application: **Z-15-001**
Arch & Site Application: **S-15-018**

Dear Ms. Walters:

On behalf of the applicant Studio 3 Design has modified the plans for the above referenced project based on the question/concerns from the Planning Commission Meeting held on October 14, 2015. The following is a summary of the changes and justification.

Summary of Changes / Additional Information

- The roof pitch has been changed from a 6:12 to 5:12 reducing the overall height by 11.5". This is the second roof pitch change (original submittal was at 8:12, CDG suggested a reduced pitch to 6:12 or so was better for neighborhood).
- Open gable ends all bays, on all sides of the home have been synchronized and corbel details added at the ridge to provide further architectural detail consistent with the downtown neighborhoods, as well enhance these open facades

The garage has remained the same. Based on the town records of the surrounding neighborhood, we have done an analysis/comparison of the neighboring accessory structure (see attached Diagram A), which supports the request for reduced setbacks for the accessory structures in the R1-D zone.

- 460 Monterey Ave – 22' x 29' detached garage with 3' setbacks.
- 461 Monterey Ave – 20' x 24' detached garage with 0' setbacks (sits on property line)
- 484, 482 & 513 Monterey Ave have detached garages with 3' setbacks.

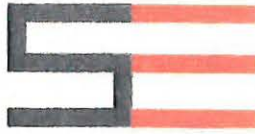
The proposed detached garage will only have one reduced setback (3' at the rear property line) and keep the standard 5' setback (interior side property line). The size (23'x 33'-8") allows for storage to be accommodated (no basement or usable attic space is proposed on the main house plans).

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INTERIORS

EXHIBIT 2 1

1585 The Alameda #200 San Jose, California 95126-2310
T 408.292.3252 F 253.399.1125

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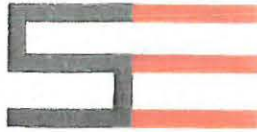
Justification

House Structure

We have provided 3-D model renderings (see attached) of the house, showing how the proposed home fits within the neighborhood, and adds to the classic charm and spirit of this downtown, yet eclectic neighborhood. The current proposed home is responsive to the feedback from Cannon Design Group, the Town's consulting architect as well as the Planning Department, and has through multiple revisions made modifications to gain both parties approval of the proposed design.

- **See attached Neighborhood Study**, detailing the surrounding homes in terms of both style, structure and materials. After conducting this survey, the neighborhood should be classified as mixed in style and materials, as well as street frontage details and presence. The proposed home is a traditional hybrid style of "Craftsman" and "Shingle", two styles that are predominantly seen in new homes in the R1-D neighborhoods, as they blend in well with the existing character of these neighborhoods. Efforts were made through multiple submissions to eliminate details and form that were more in character with "Victorian" type houses. *(This is consistent with the Design Guidelines as set forth in Section 1 and section 3: encourage a diversity of architecture that is consistent with the neighborhood, re-inforce prevailing patterns, sensitive street setbacks, a strong visual connection with the street, size and bulk is relevant to the immediate neighborhood, etc.)*
- **See attached Diagram B**, a rendering showing how the house fits in to the neighborhood, especially newer built homes in bulk, mass and height. The current proposal has been reduced in height by almost 1', by lowering the roof pitch, and sits only 8" above the newer two story home, at 26-8.5", well under the allowed maximum height. Also note in Diagram B, as well as the plans and site plan, that great care has been taken to reduce bulk and mass at the corner by pulling the house further back from the front and street side setbacks, and adding a corner-wrapped porch to help navigate the reduced corner setback yet attempt to maintain consistent street frontage. The porch element helps to create a layering at the two public facades of the building, and maintains a pedestrian friendly scale as well. Open gables at accent bays throughout the home have been designed to break up the mass of the hipped roof, and add architectural interest consistent with similar home style in the neighborhood, making use of corbels, trim panels, etc. *(This is consistent with the Design Guidelines as set forth in Section 2: relating building fronts and sides to adjacent parcels, maintaining a strong street presence on both streets at a corner, designing two story homes to blend with smaller ones, avoiding the use of towers, similar roof pitches, and is also consistent with the Design Guidelines in Section 3: bulk, mass, scale; provide visual relief on two story walls, use of hipped roofs, enlivened street frontage at the corner lots; designing a*

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home with a clear expression of entry and sensitive to architectural style and the surrounding neighborhoods; windows arranged in patterns and groupings consistent with the style and surrounding neighborhood, window materials match new construction around the neighborhood, traditional window mullion patterns and details consistent with the style)

- See attached **Diagram C**, a materials board detailing the materials used on the home. Also, actual samples of the roofs, shingles, paint color, and a window sample will be provided at the Planning Commission meeting. Note that all materials used are of a substantive and timeless quality. Painted wood shingles and trim details add to the traditional character of the home. Windows are to be aluminum clad exterior / painted wood interior of JeldWen brand or equal (Kolbe, Pella, etc.). The clad exterior has an enameled coating in a satin finish, consistent with industry standard in a black color that provides a strong and old-fashioned contrast with the proposed white trim and gray shingles. The roofing materials are asphalt comp shingle, in a high definition profile at the main roofs in a charcoal color, and a coated dark gray standing seamed metal roof at the wrapped porch. This mix of materials provides further architectural detail and integrity with the proposed home style. *(This is consistent with the Design Guidelines as set for in Section 3: materials consistent with the neighborhood, of a high quality, use of traditional detailing, etc.)*

Detached Garage Structure / Accessory Building

It is common for applicants to request reduced side and rear setbacks for accessory structures (garages) if the applicant and staff can make the above considerations. The proposed garage with reduced setbacks indeed meets the requirements of the Design Guidelines as follows:

Section 29.40.015 Accessory Structures are allowed if they meet the following requirements:

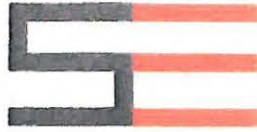
- The structure is not over 15 feet height. *(The proposed garage meets this requirement as it is 14ft.-7 in. in height.)*
- Not located in the front or side yard. *(The proposed garage meets this requirement as is not located in the front or side yard.)*
- The structure is at least 5 feet from any other structure on the same lot. *(The proposed garage meets this requirement.)*
- The structure is at least 5 feet from any property line. *(The proposed garage is 3 feet from the rear property line, requesting exception for rear yard setback per Section 29.40.015(B)(1) of the code.)*
- The structure does not occupy more than 15 percent of the lot, to be calculated exclusive of the required building setbacks. *(The proposed garage meets this requirement as it occupies 15 percent of the lot, exclusive of the required building setbacks.)*

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T 408.292.3252 F 253.399.1125

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- When located on a reversed corner lot, do not project beyond the front yard line required on the lot in the rear of such lot. *(The subject parcel is not a reversed corner lot.)*
- Breezeways may be used to provide shelter between buildings. *(The proposed project does not have a breezeway.)*

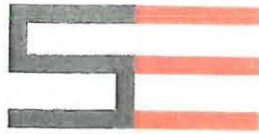
The garage meets all setback requirements with the exception of the rear setback. The request for a reduced rear yard setback for the accessory structure is not a variance, rather is it an exception from the Town Code allowed in Section 29.40.015(b)(1). For R-1 zones Section 29.40.015(b)(1) allows required side and rear yards to be reduced 3 feet from a property line, with consideration of the following criteria:

- The number and size of structures already within a reduced setback area: *(The proposed project does not have any other structures within the reduced setback area.)*
- Visibility *(The proposed structure is 14ft.-7 in. tall and is located in the far rear corner of the site. Visibility of the structure from the streetscape is minimal, so therefore the overall bulk and mass of the garage is not an issue, rather the building looks the same from the street.)*
- Compatibility with other structures in the neighborhood. *(Within the immediate neighborhood there are 5 single family homes with detached garages with reduced setbacks of 3 feet or less. The proposed reduced 3 foot rear setback is compatible with the immediate neighborhood pattern of detached garages with reduced setbacks.)*
- Historic Preservation Considerations: *(This consideration is non-applicable as the proposed accessory structure is new construction.)*
- Privacy: *(The proposed accessory structure does not infringe on adjacent properties privacy. The garage is proposed to be located in the rear corner of the parcel. The proposed 14ft.-7 in. tall garage is one story in height, does not have windows along the rear setback and will be located next to a 6-foot neighborhood fence.)*
- Compatibility of Historic Nature of Neighborhoods: *(The immediate neighborhood includes properties with detached garages and reduced rear and side setbacks. The age of the accessory structures range from 1900 to 1997. The proposed 3 foot reduced rear setback for the detached garage is compatibility with the historic nature of this neighborhood.)*

Lastly, the garage as proposed is allowed by the FAR calculations (allowed = 776 SF). While larger on average than the immediate neighborhood, the proposed structure is 774 square feet, but is tucked at the rear interior corner of the property and is visible on its short side only (the broad side faces in to the back yard, and will not be seen through fencing and tree/landscape screening).

In closing, the proposed home removes an antiquated office structure from the middle of a predominantly residential neighborhood and replaces it with a home of character and architectural integrity. Newer homes in the area are of similar bulk, mass, quality of materials and architectural style. As this home is on a corner lot, attention to detail on all facades,

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especially the front and street side has been of utmost importance, and a wrapped porch is added to further pull the home back from the corner, while providing pedestrian level elements that create a layering of spaces at the corner. Sensitivity in siting the home well within the setbacks, as well as a detached garage at the rear corner of the property, a proposed privacy fence that steps down at the corners and garage entrance, and proposed future landscaping further enhance this proposal. We respectfully request approval of the project as proposed as it takes care to heed the Design Guidelines in full, and the FAR coverage calcs and height are also within the allowable standards. As designed, this home enhances the neighborhood with architectural integrity and detail.

If you have questions or require additional information, please contact our office at your convenience.

Sincerely,

Bess Wiersema
Principal + Owner

STUDIO THREE DESIGN

1585 The Alameda #200 San Jose, California 95126-2310

T 408.292.3252 F 253.399.1125

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Diagram A

485 MONTEREY AVE

ACCESSORY STRUCTURE ANALYSIS (SETBACKS, SIZE, HEIGHT)

485 MONTEREY AVE
SITE

481 MONTEREY AVE
DETACHED GARAGE
SIDE SETBACK @ PROPERTY LINE
REAR SETBACK @ PROPERTY LINE

513 MONTEREY AVE
DETACHED GARAGE
SIDE SETBACK @ 3'
REAR SETBACK @ 3'

484 & 482 MONTEREY AVE
DETACHED GARAGE
SIDE SETBACK @ 3'
REAR SETBACK @ 3'

480 MONTEREY AVE
DETACHED GARAGE
SIDE SETBACK @ 3'
REAR SETBACK @ 3'



Diagram B



485 Monterey Avenue

(Western View from corner of Monterey Ave. & Andrews St.)



461 Monterey Avenue

477 Monterey Avenue

485 Monterey Avenue

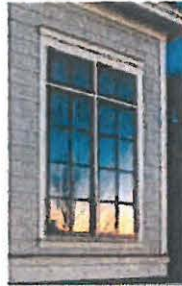
(Northern View from Monterey Avenue)

Diagram C

MATERIALS PALETTE



ROOFING MATERIALS:
COMPOSITE ASPHALT: DARK GRAY
STANDING SEAM METAL: CHARCOAL GRAY (COOL R)



WINDOWS:
ALUMINUM CLAD EXTERIOR
COLOR: BLACK LICORICE (JELD-WEN)

WINDOW TRIM:
PAINTED WOOD
COLOR: SWISS COFFEE
(BENJAMIN MOORE)



SIDING:
PAINTED CEDAR SHINGLES
COLOR: SAN ANTONIO GRAY (BENJAMIN MOORE)



STONE VENEER:
PRINCETON GRANITE: NEWPORT GREY
(CORONADO)

NEIGHBORHOOD ANALYSIS



PROJECT ADDRESS: 485 MONTEREY
* DENOTES ADDRESSES NOT IN "IMMEDIATE
NEIGHBORHOOD"

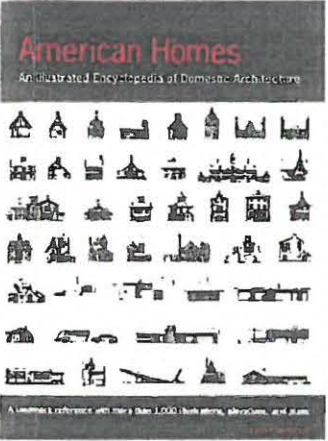
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OCT 27 2015

TOWN OF LOS GATOS
PLANNING DIVISION

5-15-018

SOURCES:






**A Field
Guide to
American
Houses**




The Definitive Guide to Identifying
and Understanding America's
Domestic Architecture

Virginia Savage McAlester




NEIGHBORHOOD ANALYSIS

ADDRESS	IMAGE OF HOUSE	HOUSE TYPE	FAÇADE MATERIALS (DECENDING ORDER OF SQUARE FEET PER TYPE)	ROOF MATERIALS
*459 MONTEREY AVE (COMMERCIAL)		COMMERCIAL, N/A	T1/11 STUCCO ALUMINUM AND WOOD CLADDING	
461 MONTEREY AVE		NEW TRADITIONAL CRAFTSMAN INFLUENCES	WOOD SIDING WOOD TRIM STONE VENEER	ASPHALT COMPOSITION SHINGLE
477 MONTEREY AVE		FRONT GABLE STICK STYLE INFLUENCES	WOOD SIDING	ASPHALT COMPOSITION SHINGLE




NEIGHBORHOOD ANALYSIS

ADDRESS	IMAGE OF HOUSE	HOUSE TYPE	FAÇADE MATERIALS (DECENDING ORDER OF SQUARE FEET PER TYPE)	ROOF MATERIALS
485 MONTEREY AVE (PROJECT ADDRESS)		COMMERCIAL, N/A	SLUMP BLOCK STOREFRONT GLASS	GRAVEL LOW PITCH
470 SAN BENITO AVE		NEW TRADITIONAL COLONIAL REVIVAL WITH ITALIANE INFLUENCES	STUCCO WOOD WINDOWS WOOD SHUTTERS WOOD COLUMN DETAILS SLUMP BLOCK	ASPHALT COMPOSITION SHINGLE
497 SAN BENITO AVE		FRONT GABLE CRAFTSMAN WITH FOLK VICTORIAN INFLUENCES	HORIZONTAL WOOD SIDING WOOD TRIM BRICK	ASPHALT COMPOSITION SHINGLE




NEIGHBORHOOD ANALYSIS

ADDRESS	IMAGE OF HOUSE	HOUSE TYPE	FAÇADE MATERIALS (DECENDING ORDER OF SQUARE FEET PER TYPE)	ROOF MATERIALS
501 SAN BENITO AVE		NEW TRADITIONAL	HORIZONTAL WOOD SIDING WOOD BOARD AND BATTEN WOOD TRIM DETAILS BRICK	ASPHALT COMPOSITION SHINGLE
500 SAN BENITO AVE		POST WAR RANCH	STUCCO WOOD TRIM DETAILS	ASPHALT COMPOSITION SHINGLE
306 ANDREWS ST		SPANISH REVIVAL PUEBLO REVIVAL INFLUENCES	BRICK STUCCO AT REAR ADDITION	CLAY TILE

NEIGHBORHOOD ANALYSIS

ADDRESS	IMAGE OF HOUSE	HOUSE TYPE	FAÇADE MATERIALS (DECENDING ORDER OF SQUARE FEET PER TYPE)	ROOF MATERIALS
480 MONTEREY AVE		NEW TRADITIONAL CRAFTSMAN INFLUENCES	HORIZONTAL WOOD SIDING WOOD TRIM	ASPHALT COMPOSITION SHINGLE
*464 MONTEREY AVE (COMMERCIAL)		COMMERCIAL, N/A	T1-11 STUCCO STOREFRONT GLASS CANVAS AWNINGS	UNKNOWN
*460 MONTEREY AVE		RANCH AMERICAN VERNACULAR BUNGALO (PRE-STUCCO)	STUCCO WOOD TRELLIS	ASPHALT COMPOSITION SHINGLE




NEIGHBORHOOD ANALYSIS

ADDRESS	IMAGE OF HOUSE	HOUSE TYPE	FAÇADE MATERIALS (DECENDING ORDER OF SQUARE FEET PER TYPE)	ROOF MATERIALS
497 N SANTA CRUZ AVE (COMMERCIAL)		COMMERCIAL, N/A	BRICK METAL WINDOWS CONCRETE	ASPHALT COMPOSITION SHINGLE
484 MONTEREY AVE		NEW TRADITIONAL CRAFTSMAN AND SHINGLE STYLE INFLUENCES	HORIZONTAL WOOD SIDING WOOD TRIM DETAILS	ASPHALT COMPOSITION SHINGLE
482 MONTEREY AVE		NEW TRADITIONAL CRAFTSMAN AND SHINGLE STYLE INFLUENCES	HORIZONTAL WOOD SIDING WOOD SHINGLE SIDING STONE VENEER WOOD TRIM METAL RAILING	ASPHALT COMPOSITION SHINGLE

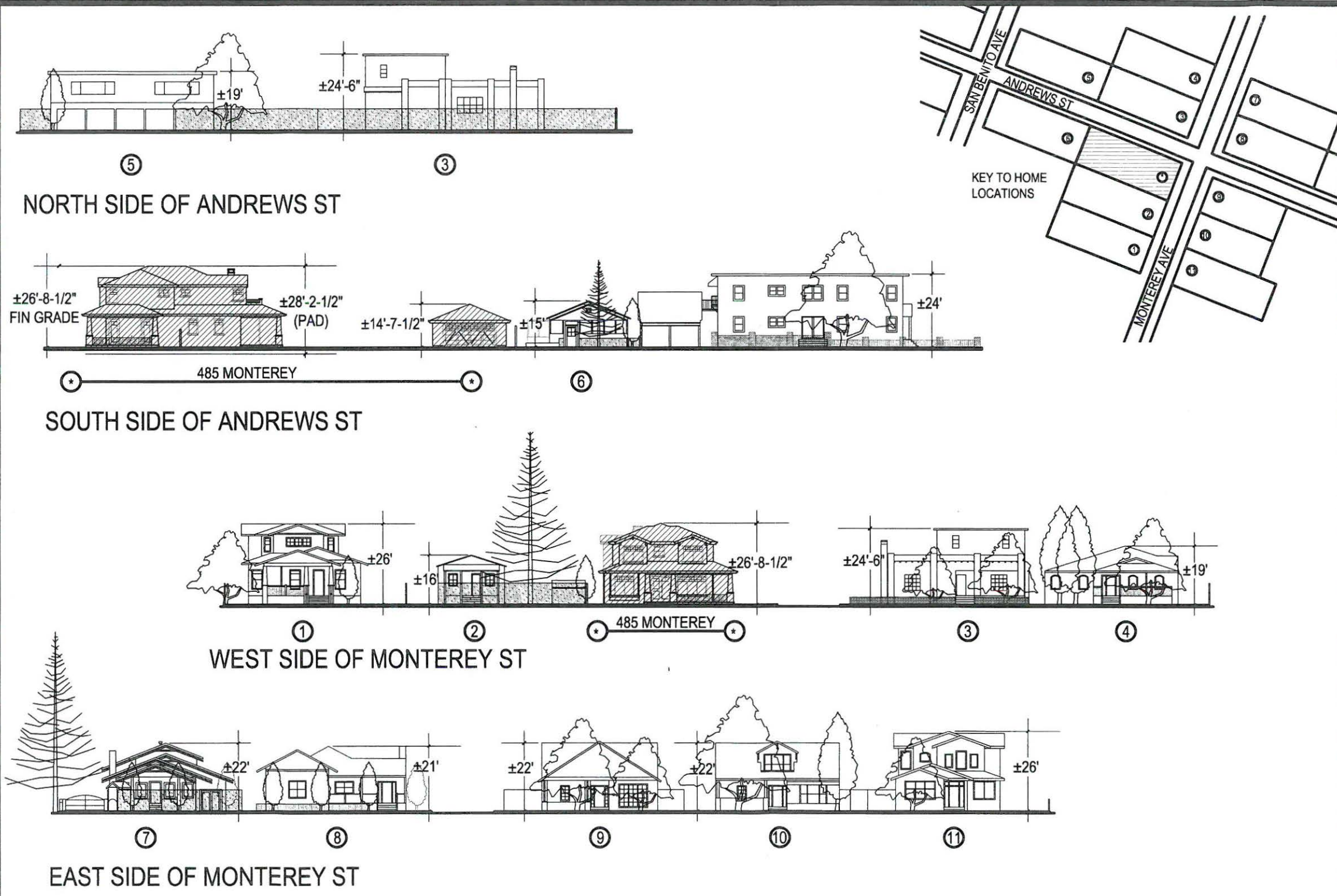
NEIGHBORHOOD ANALYSIS

ADDRESS	IMAGE OF HOUSE	HOUSE TYPE	FAÇADE MATERIALS (DECENDING ORDER OF SQUARE FEET PER TYPE)	ROOF MATERIALS
508 MONTEREY AVE		CRAFTSMAN	HORIZONTAL WOOD SIDING WOOD TRIM DETAILS STONE VENEER	ASPHALT COMPOSITION SHINGLE
500 MONTEREY AVE		NEW TRADITIONAL SHINGLE STYLE AND COLONIAL INFLUENCES	HORIZONTAL WOOD SIDING WOOD TRIM STONE VENEER	ASPHALT COMPOSITION SHINGLE
501 N SANTA CRUZ AVE (COMMERCIAL)		COMMERCIAL, N/A	STUCCO BRICK METAL WINDOWS	ASPHALT COMPOSITION SHINGLE

NEIGHBORHOOD ANALYSIS

ADDRESS	IMAGE OF HOUSE	HOUSE TYPE	FAÇADE MATERIALS (DECENDING ORDER OF SQUARE FEET PER TYPE)	ROOF MATERIALS
509 MONTEREY AVE		NEW TRADITIONAL SHINGLE STYLE INFLUENCES	HORIZONTAL WOOD SIDING WOOD TRIM DETAILS	ASPHALT COMPOSITION SHINGLE
*511 MONTEREY AVE		NEW TRADITIONAL CRAFTSMAN INFLUENCES	HORIZONTAL WOOD SIDING WOOD TRIM DETAILS STONE VENEER	ASPHALT COMPOSITION SHINGLE
*510 MONTEREY AVE		NEW TRADITIONAL TUDOR INFLUENCES	BRICK WOOD TRIM DETAILS	WOOD SHAKE

NEIGHBORHOOD STREETSCAPE



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

1585 THE ALAMEDA
SUITE 200
SAN JOSE
CALIFORNIA
95126

T 408.292.3252
F 253.399.1125

BLACK
485 MONTEREY AVE.
LOS GATOS
CALIFORNIA
95030

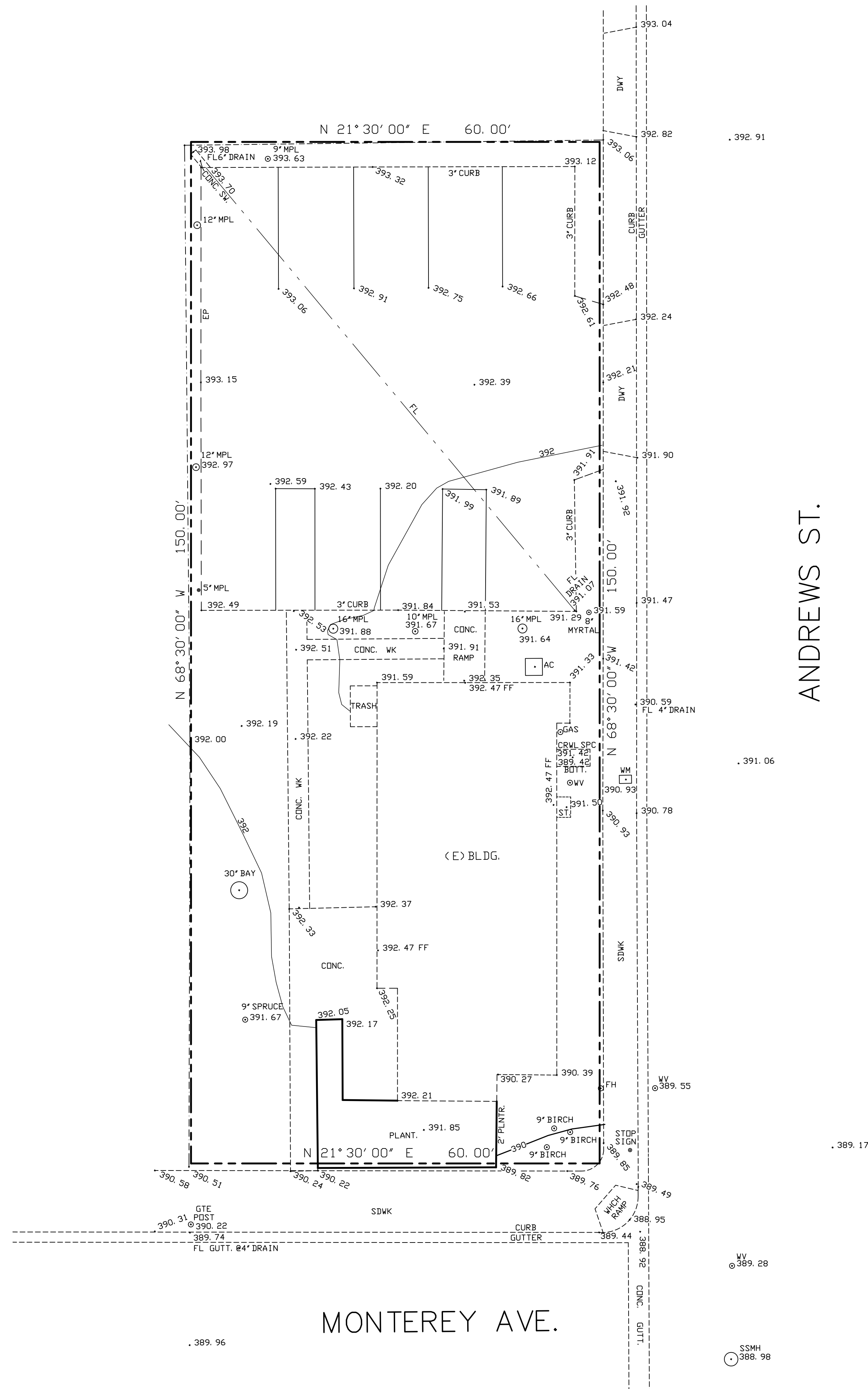
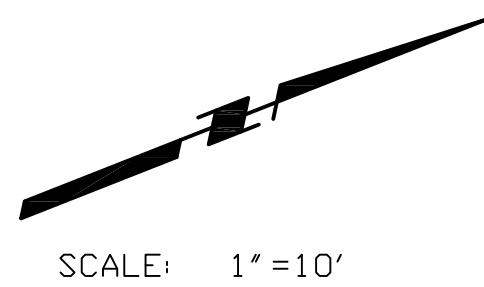
A.P.N. 410-16-026

PROJECT DESCRIPTION
This project includes the demolition of an existing commercial building and the construction of a new two-story single-family residence which better fits the fabric of the existing residential neighborhood. The project includes a new two-car detached garage.

EXHIBIT 2 2

RECEIVED

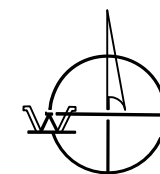
OCT 26 2015
5-15-018
TOWN OF LOS GATOS
PLANNING DIVISION



LEGEND	
BOUNDARY	---
IMPROVEMENTS	---
2' CONTOUR	---
FENCE	---
WALL	---
EDGE OF PAVEMENT	---
MONUMENT	•
STREET MONUMENT	•
SPOT ELEVATION	•
EX. MANHOLE	○
UTILITY BOX	□
FLOWLINE	---

NO.	BY	DATE	REVISION	BY	DATE	DATE: JANUARY, 2015
						SCALE: HOR. 1"=10'
						VERT. 1"=10'
						DESIGNED:
						DRAWN: JK
						PROJ. ENGR:

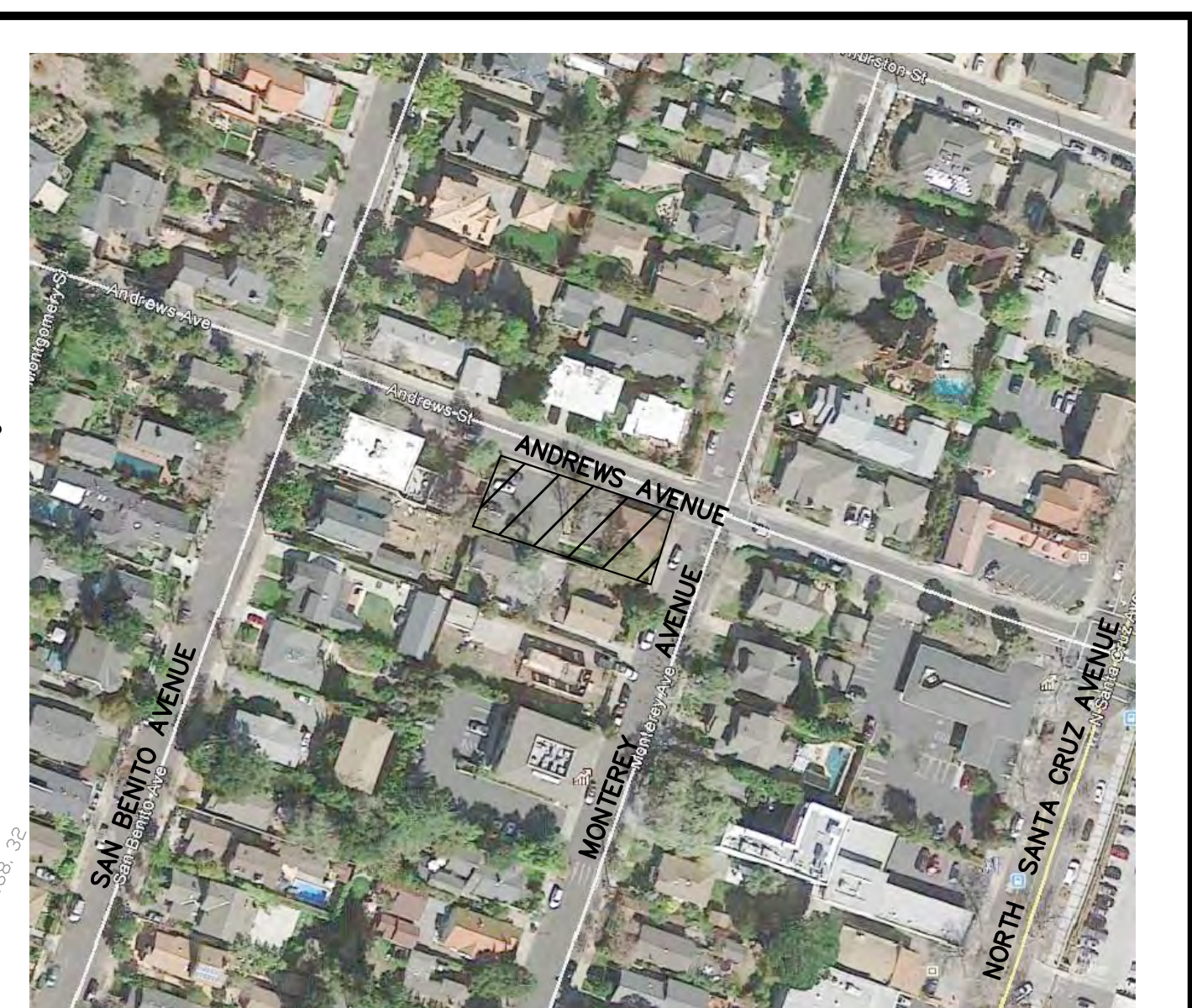
BY: HARRY BABICKA L. S. 4953
DATE:



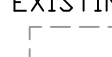























































WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

TOPOGRAPHIC SURVEY
485 MONTEREY AVENUE, LOS GATOS

JOB NO.	2014-127
SHEET	1
OF	1



LEGEND

EXISTING		PROPOSED
	BUILDING	
	MONUMENT	
	CURB INLET	
	AREA DRAIN	
	POLE	
	SANITARY SEWER MANHOLE	
	STORM DRAIN MANHOLE	
	FIRE HYDRANT	
	WATER VALVE	
	STREET LIGHT	
	CLEANOUT	
	BOUNDARY	
	LOT LINE	
	CENTERLINE	
	LIMIT OF EASEMENT	
	CURB	
	CURB AND GUTTER	
	EDGE OF PAVEMENT	
	CONTOUR	
	FENCE	
	FLOW LINE	
	SANITARY SEWER	
	STORM DRAIN	
	ELECTRICAL	
	GAS	
	WATER	
	SETBACK LINE	
	ELEVATIONS & DESCRIPTIONS	

TC 389.44

TC 391.90

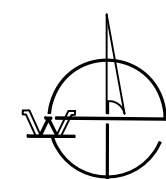
AD	AREA DRAIN
BC	BEGINNING OF CURVE
BVC	BEGINNING OF VERTICAL CURVE
CL	CENTERLINE
CO	CLEANOUT
CONSTR	CONSTRUCT
EC	END OF CURVE
EX	EXISTING
EXC	END OF VERTICAL CURVE
FH	FIRE HYDRANT
FL	FLOWLINE
G	GROUND
GR	GRATE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
JP	JOINT POLE
MH	MANHOLE
MON	MONUMENT
PL	PROPERTY LINE
PVC	POLY VINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
SDI	INLET
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
S	SLOPE
SS	SANITARY SEWER
SSE	SANITARY SEWER EASEMENT
STA	STATION
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TW	TOP OF WALL
VC	VERTICAL CURVE
W	WATER
WM	WATER METER
WV	WATER VALVE

1. All work shall conform to Chapter 12 of the Town of Los Gatos Grading ordinance, the adopted California Building Code and the latest edition of the Standard Specifications for Public Works Construction except as specified otherwise on these plans.
2. No work may be started on-site without an approved Grading Plan and Grading permit issued by the Town of Los Gatos, Public Works Department located at 41 Miles Avenue, Los Gatos, CA 95030.
3. Pre-job meeting shall be held with the Town Engineering Inspector from the Department of Public and Public Works prior to any work being done. The Contractor shall call the Inspections Line at 408-399-5771 at least 48 hours prior to any grading or onsite work. This meeting should include:
 - a. A discussion of the project conditions of approval, working hours, site maintenance and other construction matters;
 - b. Acknowledgement in writing that Contractor and Applicant have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them prior to commencing work and that a copy of the project conditions of approval shall be posted on site at all times during construction.
4. Approval of plans does not release the developer of the responsibility for the correction of mistakes, errors, or omissions contained therein. If, during the course of construction of the improvements, public interest and safety requires a modification or departure from the Town Specifications or these improvement plans, the Town Engineer shall have full authority to require such modification or departure and to specify the manner in which the same is to be made.
5. Approval of this plan applies only to the grading, excavation, placement, and compaction of natural earth materials. This approval does not confer any rights of entry to either public property or the private property of others and does not constitute approval of any other improvements.
6. Excavated material shall be placed in the fill areas designated or shall be hauled away from the site to be disposed of at approved location(s).
7. It shall be the responsibility of the Permittee or Contractor to identify, locate and protect all underground facilities. Permittee or Contractor shall notify USA (Underground Service Alert) at 1-800-227-2600 a minimum of 48 hours but not more than 14 days prior to commencing all work.
8. All grading work shall be performed in such a manner as to comply with the standards established by the Air Quality Management District for airborne particulates.
9. The contractor shall comply with all local, state and federal laws, codes, rules and regulations governing the work identified on these plans. These shall include, without limitation, safety and health rules or regulations established by or pursuant to the Occupational Safety and Health Act or any other applicable public authority.
10. The General Contractor shall provide qualified supervision on the job site at all times during construction.
11. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
 - a. Retaining wall—top of wall elevations and locations (all walls to be permitted separately and applied for at the Town of Los Gatos Building Department).
 - b. Toe and top of cut and fill slopes.

25. It is the responsibility of contractor and/or owner to make sure that all dirt tracked into the public right of way is cleared up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
26. Good housekeeping practices shall be observed at all times during the course of construction. Superintendence of construction shall be diligently performed by a person or persons authorized to do so at all times during working hours. The storing of goods and/or materials on the sidewalk and/or the street will not be allowed unless a special permit is issued by the City of Los Angeles Division. The adjacent public right of way shall be kept clear of all job related dirt and debris at the end of the day. Failure to maintain the public right of way according to this condition may result in the Town performing the required maintenance at the developer's expense.
27. Grading shall be undertaken in accordance with conditions and requirement of the project Storm Water Pollution Control Plan and/or Storm Water Pollution Prevention Plan, the Town of Los Gatos Stormwater Quality Management Program, National Pollutant Discharge Elimination Act (NPDES) permit, and the National Stormwater Management Study of the California Regional Water Quality Control Board. Plans (including all updates) shall be onsite at all times. No direct storm water discharges from development will be allowed onto Town streets or onto the public storm drain system without treatment by an approved storm water pollution prevention device or other approved methods. Maintenance of private storm water pollution prevention devices shall be the sole responsibility of the owner. Discharges or overflows without treatment by an approved storm water pollution prevention device or other approved method shall be considered a violation of the above referenced permit and the Town of Los Gatos Stormwater Ordinance.

SURFACES			EARTHWORK QUANTITIES		
DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	CUT (C.Y.)	FILL (C.Y.)
BUILDINGS (ROOF)	1545	3583	RESIDENCE	24	0
DRIVEWAY AC OR PCC	3650	360	GARAGE	3	2
PATIOS/WALKWAYS	664	120	DRIVEWAY	0	2
			YARD	6	15
IMPERVIOUS SURFACES	5859	4063			
LANDSCAPING	3141	4937	TOTAL	33	19
			GRADING PERMIT WILL BE REQUIRED.		
TOTAL	9000	9000	TOTAL DISTURBED AREA WILL BE 9000 SQUARE FEET		

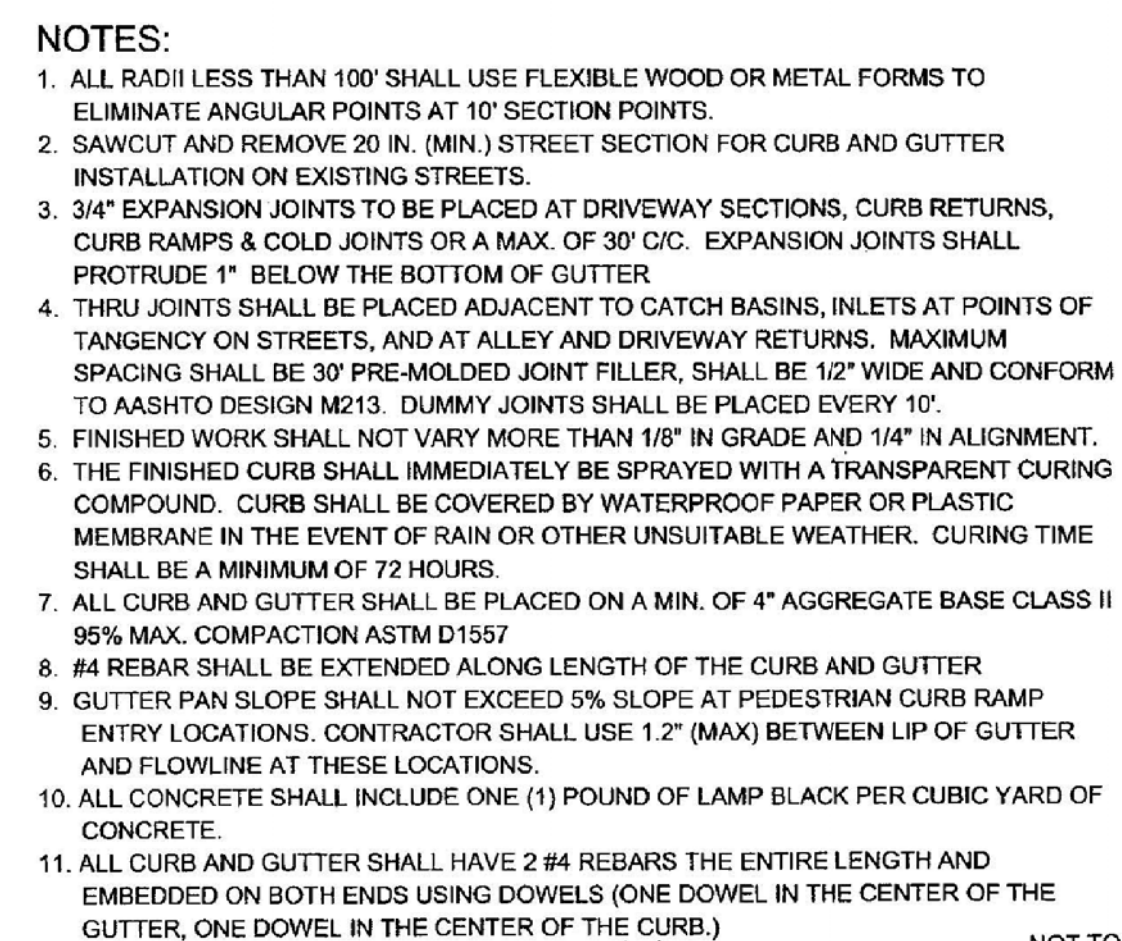
BY: KAREL CYMBAL, RCE 34534
DATE:



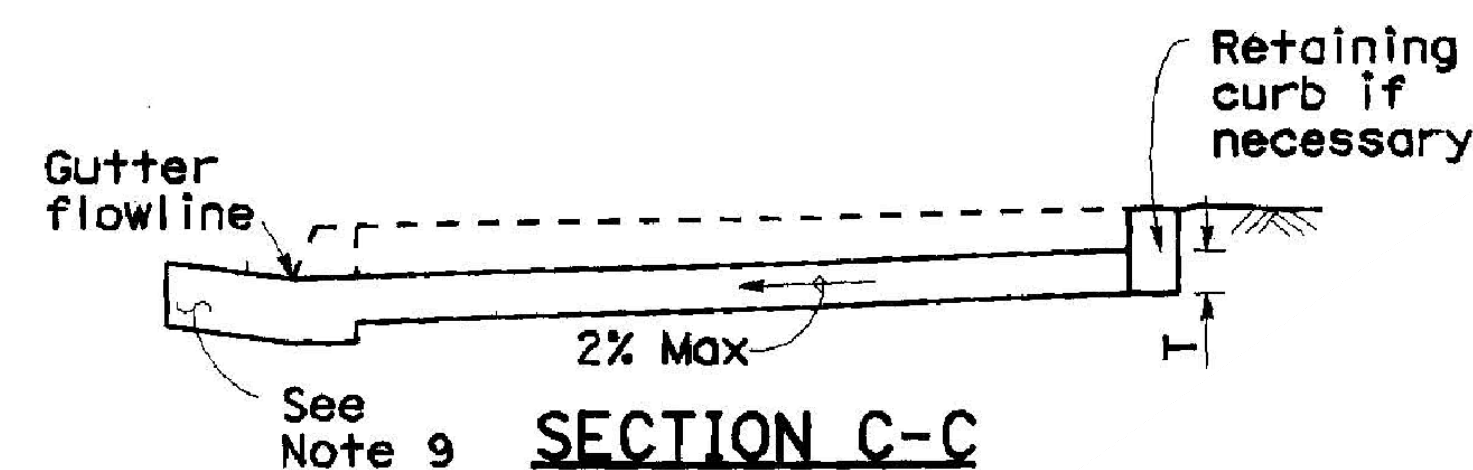
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

485 MONTEREY AVENUE, LOS GATOS

JOB NO.	2014-127
SHEET	1
OF	2

ST-210.DWC

- (A) EQUALS WIDTH OF DRIVEWAY AT PROPERTY LINE. MINIMUM WIDTH = 14'.
- (B) 1/2" WIDE FULL DEPTH EXPANSION JOINT.
- (C) FULL DEPTH EXPANSION JOINT IF (A) IS 15' OR GREATER.
- (D) DRIVEWAY TO BE SURFACED WITH ASPHALT OR CONCRETE.
- (E) DRIVEWAY CONCRETE SHALL BE A MIN. OF 6" THICK FOR RESIDENTIAL AND 8" THICK FOR COMMERCIAL AND IS TO BE PLACED ON A MINIMUM OF 6" CLASS II AGGREGATE BASE 95% MAXIMUM COMPACTION ASTM D1557, OVER COMPACTED SUBGRADE.
- (F) ALL CONCRETE SHALL BE CLASS A, PER CALTRANS SPECS, WITH 1 LB. (MIN.) LAMP BLACK PER CUBIC YARD.
- (G) ALL WORK SHALL CONFORM TO CURRENT ADA REQUIREMENTS.

ST-219.DW6



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

1585 THE ALAMEDA
SUITE 200
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CALIFORNIA
95126

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BLACK
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LOS GATOS
CALIFORNIA
95030

A.P.N. 410-16-026

4 MARCH 2015

29 APRIL 2015
PLANNING SUBMITTAL

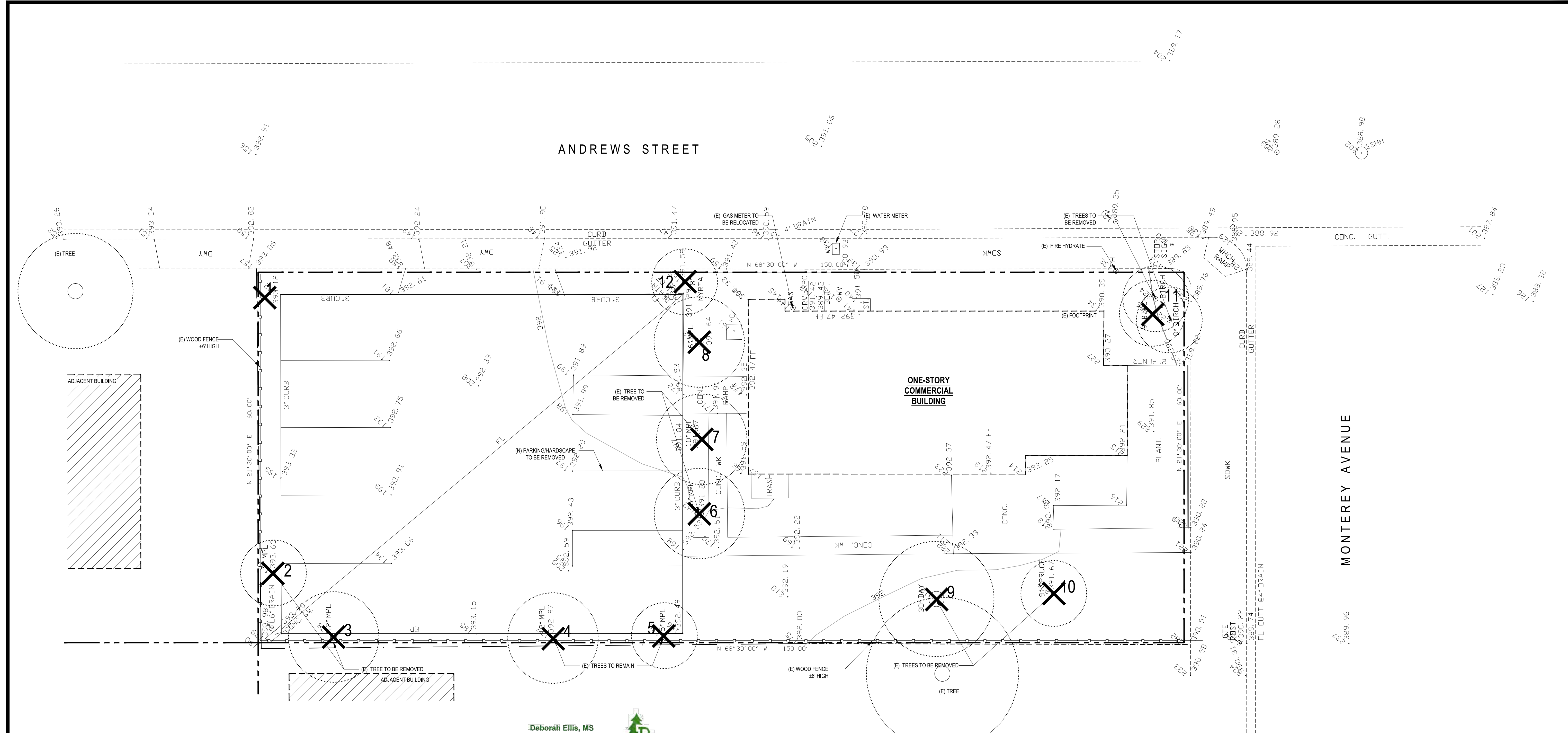
24 JULY 2015
PLANNING SUBMITTAL II

26 AUGUST 2015
PLANNING SUBMITTAL III

SCALE: 1/8" = 1'-0"

EXISTING SITE PLAN

A1.5



Deborah Ellis, MS

Consulting Arborist & Horticulturist



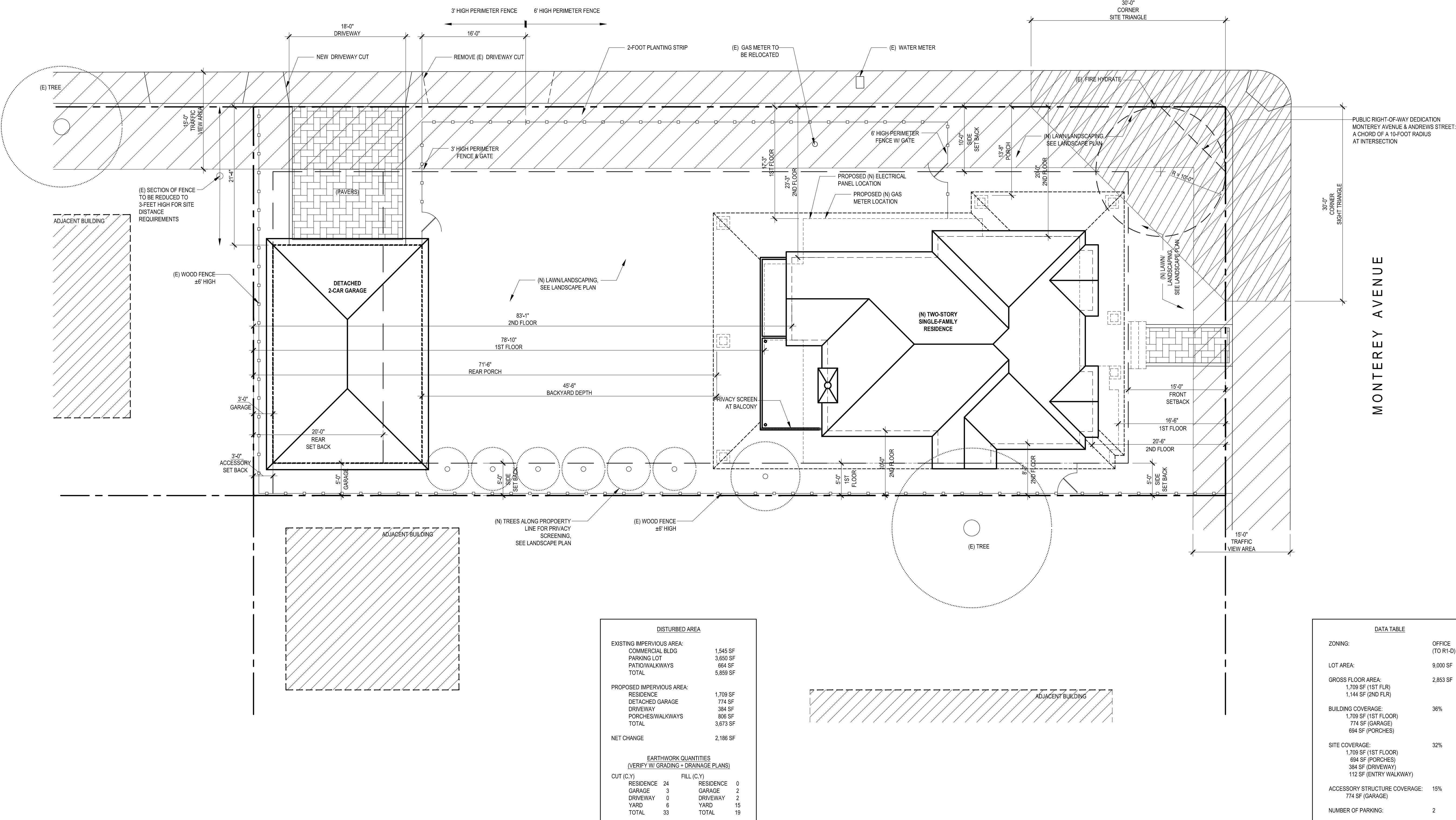
TABLE 1 SUMMARY TREE TABLE

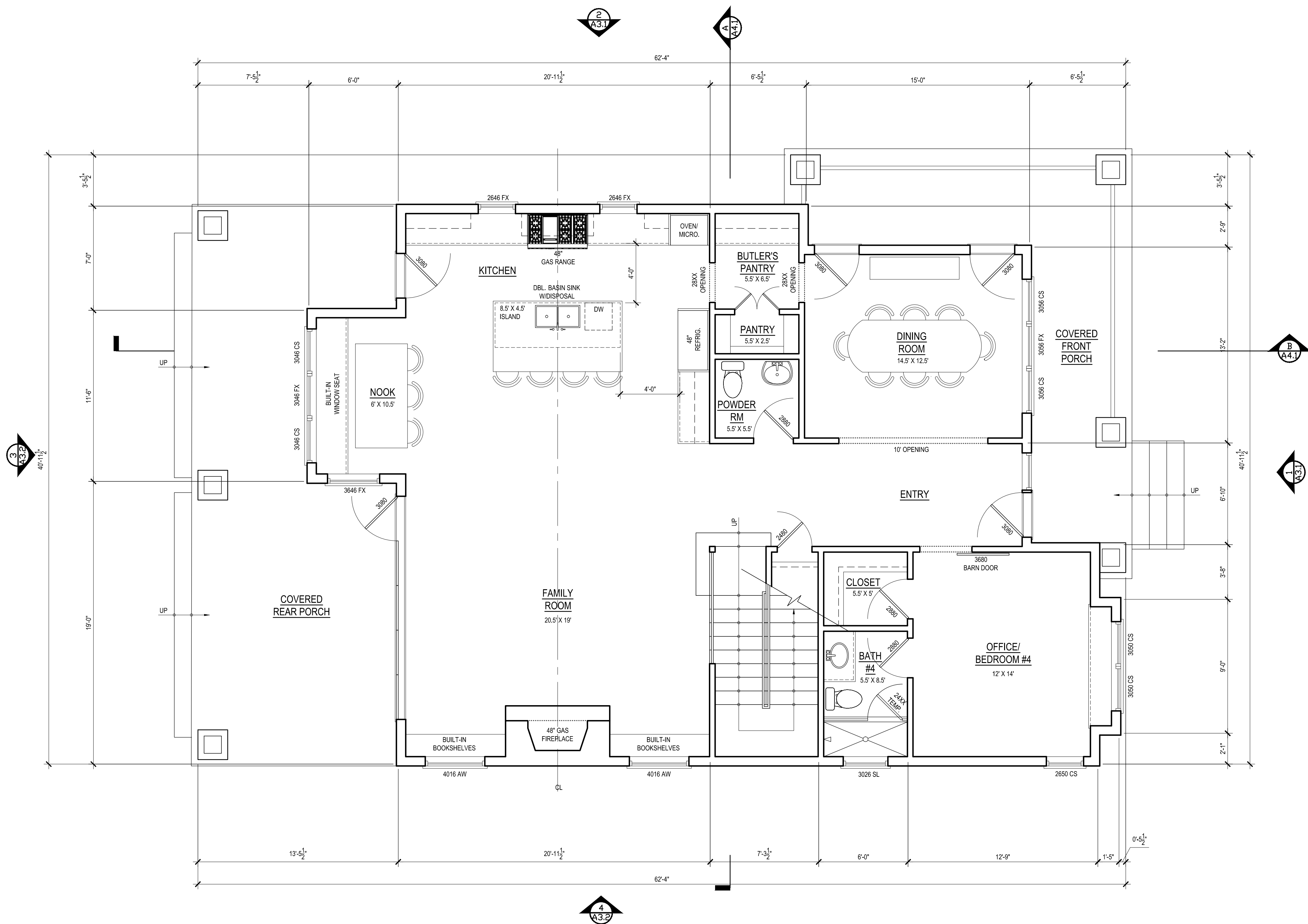
Tree #	Common Name	Trunk Diam. (in. @3ft.)	Preservation Suitability	Expected Construction Impact	Action	Reason
1	glossy privet	3,4	Fair	Low/Moderate?	Debatable	Tree not shown on plan
2	red maple	10	Fair/Poor	Severe	Remove	Construction
3	ash	13	Poor	Severe	Remove	Construction
4	ash	12	Fair	Moderate	Debatable	Species, Opportunity for better screening landscaping in this location.
5	red maple	6	Fair	Moderate	Debatable	Same as above
6	sweet gum	16	Fair	Severe	Remove	Construction
7	sweet gum	12	Fair	Severe	Remove	Construction
8	sweet gum	15	Fair	Severe	Remove	Construction
9	evergreen ash	30	Fair/Good	Severe	Remove	Construction
10	Colorado blue spruce	8	Fair	Severe	Remove	Construction
11	European white birch	8,8,9	Fair	Severe	Remove	Construction
12	crape myrtle	7	Fair/Good	Severe	Remove	Construction

DATA TABLE	
ZONING:	OFFICE (TO R1-D)
LOT AREA:	9,000 SF
GROSS FLOOR AREA:	1,545 SF (OFFICE)
LOT COVERAGE:	17%
NUMBER OF PARKING:	9

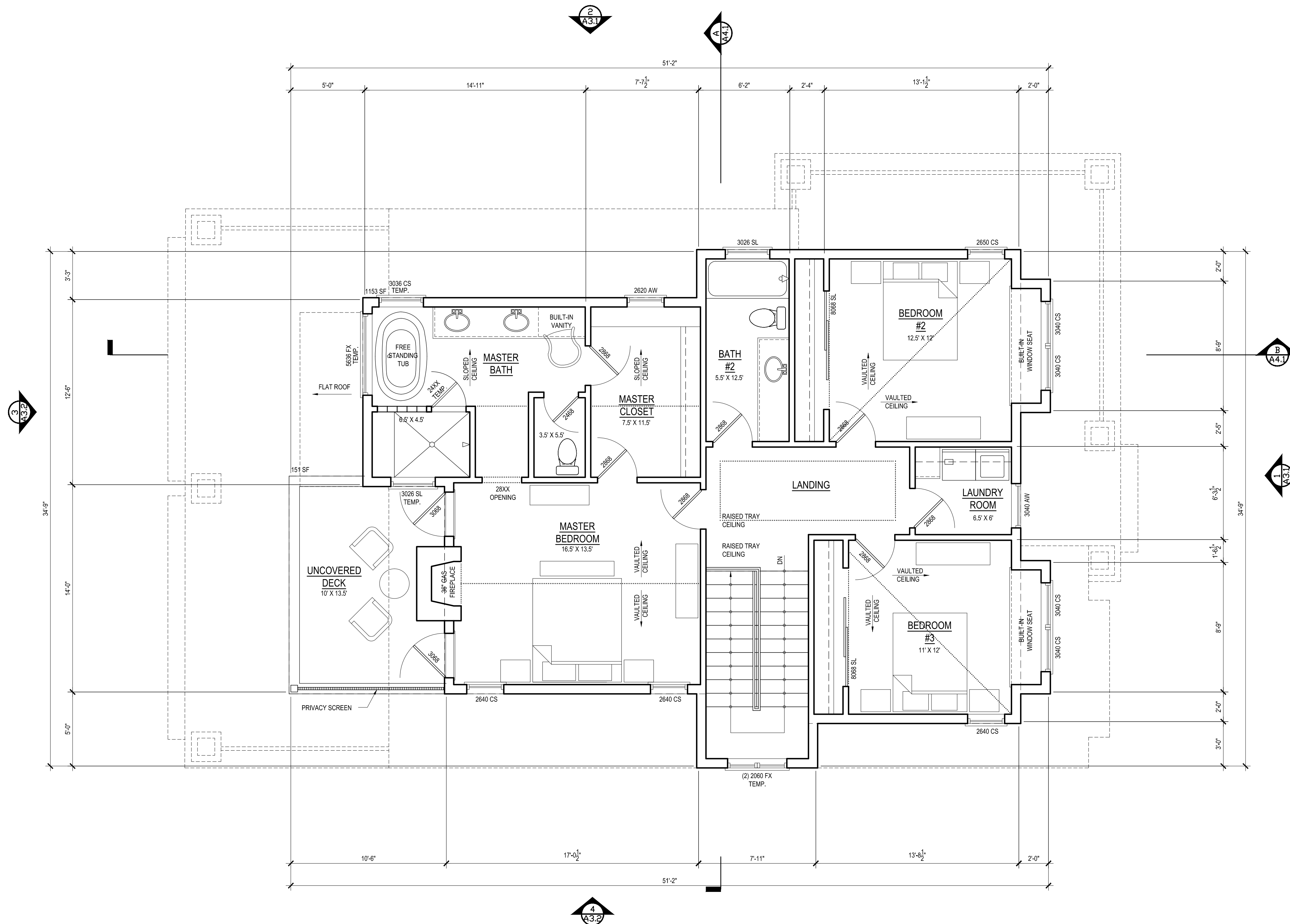


ANDREWS STREET





PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN



INTERIORS
REMDELS +
ADDITIONS
NEW CONSTRUCTION

1585 THE ALAMEDA
SUITE 200
SAN JOSE
CALIFORNIA
95126

T 408.292.3252
F 253.399.1125

BLACK
485 MONTEREY AVE.
LOS GATOS
CALIFORNIA
95030

A.P.N. 410-16-026

4 MARCH 2015

29 APRIL 2015
PLANNING SUBMITTAL

24 JULY 2015
PLANNING SUBMITTAL II

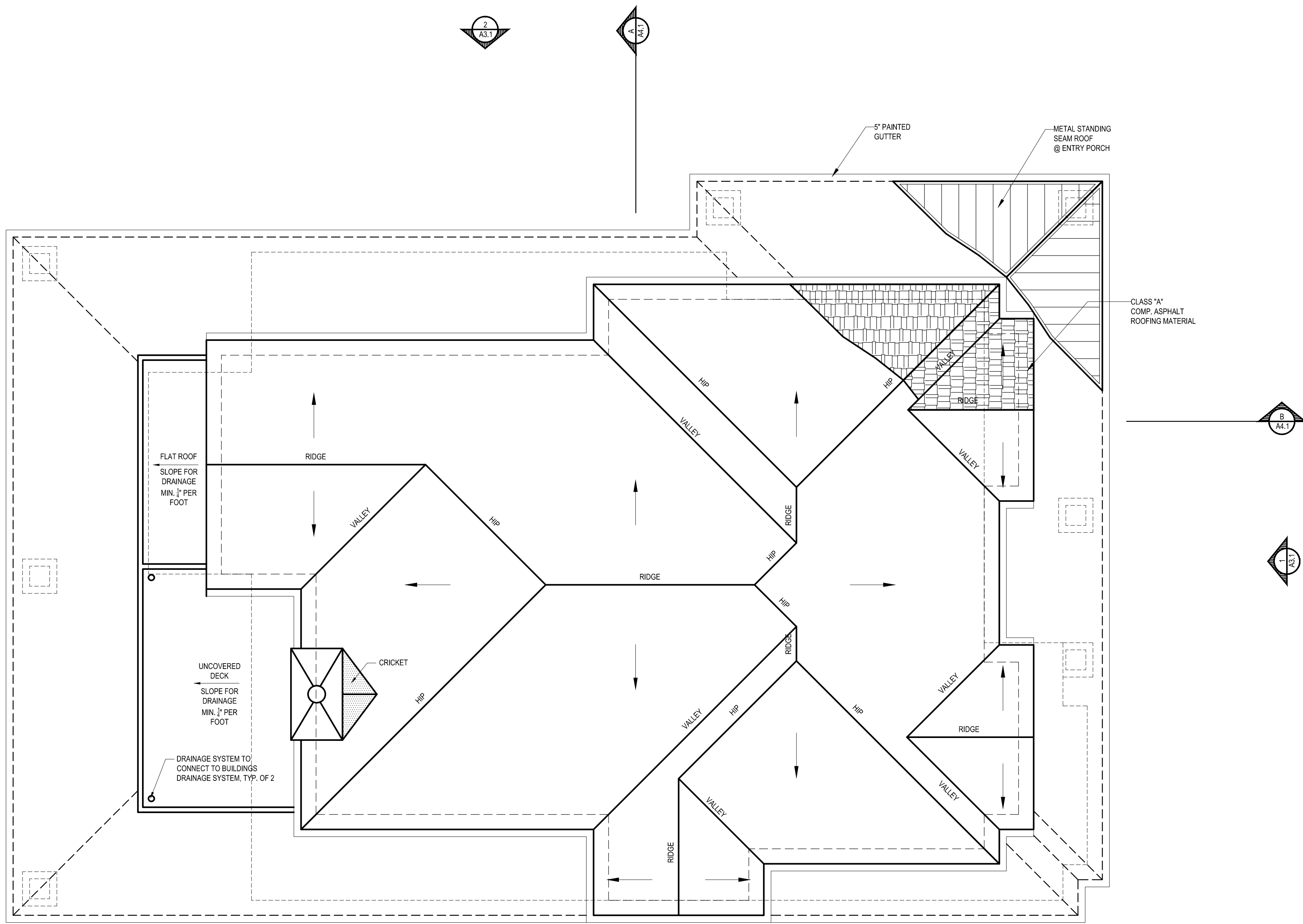
26 AUGUST 2015
PLANNING SUBMITTAL III

26 OCTOBER 2015
PLANNING SUBMITTAL IV

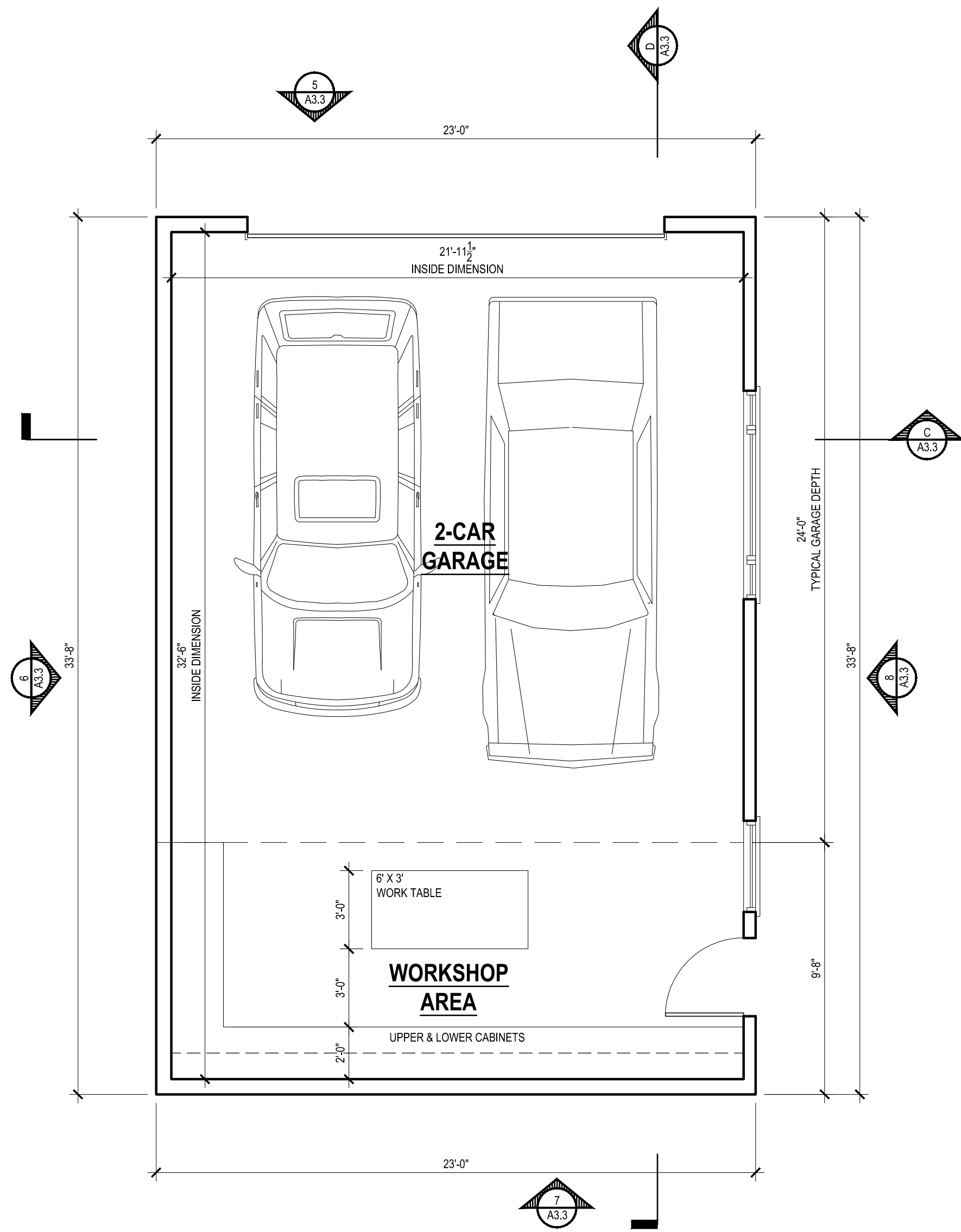
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PROPOSED
ROOF PLAN

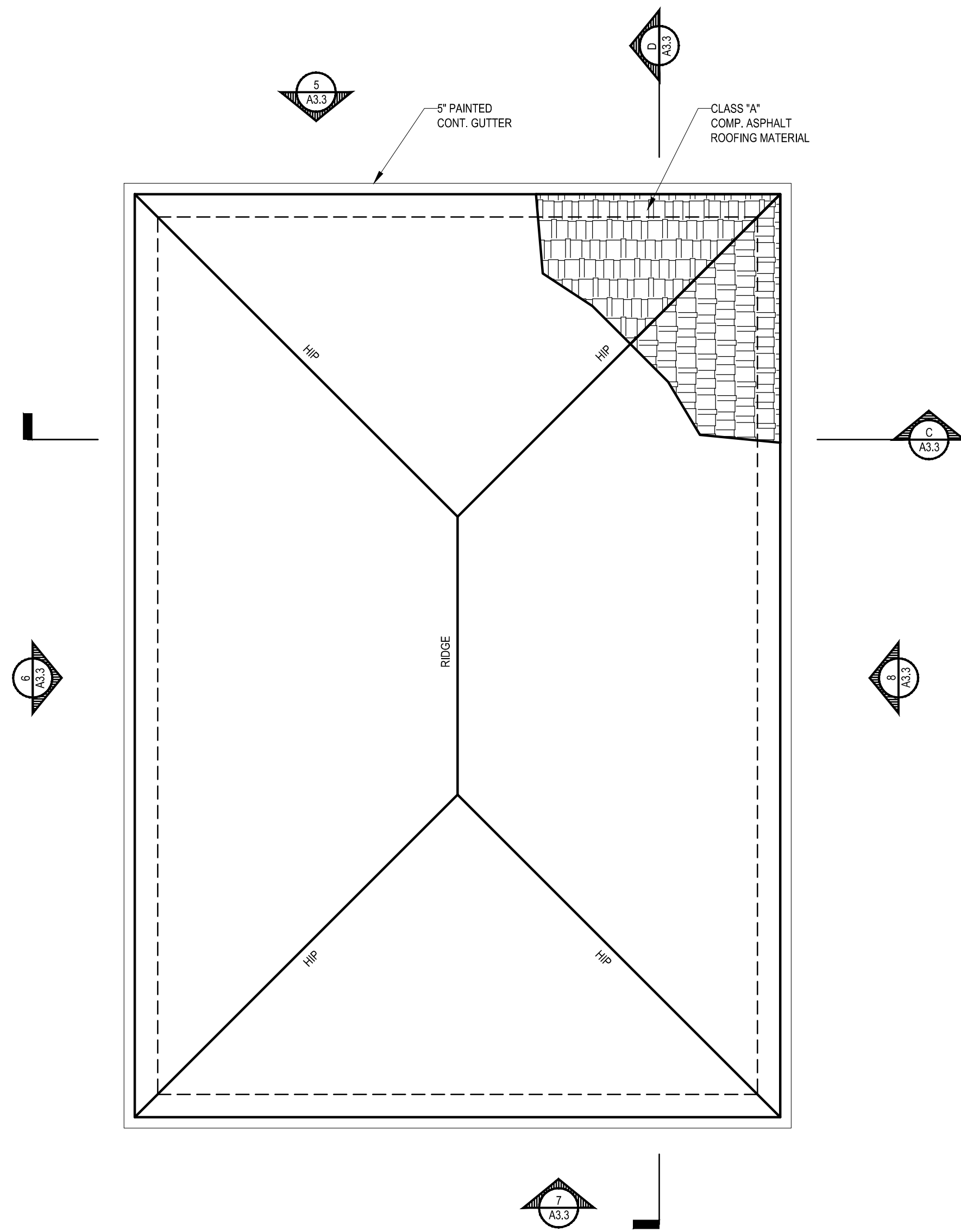
A2.3



PROPOSED ROOF PLAN



PROPOSED DETACHED
GARAGE PLAN



PROPOSED DETACHED
GARAGE ROOF PLAN



BLACK
485 MONTEREY AVE.
LOS GATOS
CALIFORNIA
95030

A.P.N. 410-16-026

4 MARCH 2015

29 APRIL 2015
PLANNING SUBMITTAL

24 JULY 2015
PLANNING SUBMITTAL II

26 AUGUST 2015
PLANNING SUBMITTAL III

26 OCTOBER 2015
PLANNING SUBMITTAL IV

SCALE: $\frac{1}{4}" = 1' - 0"$

PROPOSED
EXTERIOR ELEVATIONS

A3.1



1585 THE ALAMEDA
SUITE 200
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95126

T 408.292.3252
F 253.399.1125



BLACK
485 MONTEREY AVE.
LOS GATOS
CALIFORNIA
95030

A.P.N. 410-16-026

4 MARCH 2015

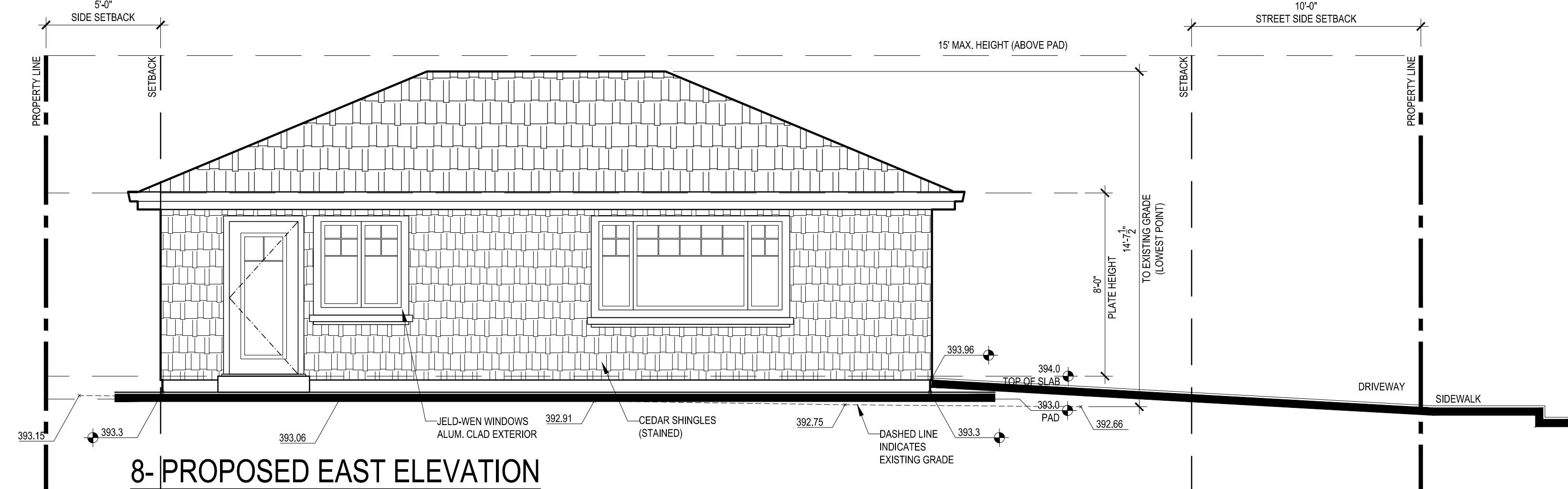
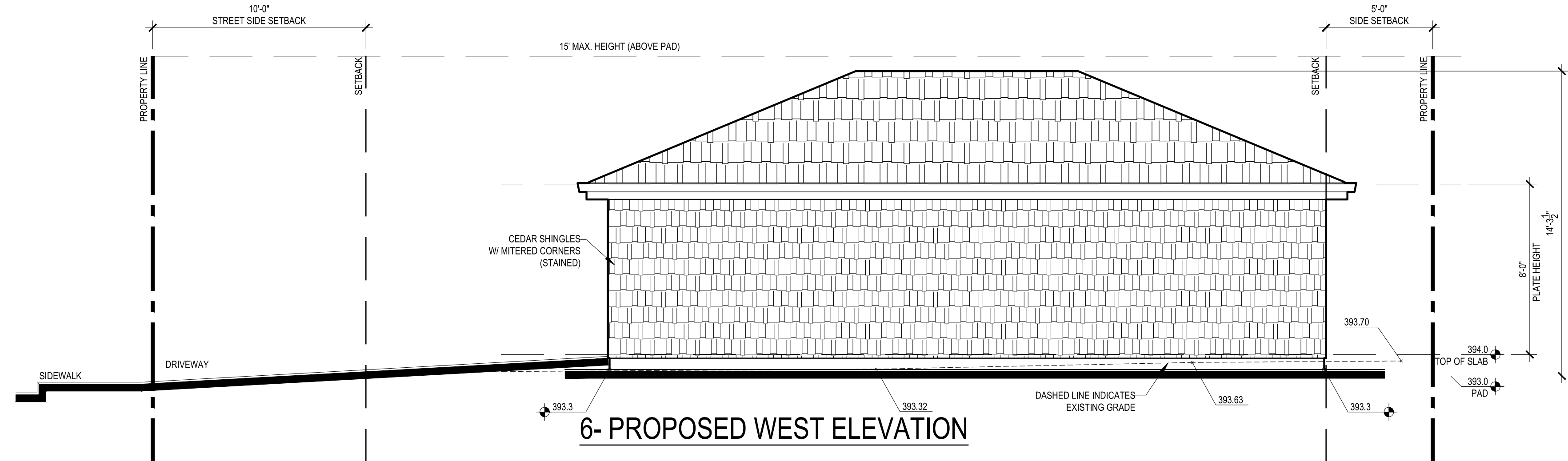
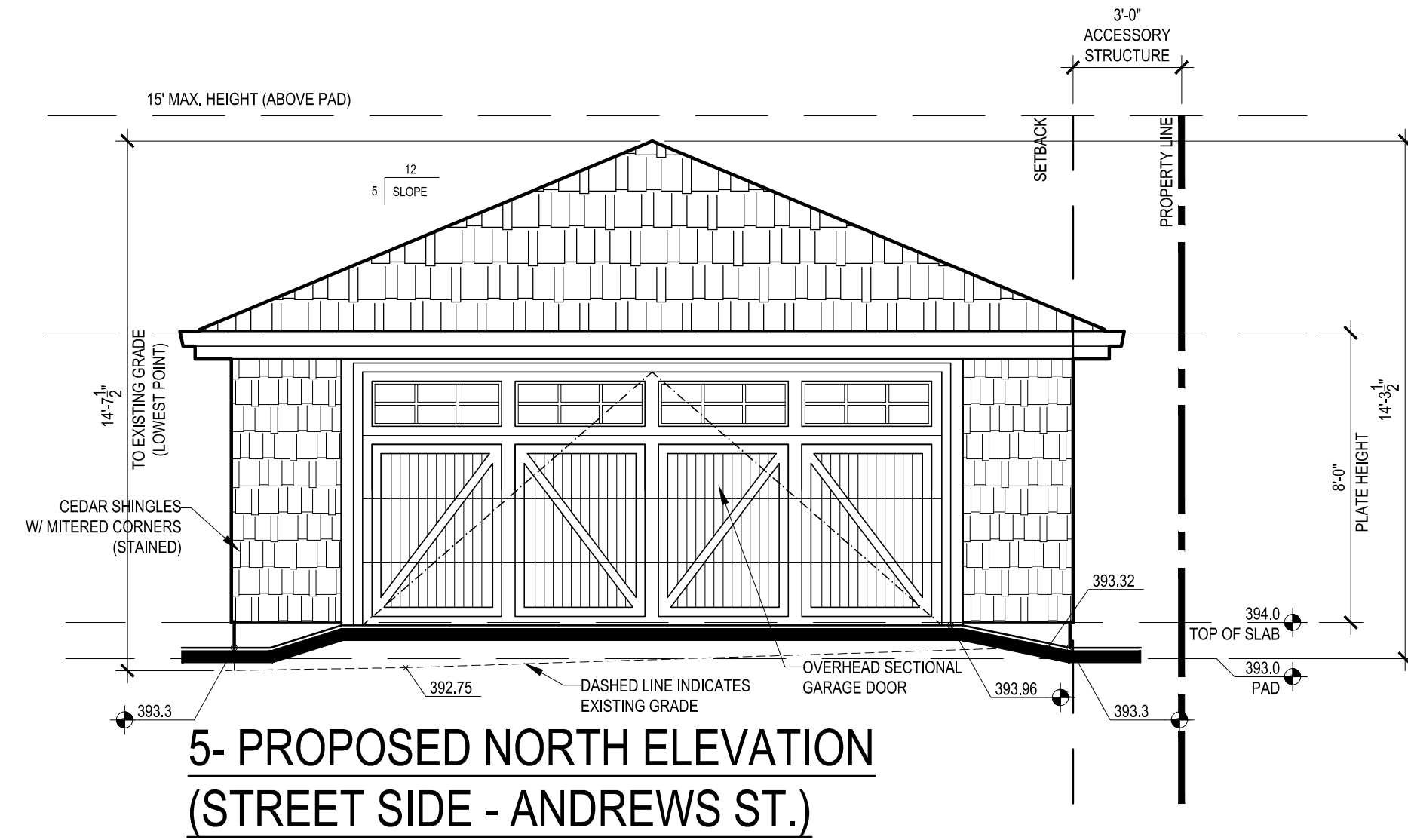
29 APRIL 2015
PLANNING SUBMITTAL

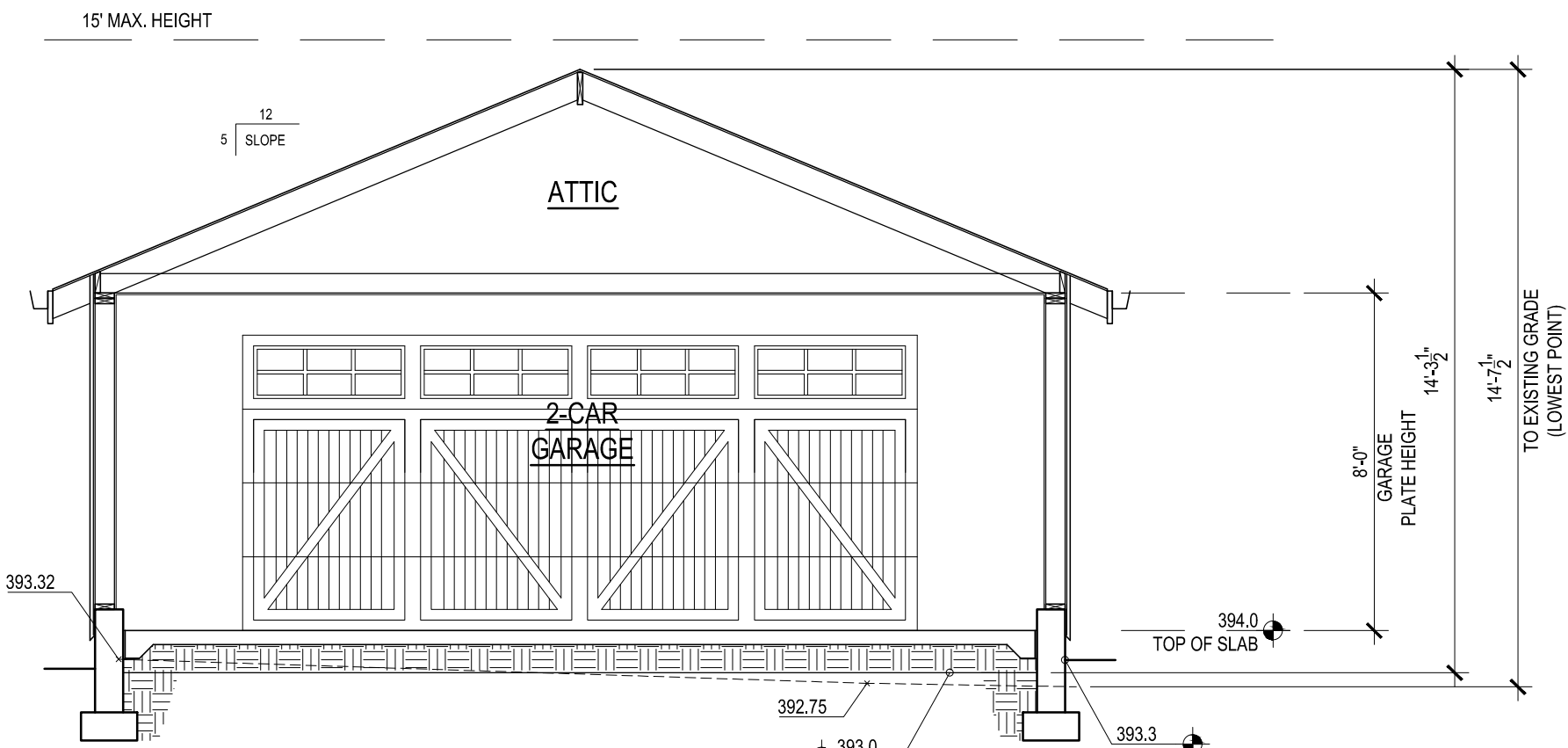
24 JULY 2015
PLANNING SUBMITTAL II26 AUGUST 2015
PLANNING SUBMITTAL III26 OCTOBER 2015
PLANNING SUBMITTAL IV

SCALE: $\frac{1}{4}" = 1' - 0"$

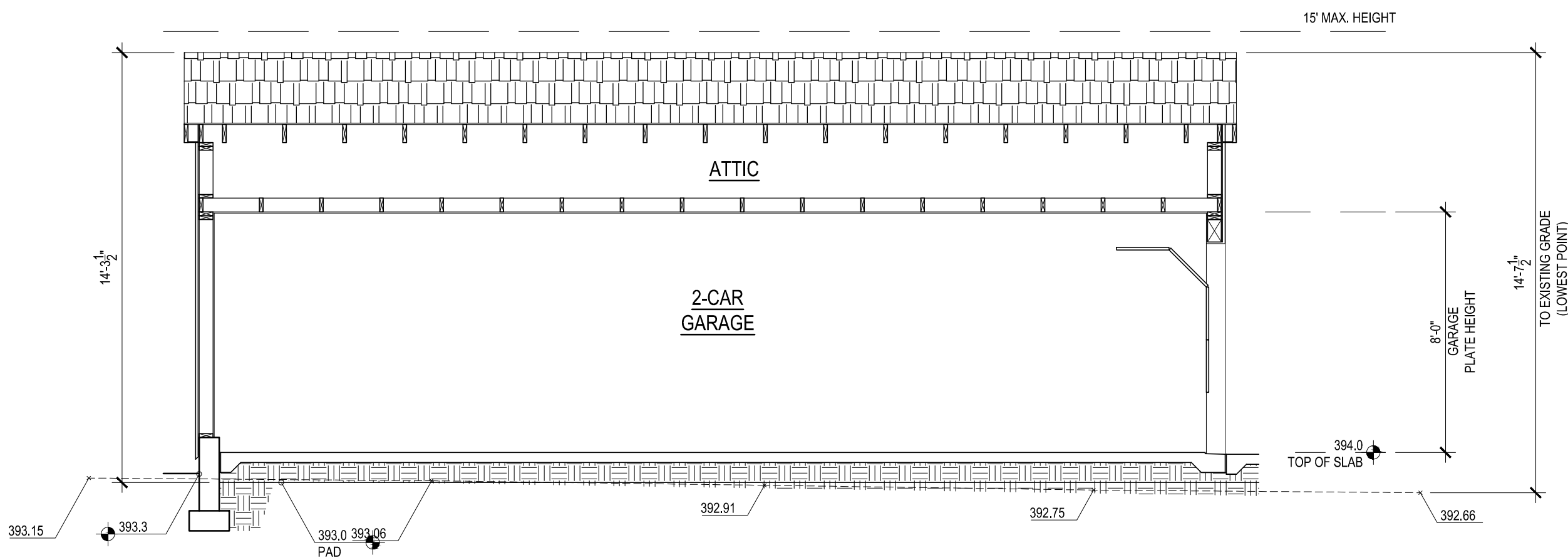
PROPOSED
EXTERIOR ELEVATIONS

A3.2

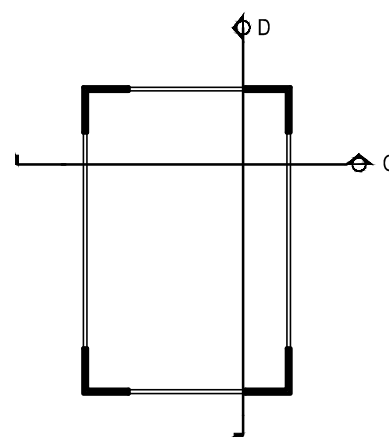




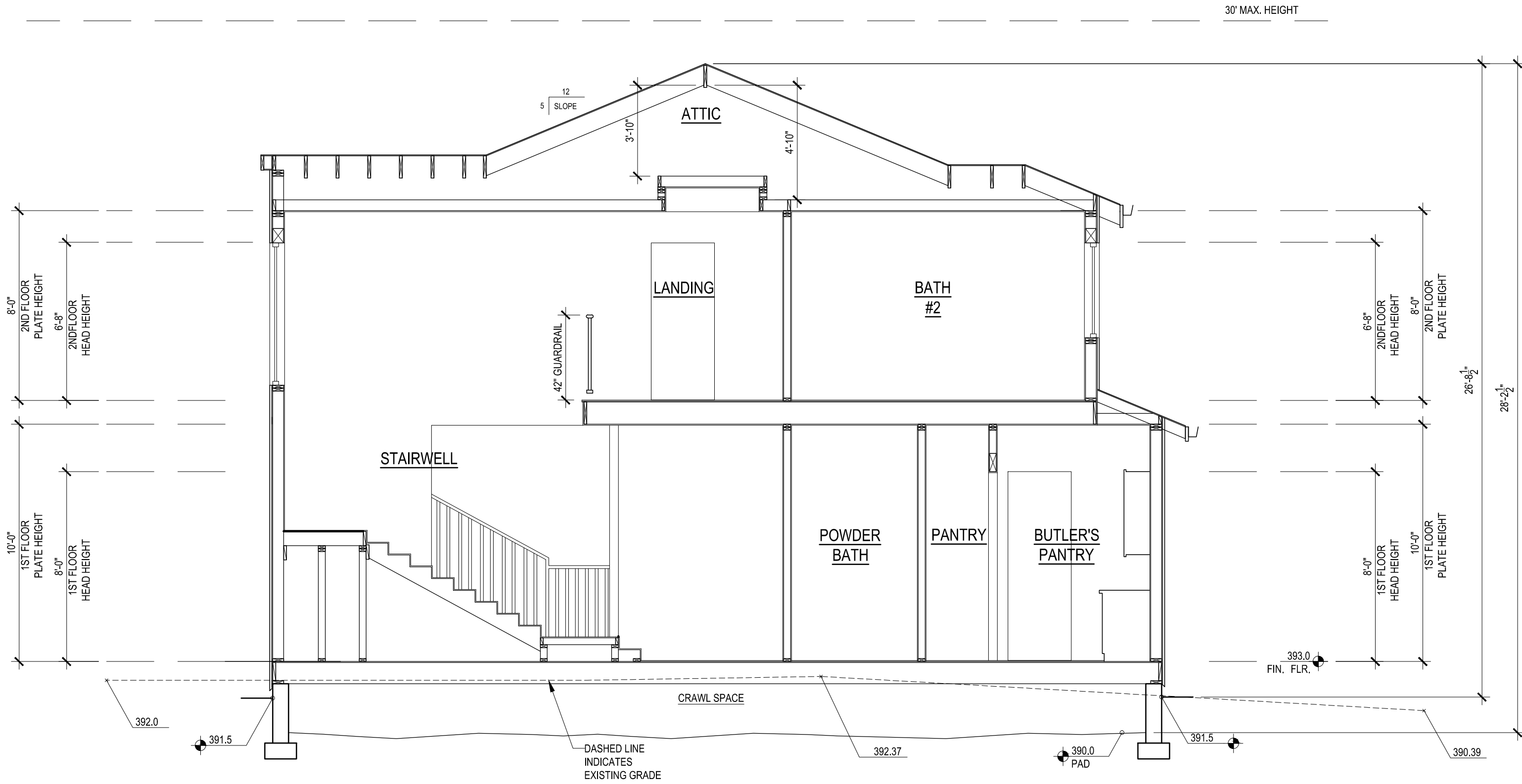
C - GARAGE SECTION



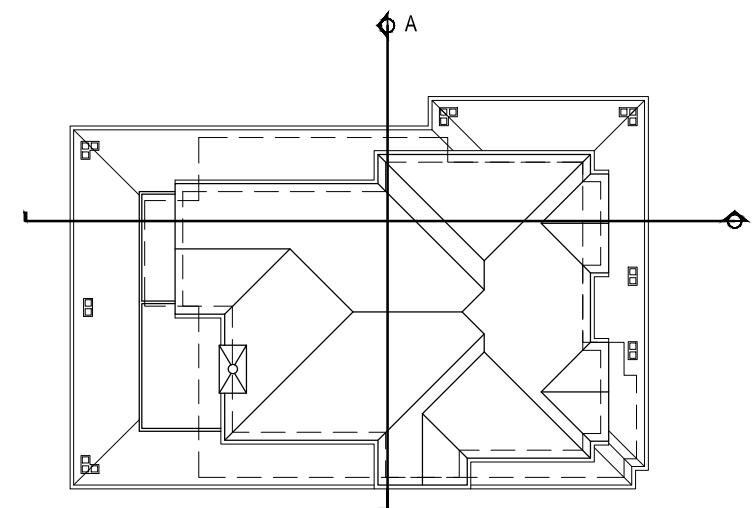
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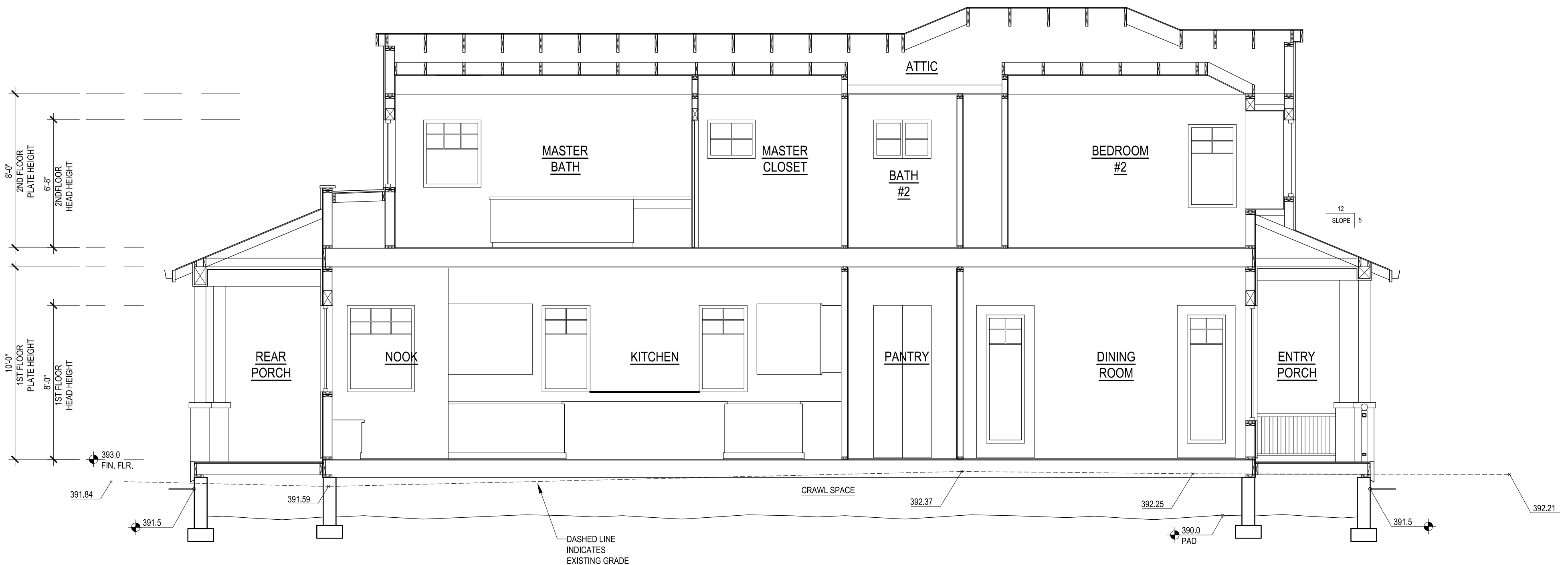
KEY PLAN - GARAGE



A - BUILDING SECTION



KEY PLAN



B - BUILDING SECTION

SEE STRUCTURAL DRAWINGS FOR
ALL FRAMING AND FOUNDATION
REQUIREMENTS



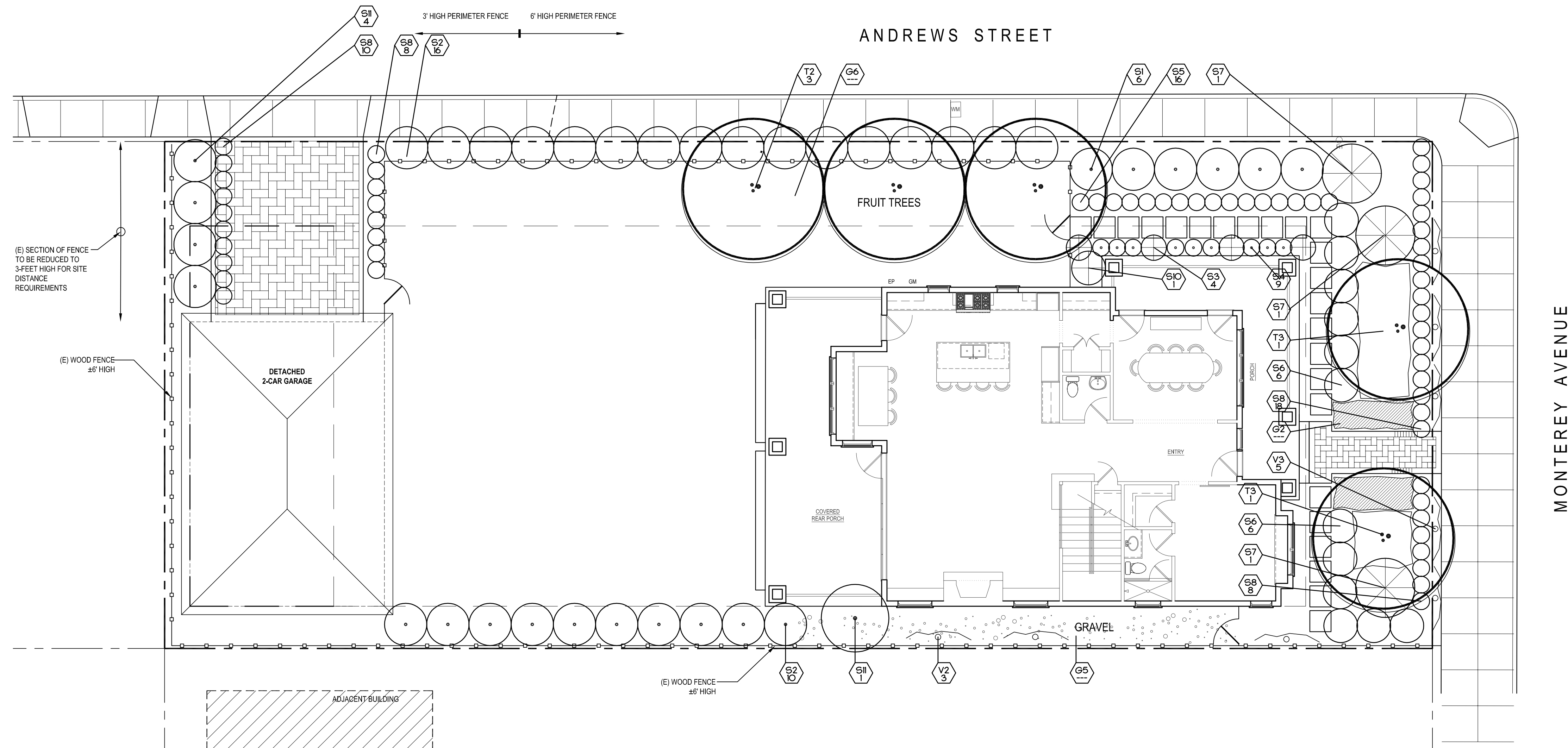
OS GATOS, CA

PAUL JAY REED
No. 2002
EXP. 9/30/15

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All Drawings, Specifications and copies thereof furnished by the Client to the Architect are the property of the Client. The Architect and Associates Landscape Architecture are and shall remain the sole and exclusive owners of the copyright in and to the drawings, specifications and other documents prepared by the Architect and Associates Landscape Architecture. They are and shall remain the property of the Architect and Associates Landscape Architecture. They are to be used only with respect to this project and are not to be used on any other project without the written consent of the Architect and Associates Landscape Architecture. The submission or distribution to meet official regulatory requirements or for purposes in connection with the project is not to be construed as publication in derogation of the Architect and Associates Landscape Architecture, common law copyright or any other reserved rights.

Approved	PJR		
Drawn	RS	Reviewed	PJR
Project No.	XX.XX		
Scale		Issue Date	07.27.15

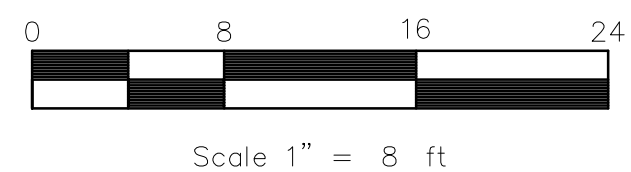
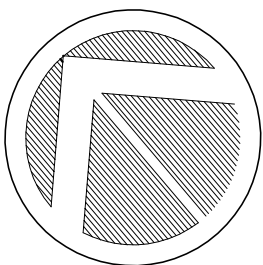


PLANT LIST:							
NATIVE	KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
		TREES					
	T2	FRUIT TREES	FRUIT TREES	3	24"BOX	STANDARD	MEDIUM
	T3	CERCIS G. FOREST PANSY'	EASTERN REDBUD	2	24"BOX	STANDARD	MEDIUM
		SHRUBS					
NATIVE	91	ARCTOSTAPHYLOS D. HOWARD MCMINN'	MCMINN MANZANITA	--	5 GAL.		VERYLOW
	92	PITTOSPORIUM T. VARIEGATA'	MOCK ORANGE	--	9 GAL.		LOW
NATIVE	93	PENSTEMON 'APPLE BLOSSOM'	BEARD TONGUE	--	5 GAL.		LOW
NATIVE	94	MIMULUS CARDINALIS	MONKEY FLOWER	--	5 GAL.		LOW
NATIVE	95	HEUCHERA MAXIMA	ALUM ROOT	--	1 GAL.		MEDIUM
	96	LAVANDULA S. OTTO QUAST'	LAVENDER	--	9 GAL.		LOW
	97	PHLOEMUM 'JESTER'	HYBRID FLAX	--	9 GAL.		LOW
	98	HEMEROCALLIS	DAYLILY	--	5 GAL.		MEDIUM
	99	SEGLERIA 'GREENLEE'	MOOR GRASS	--	1 GAL.		MEDIUM
	910	NANDINA DOMESTICA	HEAVENLY BAMBOO	--	5 GAL.		LOW
	911	ARBUTUS COMPACTA	DWARF STRAWBERRY TREE	--	9 GAL.		
		GROUND COVERS					
NATIVE	G1	FRAGARIA CHILOENSIS	WILD STRAWBERRY	---	FLATS	8" O.C.	MEDIUM
	G2	STACHYS B. 'SILVER CARPET'	SILVER CARPET LAMB'S EAR	---	1 GAL.	18" O.C.	LOW
NATIVE	G3	MANIA REPENS	CREEPING MANIONA	---	1 GAL.	24" O.C.	LOW
	G4	CENTAUREA CINERARIA	DUSTY MILLER	---	1 GAL.	18" O.C.	LOW
	G5	3/8" FEA GRAVEL	GRAVEL	---	---	---	---
	G6	WOOD CHIP MULCH	MULCH	---	---	---	---
		VINES					
	V1	PANDOREA JASMINOIDES 'ROSEA'	PINK BOUQUET VINE	2	15 GAL.		MEDIUM
	V2	HARDENBERGIA V. 'HAPPY WANDERER'	PURPLE VINE LILAC	3	9 GAL.		MEDIUM
	V3	LONICERA SEMPERVIRENS	TRUMPET HONEYSUCKLE	5	5 GAL.		MEDIUM

PLANT NOTES:

1. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
3. PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
5. THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
6. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
7. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
8. REFER TO CIVIL ENGINEER'S PLANS FOR OVERALL SITE GRADING AND DRAINAGE.
9. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT - 1.800.227.2600

PLANT SYMBOLS



LANDSCAPE PLANTING PLAN

L1.0