

Z-15-001
S-15-018

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SEP 08 2015

TOWN OF LOS GATOS
PLANNING DIVISION

NEIGHBORHOOD STREETSCAPE



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

1585 THE ALAMEDA
SUITE 200
SAN JOSE
CALIFORNIA
95126

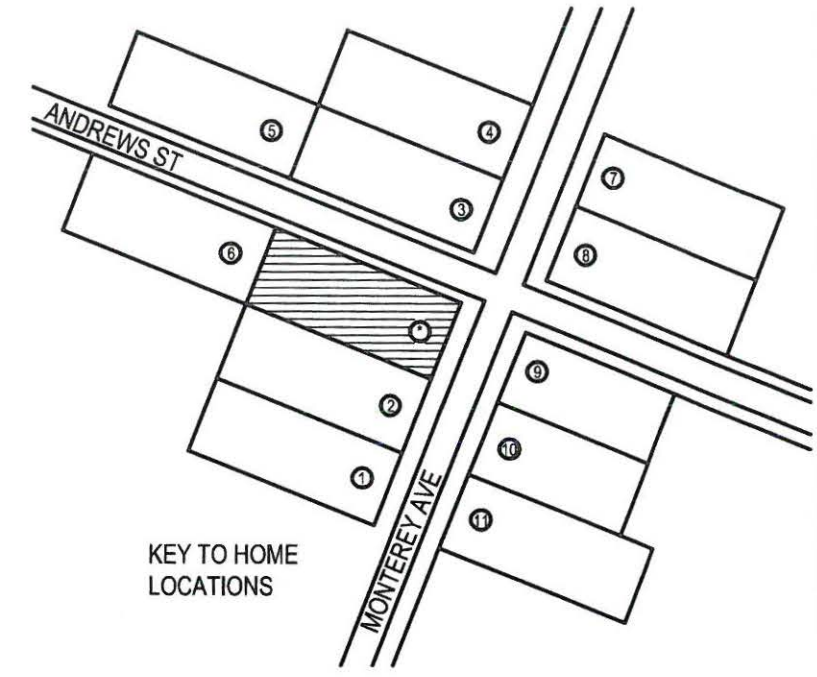
T 408.292.3252
F 253.399.1125

BLACK
485 MONTEREY AVE.
LOS GATOS
CALIFORNIA
95030

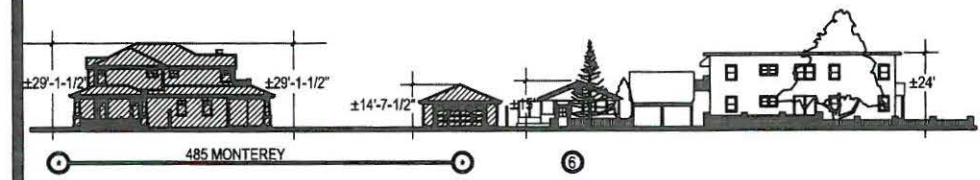
A.P.N. 410-16-026

PROJECT DESCRIPTION

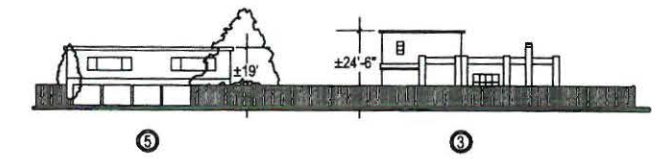
This project includes the demolition of an existing commercial building and the construction of a new two-story single-family residence which better fits the fabric of the existing residential neighborhood. The project includes a new two-car detached garage.



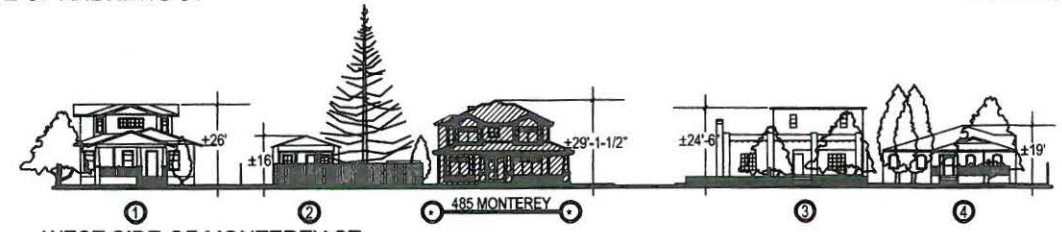
KEY TO HOME
LOCATIONS



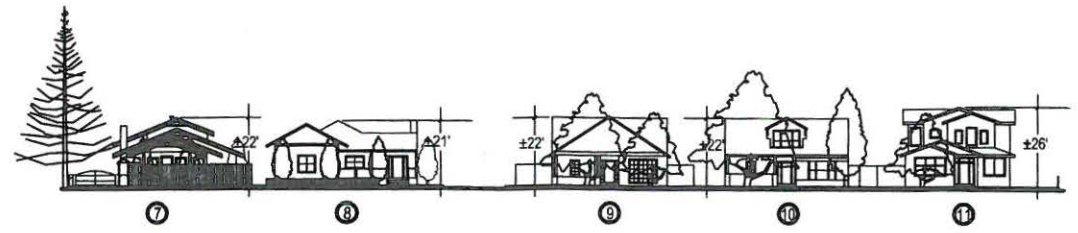
SOUTH SIDE OF ANDREWS ST



NORTH SIDE OF ANDREWS ST



WEST SIDE OF MONTEREY ST



EAST SIDE OF MONTEREY ST



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MAR 05 2015

TOWN OF LOS GATOS
PLANNING DIVISION

2-15-001
5-15-018

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95030

A.P.N. 410-16-026

4 MARCH 2015

1ST SUBMITTAL

SCALE 1/8" = 1'

ELEVATIONS

A3.1

EXHIBIT 16



5- PROPOSED FRONT ELEVATION



6- PROPOSED RIGHT ELEVATION

ON SLOPES 4:12 OR GREATER PROVIDE 1 LAYER OF FELT TM UNDER ROOFING OR ON SLOPES LESS THAN 4:12 PROVIDE 2 LAYERS OF FELT TM UNDER ROOFING AS REQUIRED BY SECTION 05060.07

WINDOW GLAZING FOR ALL NEW WINDOWS TO BE MAX. 40% FACTOR AND 5/16" GLC.

1012.2 HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE MIN. 34" AND MAX. 38".

1012.4 HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY JEWEL POSTS OR OTHER OBSTRUCTIONS.

EXCEPTIONS:
HANDRAILS WITH DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED BY A JEWEL POST AT A TURN OR LANDING.

WITHIN A DWELLING UNIT, THE USE OF A VOLUTE, TURNOUT, STARTING RAILING OR STARTING RAILING IS ALLOWED OVER THE LOWEST TREAD.

1012.5 HANDRAILS SHALL NOT ROTATE WITH THEIR FITTINGS.

1012.6 HANDRAILS WITHIN A DWELLING UNIT NEED EXTEND ONLY 1' FROM THE TOP RISE TO THE BOTTOM RISE.

1012.7 CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE A MIN. 1 1/2". ADJACENT SURFACES SHALL BE FREE OF ANY SHARP OR ABUSIVE ELEMENTS.

ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 20". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.

CONTRACTOR TO INSTALL A STREET NUMBER @ ROADSIDE IN FRONT OF PROJECT.

THREE PROTECTION SHALL BE NO LESS THAN 5'-0" HIGH CHAIN LINK FENCE FOR DURATION OF PROJECT AS REQUIRED.

STUCCO SYSTEM SHOULD BE 3 COATS THICK WITH 2 LAYERS OF 1/2" FIBER AND A CONTINUOUS WEEP SCREE.

A PERMANENT LABEL, PER SECTION 05061, SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.

FOUNDATION VENT CALC:
OPENINGS FOR UNDER-FLOOR VENTILATION, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 100 SQUARE FEET (S.F.) FOR EACH 100 S.F. OF GRAVE-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/8" INCH (1/8" MIN. CIRC. 12B1.1).

OPENINGS FOR UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1/4" SQUARE FEET (S.F.) FOR EACH 25 SQUARE FEET (S.F.) OF GRAVE-SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/8" INCH (1/8" MIN. CIRC. 12B1.1).

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MIN. 1/4" S.F. = 2.5 S.F. / 42 S.F. = 7 VENTS



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4 MARCH 2015

1ST SUBMITTAL

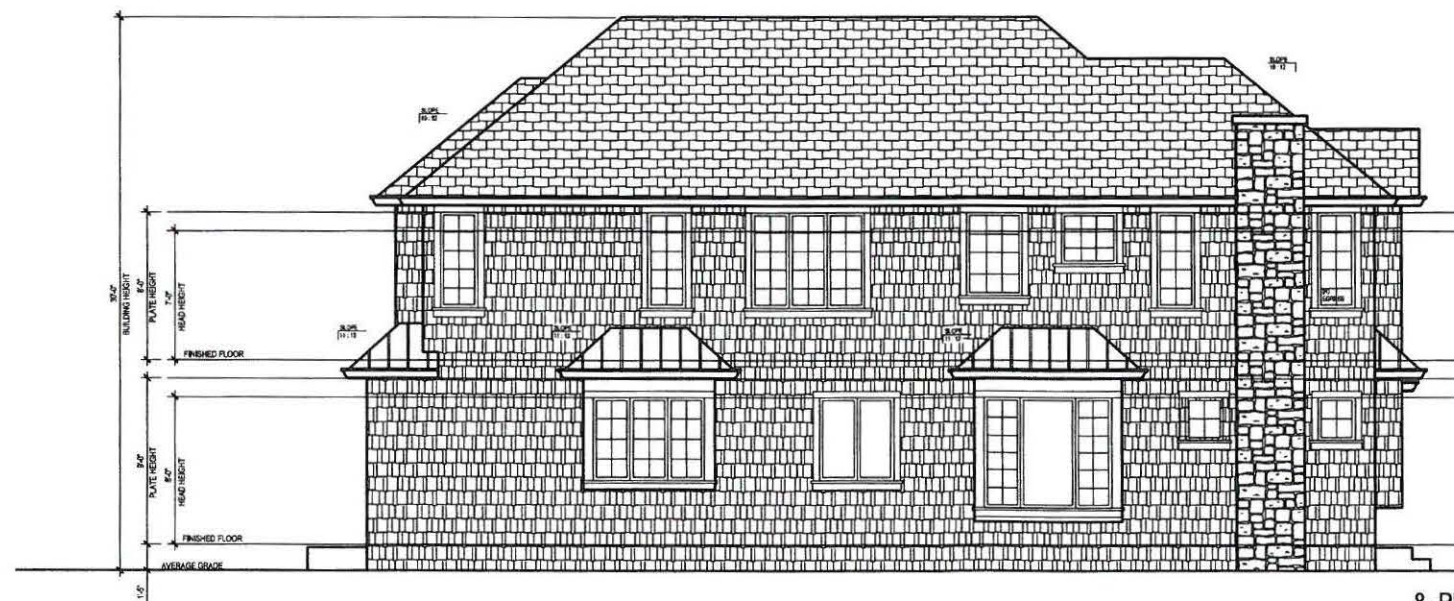
SCALE 1/2" = 1'

ELEVATIONS

A3.2



7- PROPOSED REAR ELEVATION



8- PROPOSED LEFT ELEVATION

ON SLOPES 4:12 OR GREATER PROVIDE 1 LAYER OF FELT OR UNDER ROOFING OR ON SLOPES LESS THAN 4:12 PROVIDE 2 LAYERS OF FELT OR UNDER ROOFING AS REQUIRED BY SECTION CIRC 706.2.7

WINDOW GLAZING FOR ALL NEW WINDOWS TO BE MAX. 40 L.F. FACTOR AND 8.0 L.F.C.

1012.2 HANDRAIL HEIGHT, MEASURED ABOVE START TREAD NOSING, ON FINISH SURFACE OF RAMP SLOPE, SHALL BE MIN. 34" AND MAX. 38".
1012.4 HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS.

4.2.2.1 HANDRAILS WITHIN DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN OR LANDING.

4.2.2.2 WITHIN A DWELLING UNIT, THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEWEL IS ALLOWED OVER THE LOWEST TREAD.

1012.3 HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

1012.4 HANDRAILS WITHIN A DWELLING UNIT NEED EXTEND ONLY FROM THE TOP RAIL TO THE BOTTOM RAIL.
1012.7 CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE A MIN. 1 1/2" ADJACENT SURFACES SHALL BE FREE OF ANY SWAMP OR ABRASIVE ELEMENTS.

ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SF. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 20". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

CONTRACTOR TO INSTALL A STREET NUMBER @ ROADSIDE IN FRONT OF PROJECT.

TRAIL PROTECTION SHALL BE NO LESS THAN 4' HIGH CHAIN LINK FENCE FOR DURATION OF PROJECT AS REQ'D.

STUCCO SYSTEM SHOULD BE 5 COATS THICK WITH 2 LAYERS OF 1/2" PAPER AND A CONTINUOUS WEEP SCREED.

A PERMANENT LABEL, PER SECTION 1038.1.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.

FOUNDATION VENT CALC.

OPENINGS FOR UNDER-FLOOR VENTILATION, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 100 SQUARE FEET BUT NOT FOR EACH 100 SQ. FT. OF COARSE SPACE AREA. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH IS MAX. ONE GRASS.
OPENINGS FOR UNDER FLOOR VENTILATION SHALL BE NOT LESS THAN 1 1/4 SQUARE FEET (0.106 M2) FOR EACH 25 LINEAR FEET (7.62 M) LINEAR MING OF EXTERIOR WALL. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS NOT LESS THAN 1/8 INCH (3.18 MM) AND NOT MORE THAN 1/4 INCH (6.35 MM) IN ANY DIMENSION, CIRC 108.3.3.1 (B) (5).
X₆ X 435 SF = 2.9 SF / 42 SF = 7 MESH



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MAY 11 2015

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2ND SUBMITTAL

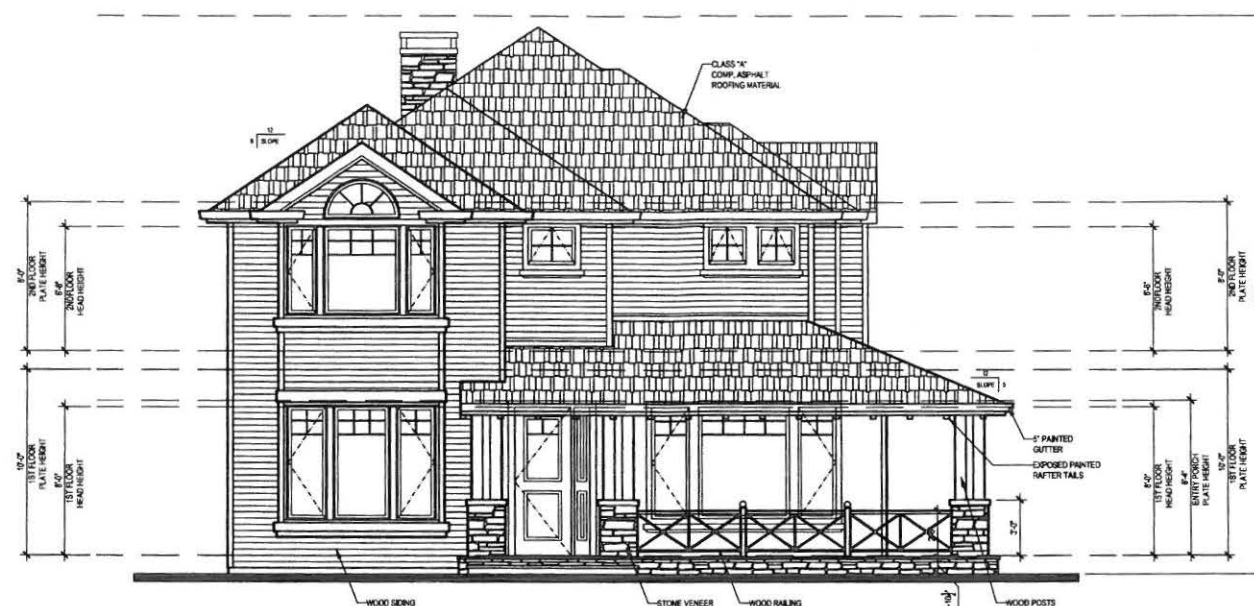
4 MARCH 2015

29 APRIL 2015
PLANNING SUBMITTAL

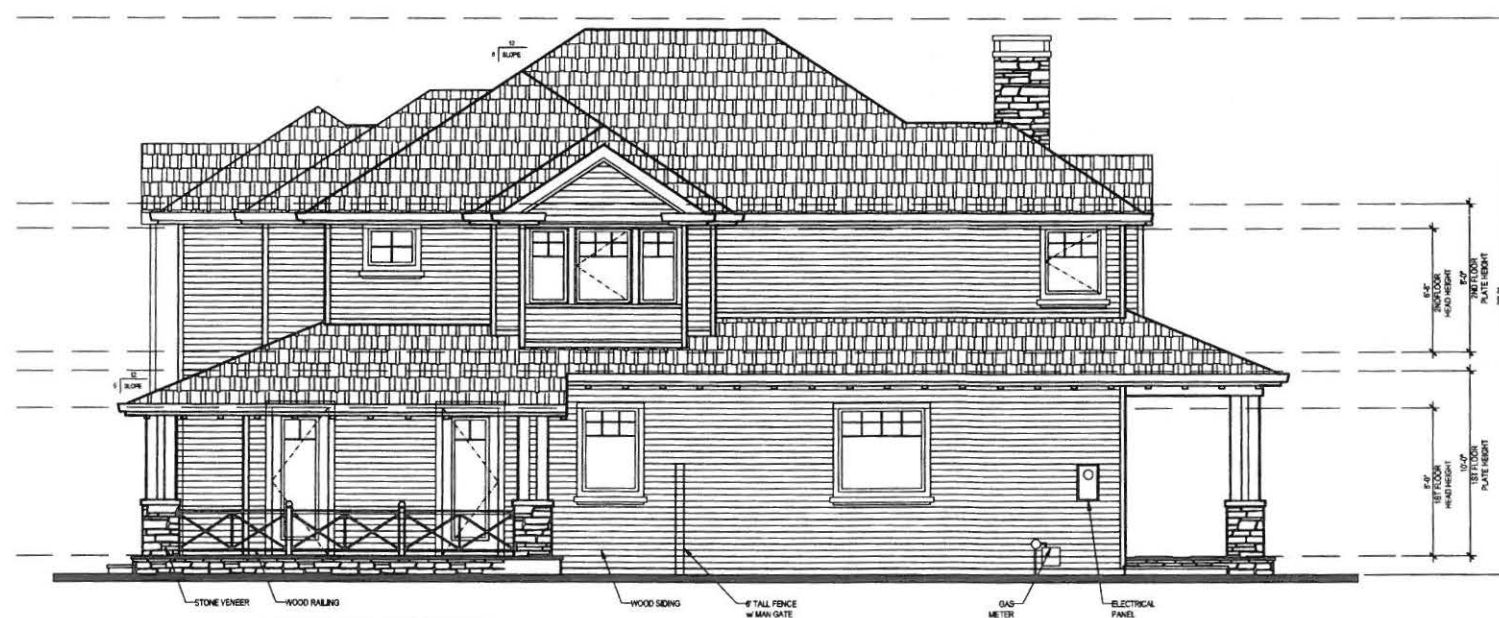
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

A3.1



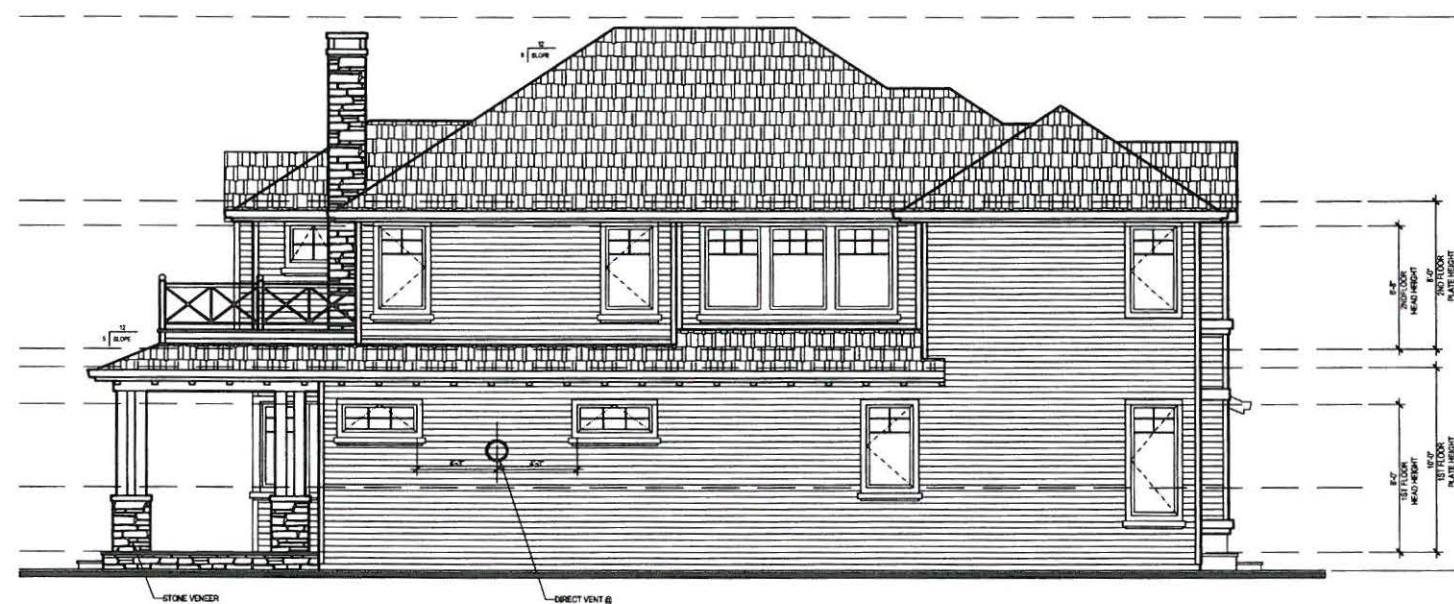
1 - PROPOSED EAST ELEVATION
(FRONT - MONTEREY AVE.)



2 - PROPOSED NORTH ELEVATION
(STREET SIDE - ANDREWS ST.)



3 - PROPOSED WEST ELEVATION (REAR)



4 - PROPOSED WEST ELEVATION (REAR)



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MAY 11 2015

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95030

A.P.N. 410-16-026

2ND SUBMITTAL

4 MARCH 2015

29 APRIL 2015
PLANNING SUBMITTAL

SCALE: 1/4" = 1' - 0"

EXTERIOR ELEVATIONS

A3.2



INTERIORS
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ADDITIONS
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JUL 28 2015

TOWN OF LOS GATOS
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BLACK
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95030

APN 410-16-026

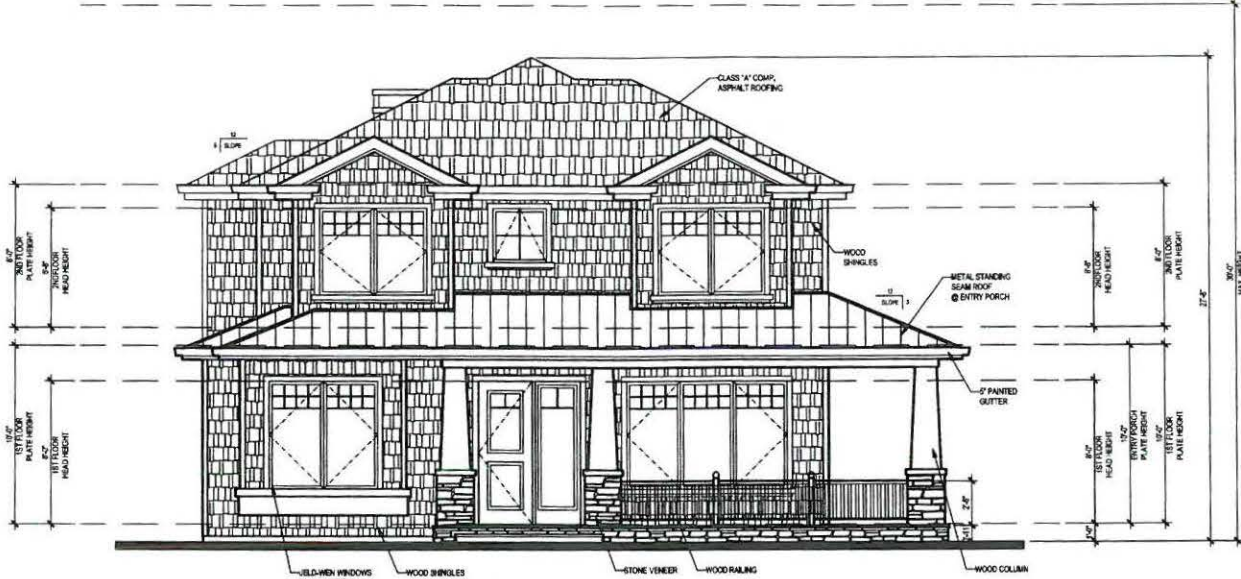
SPD SUBMITTAL

4 MARCH 2015
29 APRIL 2015
PLANNING SUBMITTAL
24 JULY 2015
PLANNING SUBMITTAL II

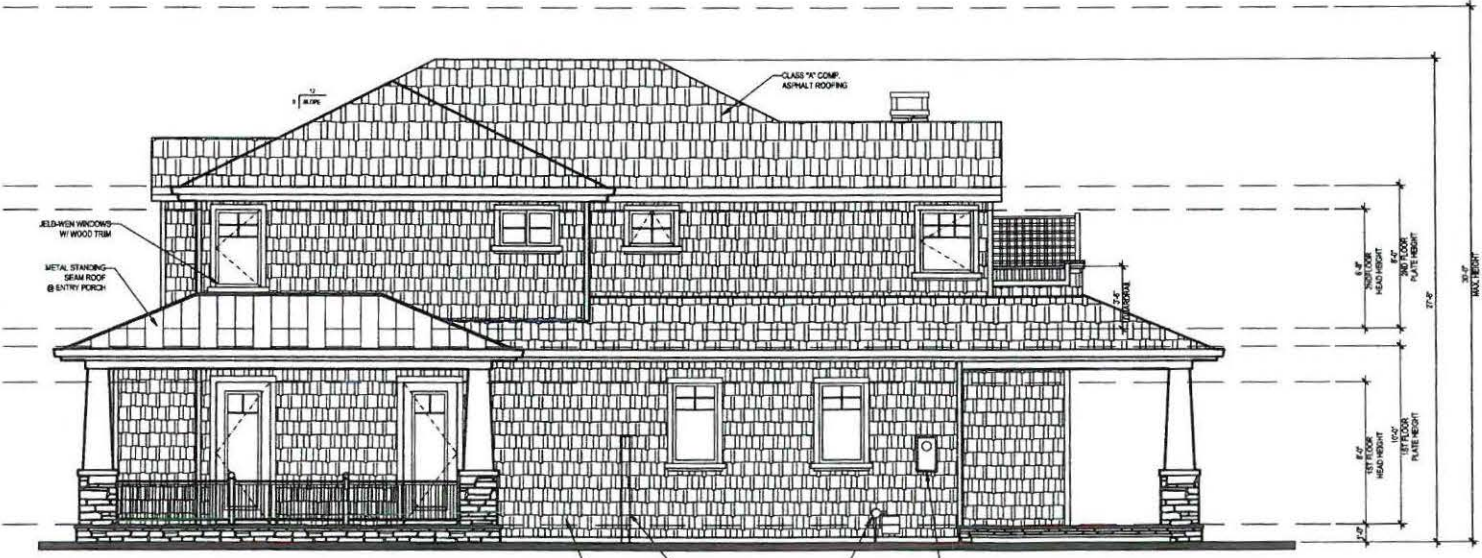
SCALE: 1/2" = 1'-0"

EXTERIOR ELEVATIONS

A3.1



1 - PROPOSED EAST ELEVATION
(FRONT - MONTEREY AVE.)



2 - PROPOSED NORTH ELEVATION
(STREET SIDE - ANDREWS ST.)



28 2015

TOWN OF LOS GATOS
PLANNING DIVISION

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LOS GATOS
CALIFORNIA
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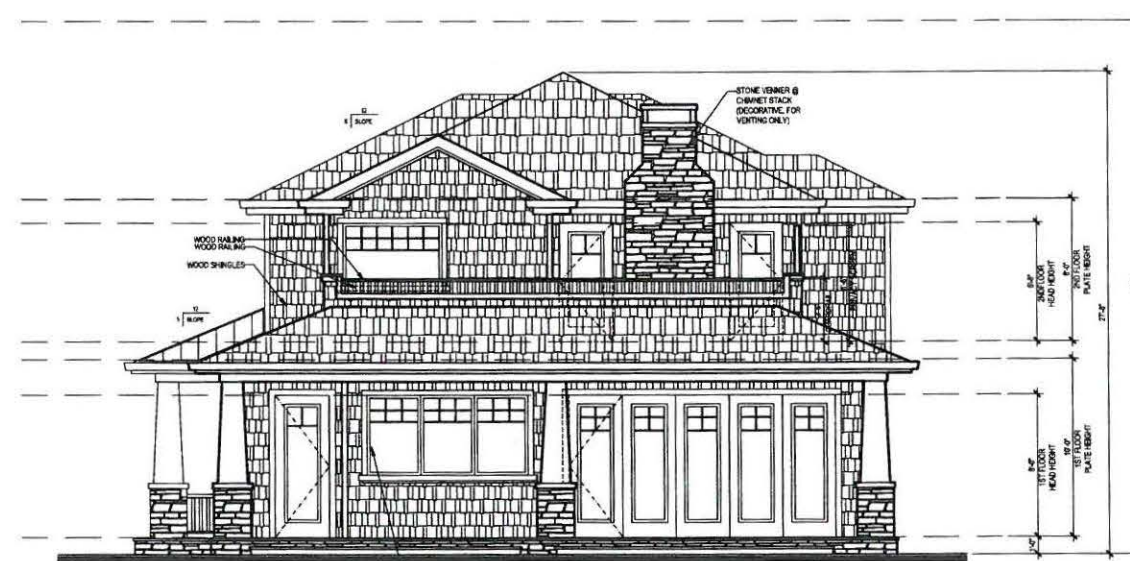
3RD SUBMITAL

4 MARCH 2015
29 APRIL 2015
PLANNING SUBMITTAL
24 JULY 2015
PLANNING SUBMITTAL II

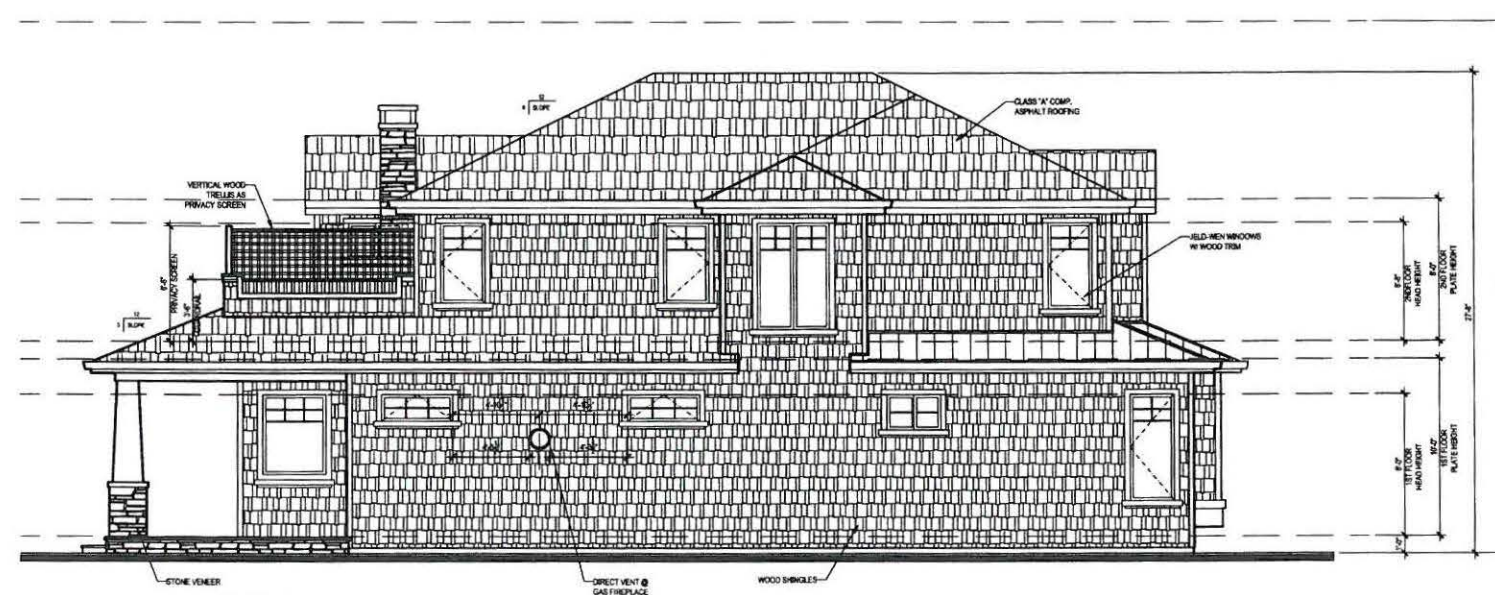
SCALE: $\frac{1}{4}" = 1' - 0"$

EXTERIOR ELEVATIONS

A3.2



3 - PROPOSED WEST ELEVATION (REAR)



4 - PROPOSED WEST ELEVATION (REAR)

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SCC FIRE COMMENTS



DEVELOPMENTAL REVIEW COMMENTS

Review of a proposed new 3,082 square-foot two-story single-family residence with detached garage.

Comment #1: Review of this Developmental proposal is limited to acceptability of site access and water supply as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Department all applicable construction permits.

Comment #2: Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. NOTE: The owner(s), occupant(s) and any contractor (s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 903.2 as adopted and amended by CBLMC

Comment #3: Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

CITY	PLANS	SPECS	NEW	RMID	AS	OCCUPANCY	CONST. TYPE	Applicant Name	DATE	PAGE
LGA	☒	☐	☐	☐	☐	SFR	V-B	Studio Three Design	03/20/2015	1 OF 2
SECFLOOR	AREA	LOAD	PROJECT DESCRIPTION	PROJECT TYPE OR SYSTEM						
2 story	3082 sf		Commercial Development	Design Review						
NAME OF PROJECT			LOCATION							
OFFICE BUILDING			485 Monterey Ave Los Gatos							
TABULAR FIRE FLOW			REDUCTION FOR FIRE SPRINKLERS		REQUIRED FIRE FLOW @ 30 PSI		BY			
1500			50%		1500		Harding, Doug			
Organized as the Santa Clara County Central Fire Protection District										
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga										



DEVELOPMENTAL REVIEW COMMENTS

Comment #4: Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33

Comment #5: Address identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. CFC Sec. 505.1

To prevent plan review and inspection delays, the above noted Developmental Review Conditions shall be addressed as "notes" on all pending and future plan submittals and any referenced diagrams to be reproduced onto the future plan submittal.

CITY	PLANS	SPECS	NEW	RMID	AS	OCCUPANCY	CONST. TYPE	Applicant Name	DATE	PAGE
LGA	☒	☐	☐	☐	☐	SFR	V-B	Studio Three Design	03/20/2015	2 OF 2
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1500			50%		1500		Harding, Doug			
Organized as the Santa Clara County Central Fire Protection District										
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga										

PROJECT DATA

PROJECT ADDRESS: 485 MONTEREY AVENUE
A.P.N. : 410-16-026
LOT AREA (FROM PARCEL MAP) 9,000 SF (GROSS + NET)
ZONING = OFFICE (REQUESTING REZONING TO R-1D)
FLOOD ZONE= NONE
HISTORIC ZONE= NONE
OCCUPANCY= R3 SINGLE FAMILY DWELLING
CONSTRUCTION TYPE= V-B
REQUIRED PARKING: 2 OFF STREET SPACES
HOA/ CCR= NONE

SETBACKS	ALLOWED	PROPOSED 1ST FLR	PROPOSED 2ND
FRONT:	15'	16'-6"	20'-6"
SIDE (INTERIOR):	5'	5'	VARIES (SEE SITE)
SIDE (STREET SIDE):	10'	17'-3"	20'
REAR:	20'	78'-10"	83'-1"
ACCESSORY BLDG:	3'	3'	N/A

BUILDING HEIGHT	ALLOWED	PROPOSED
HOUSE	30' (MAX.)	29'-1-1/2"
ACCESSORY	15' (MAX)	14'-7-1/2"

FLOOR AREA RATIO (FAR)	ALLOWED	PROPOSED
HABITABLE HOUSE	2,862 SF	2,862 SF
GARAGE(15% OF 5,175)	776 SF	774 SF

PROPOSED SQUARE FOOTAGE	
HABITABLE HOUSE:	
FIRST FLOOR:	1,709 SF
SECOND FLOOR:	1,144 SF
TOTAL	2,853 SF
DETACHED GARAGE:	774 SF
COVERED ENTRY PORCH	264 SF
COVERED REAR PORCH	430 SF
UNCOVERED DECK (2ND FLOOR)	151 SF

BUILDING COVERAGE:	
FIRST FLOOR (HABITABLE):	1,709 SF (19%)
GARAGE:	774 SF (9%)
ENTRY PORCH:	264 SF (3%)
REAR PORCH:	430 SF (5%)
TOTAL	3,177 SF (36%)

SITE COVERAGE:	
FIRST FLOOR (HABITABLE):	1,709 SF (19%)
DRIVEWAY:	384 SF (4%)
ENTRY PORCH:	264 SF (3%)
REAR PORCH:	430 SF (5%)
ENTRY WALKWAY	112 SF (1%)
TOTAL	2,899 SF (32%)

ACCESSORY STRUCTURE COVERAGE:	
GARAGE (DETACHED):	774 SF (15%)

INDEX

- A1.1 General Notes + Information
- 1 of 1 Topographic Survey
- 1 of 2 Grading + Drainage Plan
- 2 of 2 Details
- A1.5 Existing Architectural Site Plan
- A1.6 Proposed Architectural Site Plan
- A2.1 Proposed First Floor Plan
- A2.2 Proposed Second Floor Plan
- A2.3 Proposed Roof Plan
- A2.4 Proposed Detached Garage Plan + Roof Plan
- A3.1 Proposed Exterior Elevations
- A3.2 Proposed Exterior Elevations
- A3.3 Proposed Exterior Garage Elevations
- A4.1 Proposed Building Sections
- L-1 Proposed Landscape Plan

PROJECT INFO.

Owner:
Black Real Estate Investments
15651 Glen Una Drive
Los Gatos, CA 95030
(408)219-4421

Designer:
Studio 3 Design
Contact: Bess Wiersema
1585 The Alameda #200
San Jose, California 95125
ph: (408) 292-3252
fax: (253) 399-1125

Contractor:
Peninsula Builders & Development
Contact: Michael Black
388 Santana Row #1123
San Jose, CA 95128
(408) 219-4421

Lic # 934939

Civil Engineer:
Westfall Engineers, Inc.
Contact: Jitka Cymbal
14583 Big Basin Way
Saratoga, CA 95070
(408) 867-0244

CODES USED

The following codes are currently in effect:
2013 California Building Code
2013 California Residential Code
2013 California Plumbing Code
2013 California Mechanical Code
2013 California Electrical Code
2013 California Existing Building Code
2012 International Existing Building Code
2013 California Energy Code

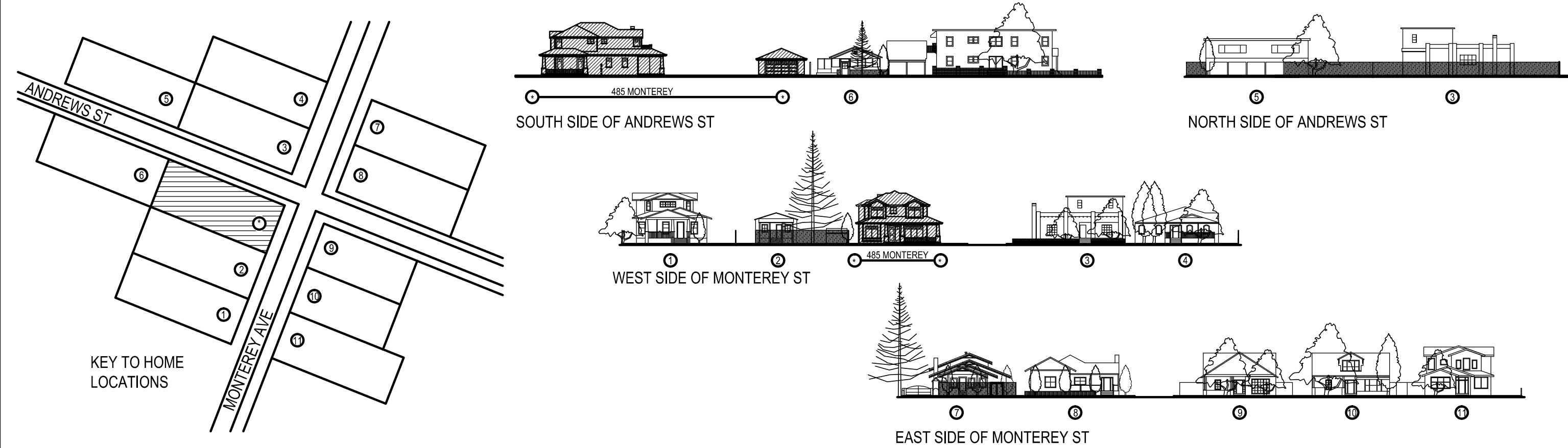
PROJECT DESCRIPTION

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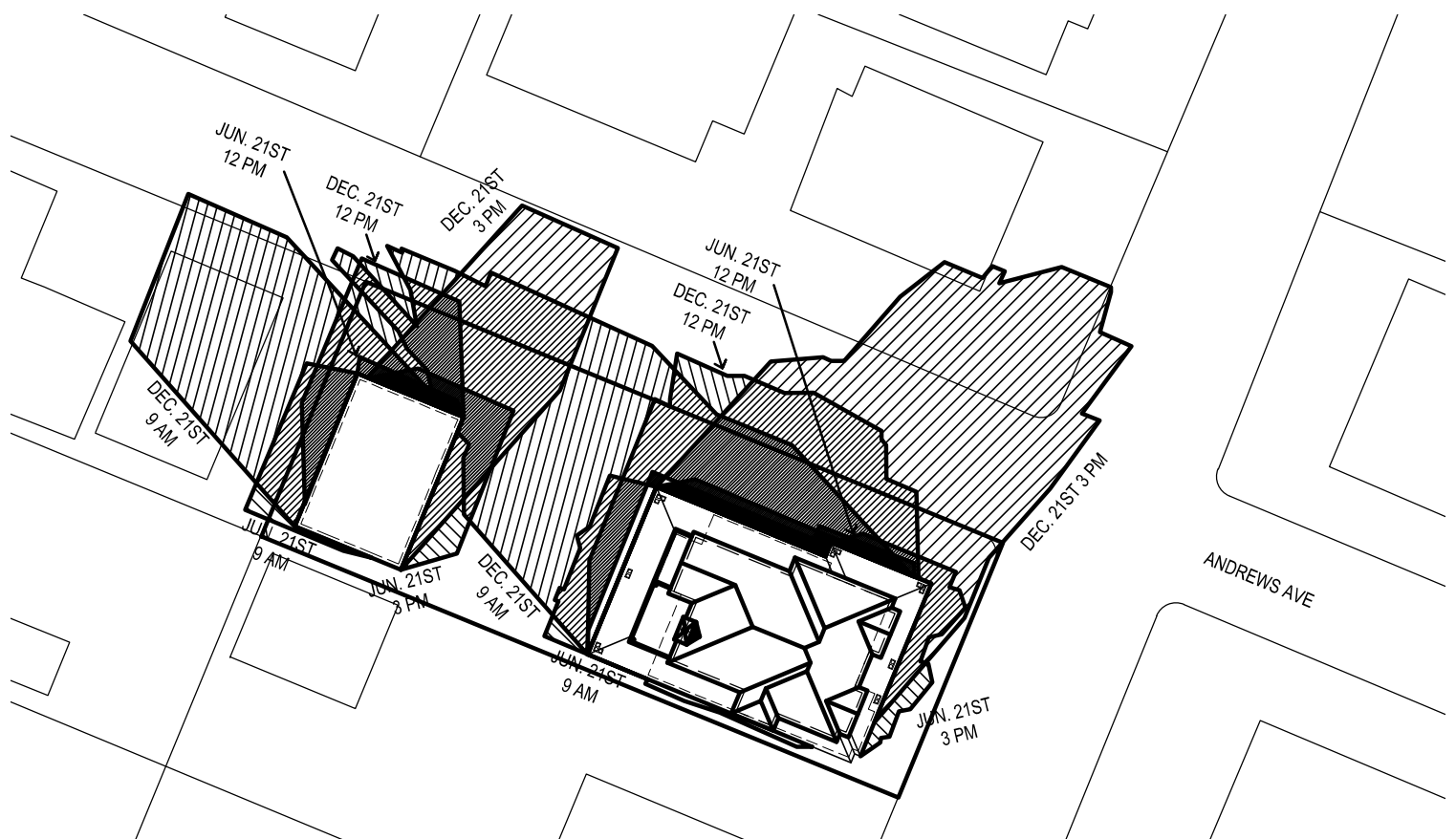
DEFERRED SUBMITTAL

Full sprinkler system will be required. Sprinklers will be submitted separately.

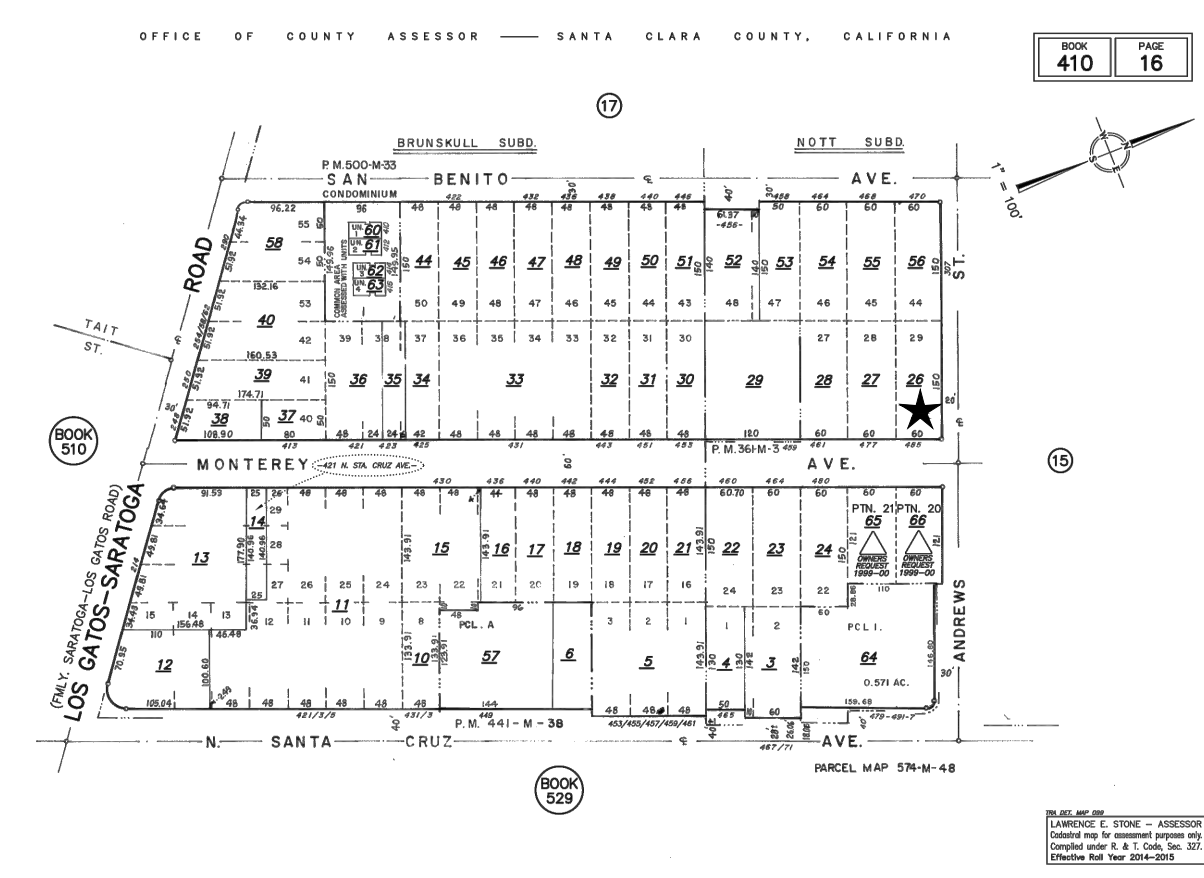
NEIGHBORHOOD STREETSCAPE



SHADOW STUDY



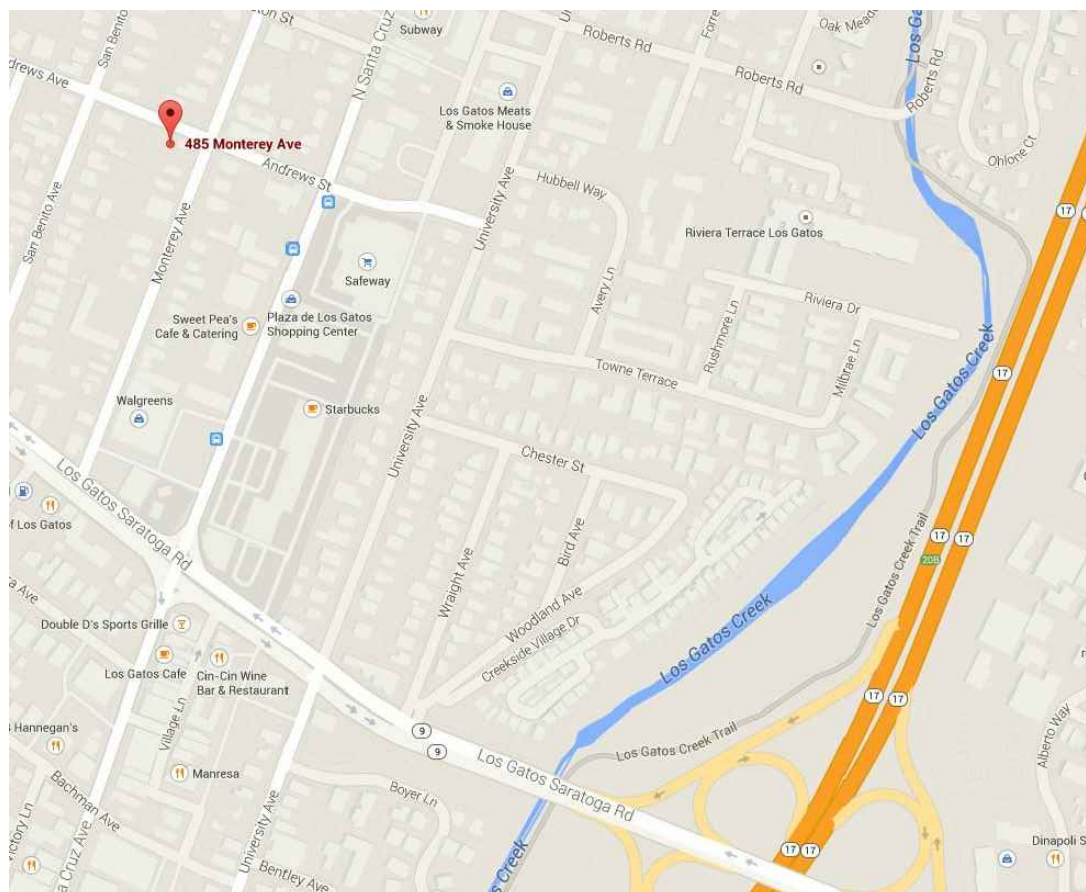
PARCEL MAP



STREET SCAPE



LOCATION MAP





STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

1585 THE ALAMEDA
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29 APRIL 2015
PLANNING SUBMITTAL

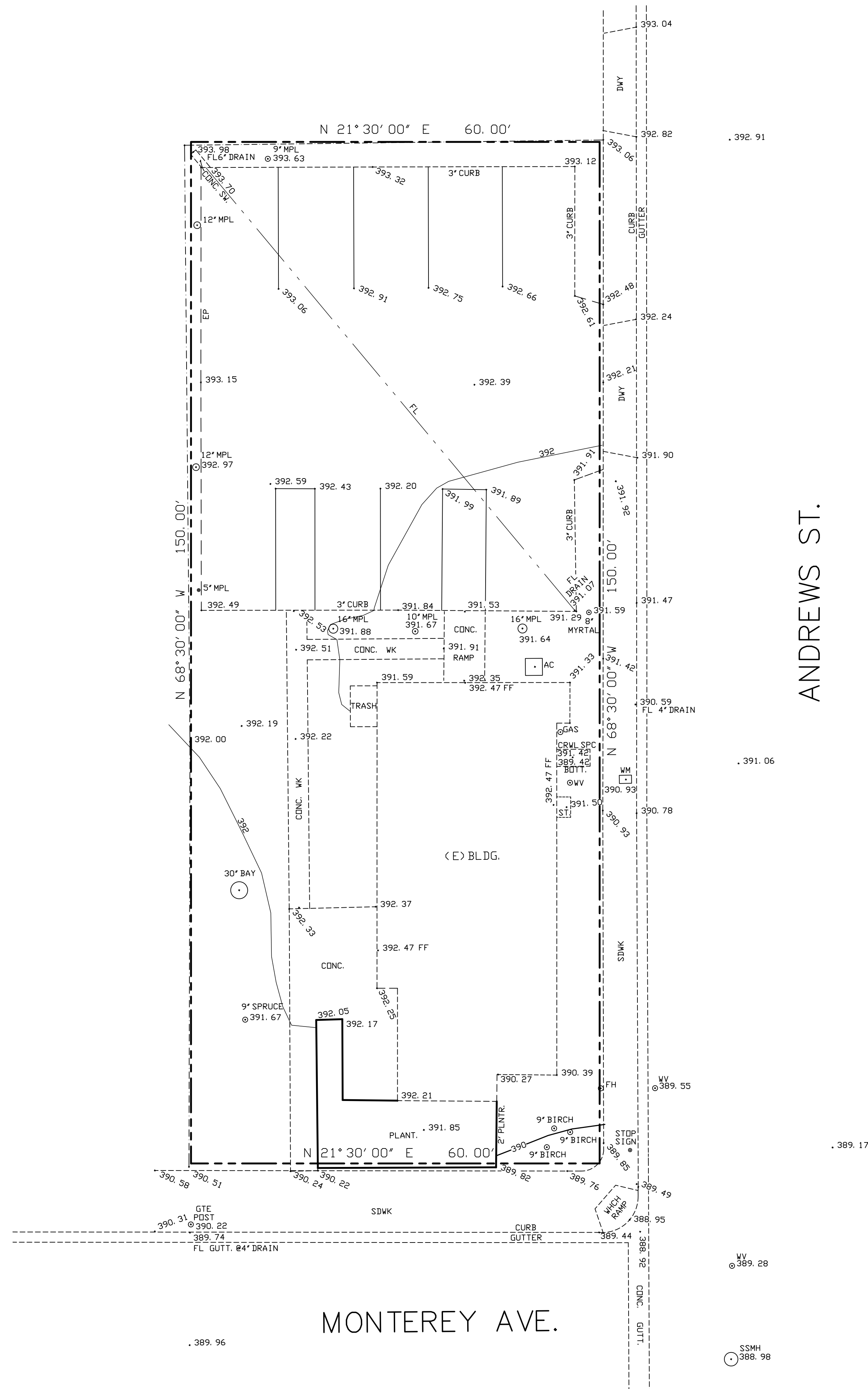
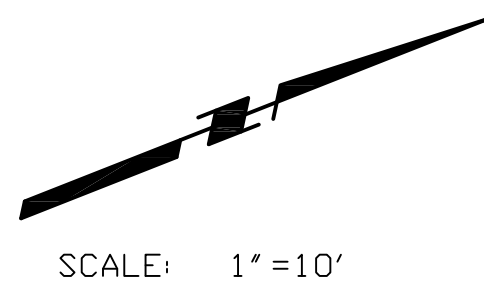
24 JULY 2015
PLANNING SUBMITTAL II

26 AUGUST 2015
PLANNING SUBMITTAL III

SCALE: N/A

COVER SHEET

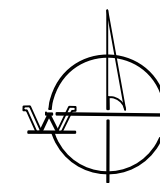
A1.1



LEGEND	
BOUNDARY	---
IMPROVEMENTS	---
2' CONTOUR	---
FENCE	---
WALL	---
EDGE OF PAVEMENT	---
MONUMENT	•
STREET MONUMENT	•
SPOT ELEVATION	•
EX. MANHOLE	○
UTILITY BOX	□
FLOWLINE	---

NO.	BY	DATE	REVISION	BY	DATE	DATE: JANUARY, 2015
						SCALE: HOR. 1"=10'
						VERT. 1"=10'
						DESIGNED:
						DRAWN: JK
						PROJ. ENGR:

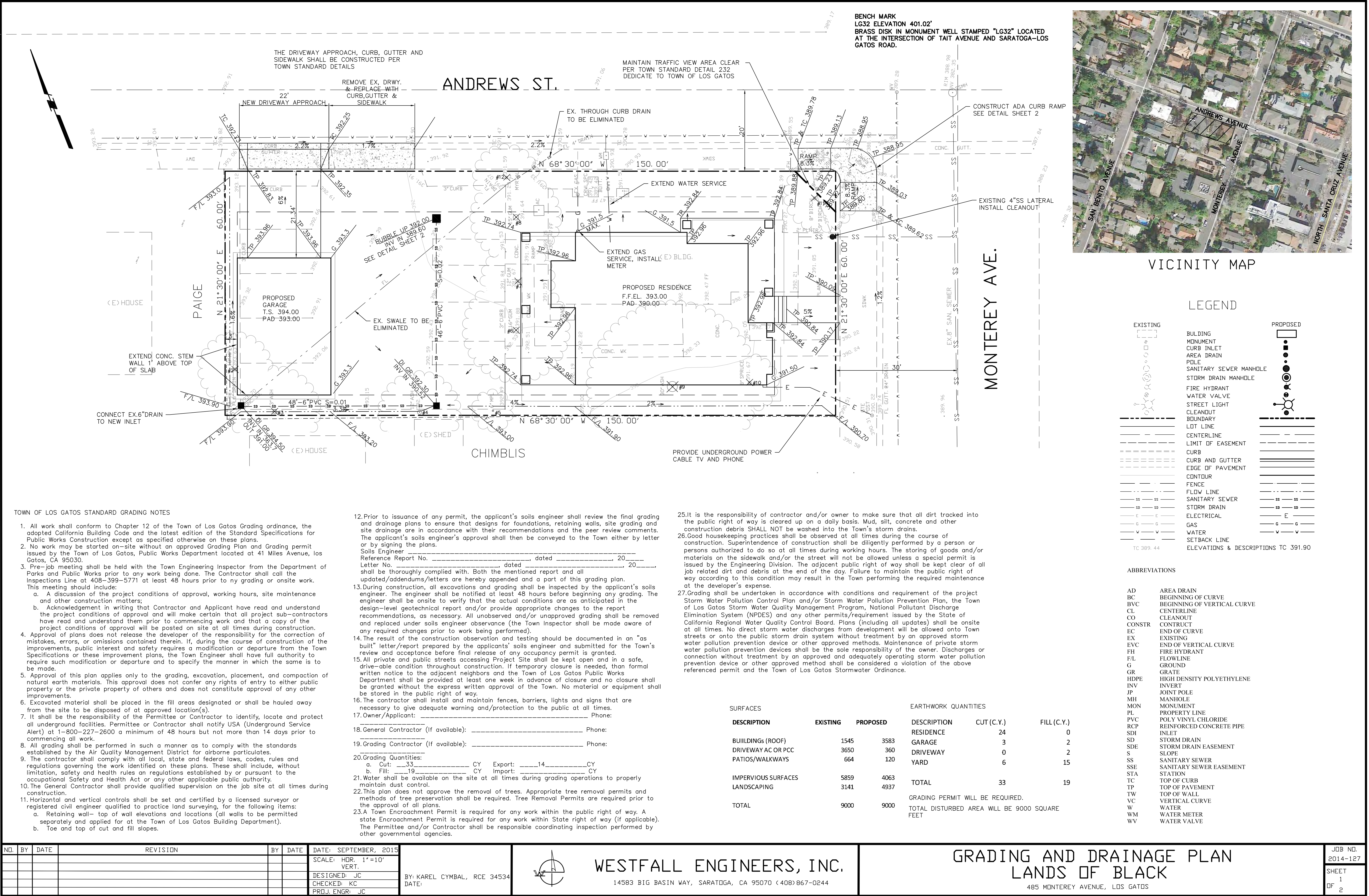
BY: HARRY BABICKA L. S. 4953
DATE:

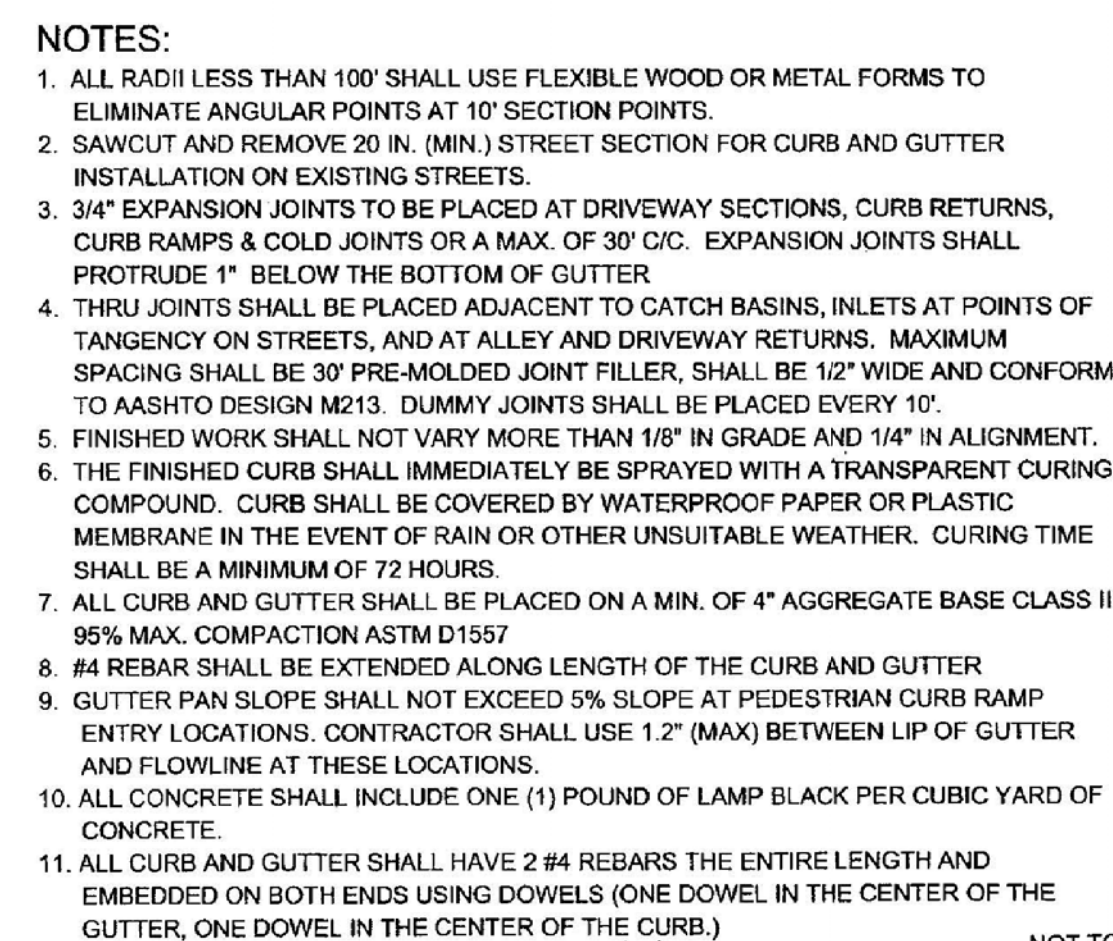


WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

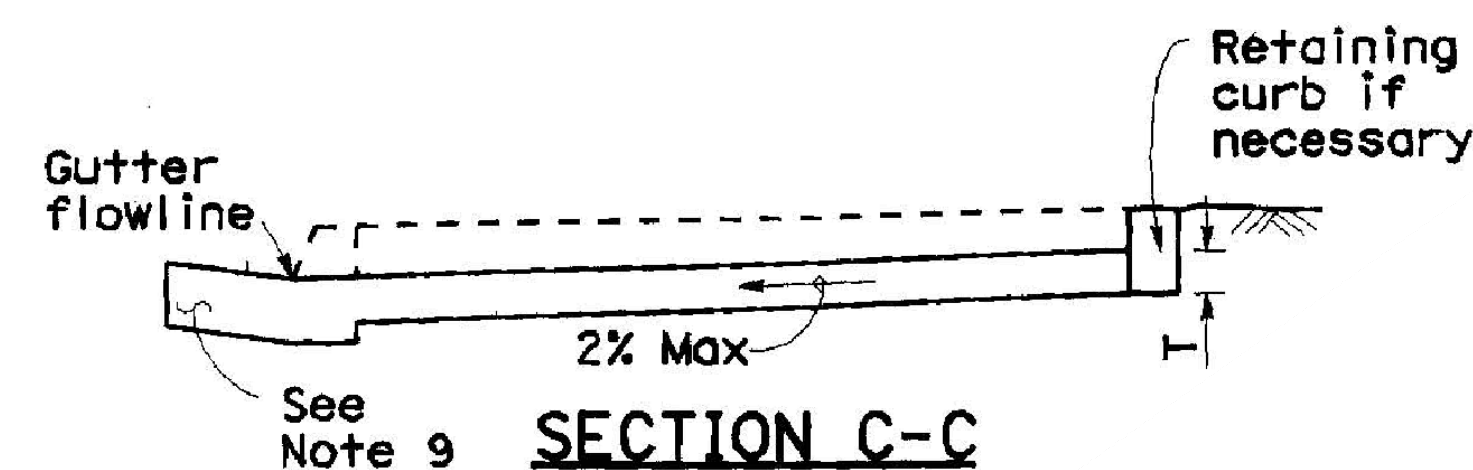
TOPOGRAPHIC SURVEY
485 MONTEREY AVENUE, LOS GATOS

JOB NO.	2014-127
SHEET	1
OF	1



ST-210.DWC

- (A) EQUALS WIDTH OF DRIVEWAY AT PROPERTY LINE. MINIMUM WIDTH = 14'.
- (B) 1/2" WIDE FULL DEPTH EXPANSION JOINT.
- (C) FULL DEPTH EXPANSION JOINT IF (A) IS 15' OR GREATER.
- (D) DRIVEWAY TO BE SURFACED WITH ASPHALT OR CONCRETE.
- (E) DRIVEWAY CONCRETE SHALL BE A MIN. OF 6" THICK FOR RESIDENTIAL AND 8" THICK FOR COMMERCIAL AND IS TO BE PLACED ON A MINIMUM OF 6" CLASS II AGGREGATE BASE 95% MAXIMUM COMPACTION ASTM D1557, OVER COMPACTED SUBGRADE.
- (F) ALL CONCRETE SHALL BE CLASS A, PER CALTRANS SPECS, WITH 1 LB. (MIN.) LAMP BLACK PER CUBIC YARD.
- (G) ALL WORK SHALL CONFORM TO CURRENT ADA REQUIREMENTS.

ST-219.DW6



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

1585 THE ALAMEDA
SUITE 200
SAN JOSE
CALIFORNIA
95126

T 408.292.3252
F 253.399.1125

BLACK
485 MONTEREY AVE.
LOS GATOS
CALIFORNIA
95030

A.P.N. 410-16-026

4 MARCH 2015

29 APRIL 2015
PLANNING SUBMITTAL

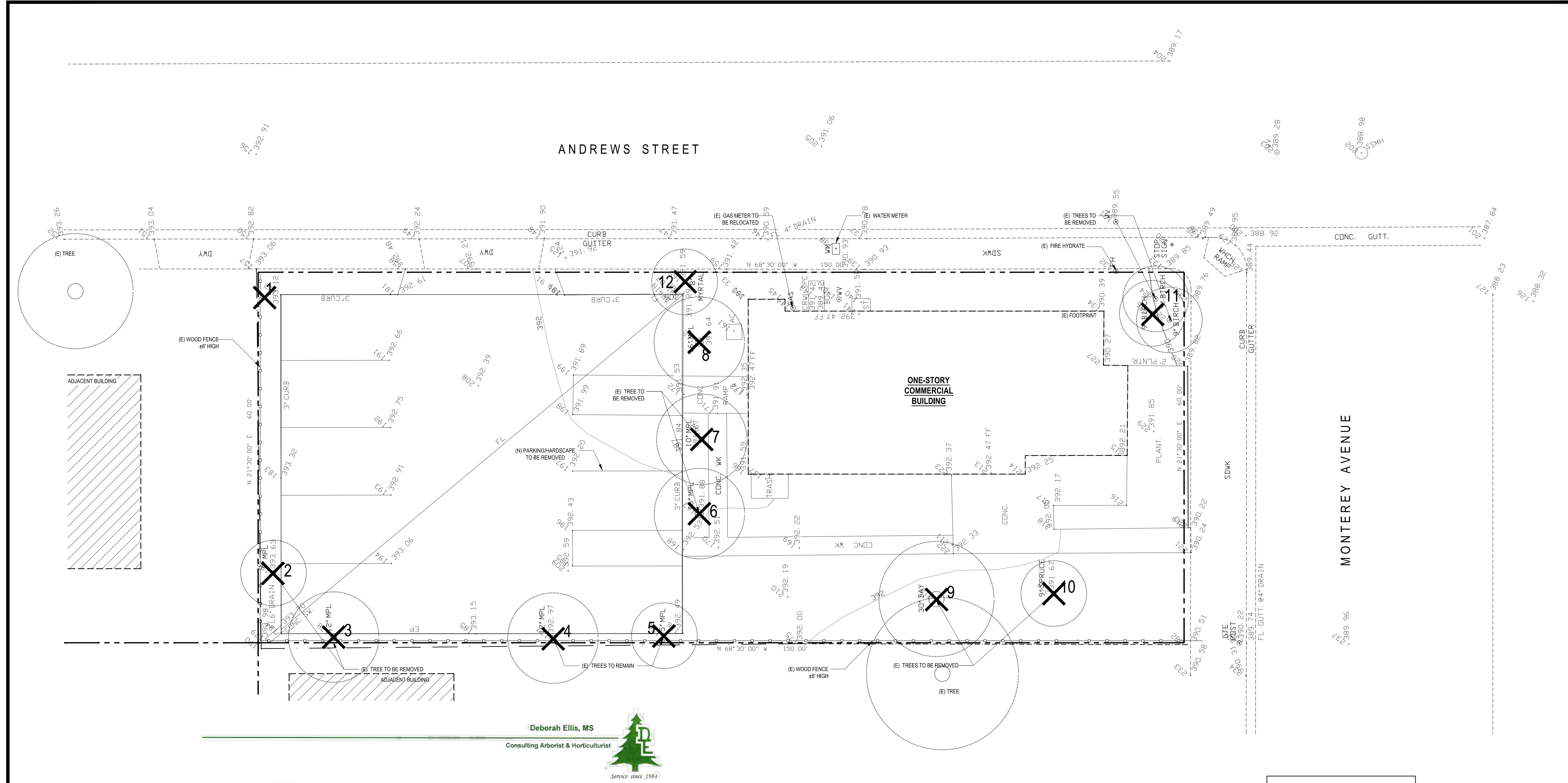
24 JULY 2015
PLANNING SUBMITTAL II

26 AUGUST 2015
PLANNING SUBMITTAL III

SCALE: 1/8" = 1'-0"

EXISTING SITE PLAN

A1.5



Deborah Ellis, MS
Consulting Arborist & Horticulturist



TABLE 1 SUMMARY TREE TABLE

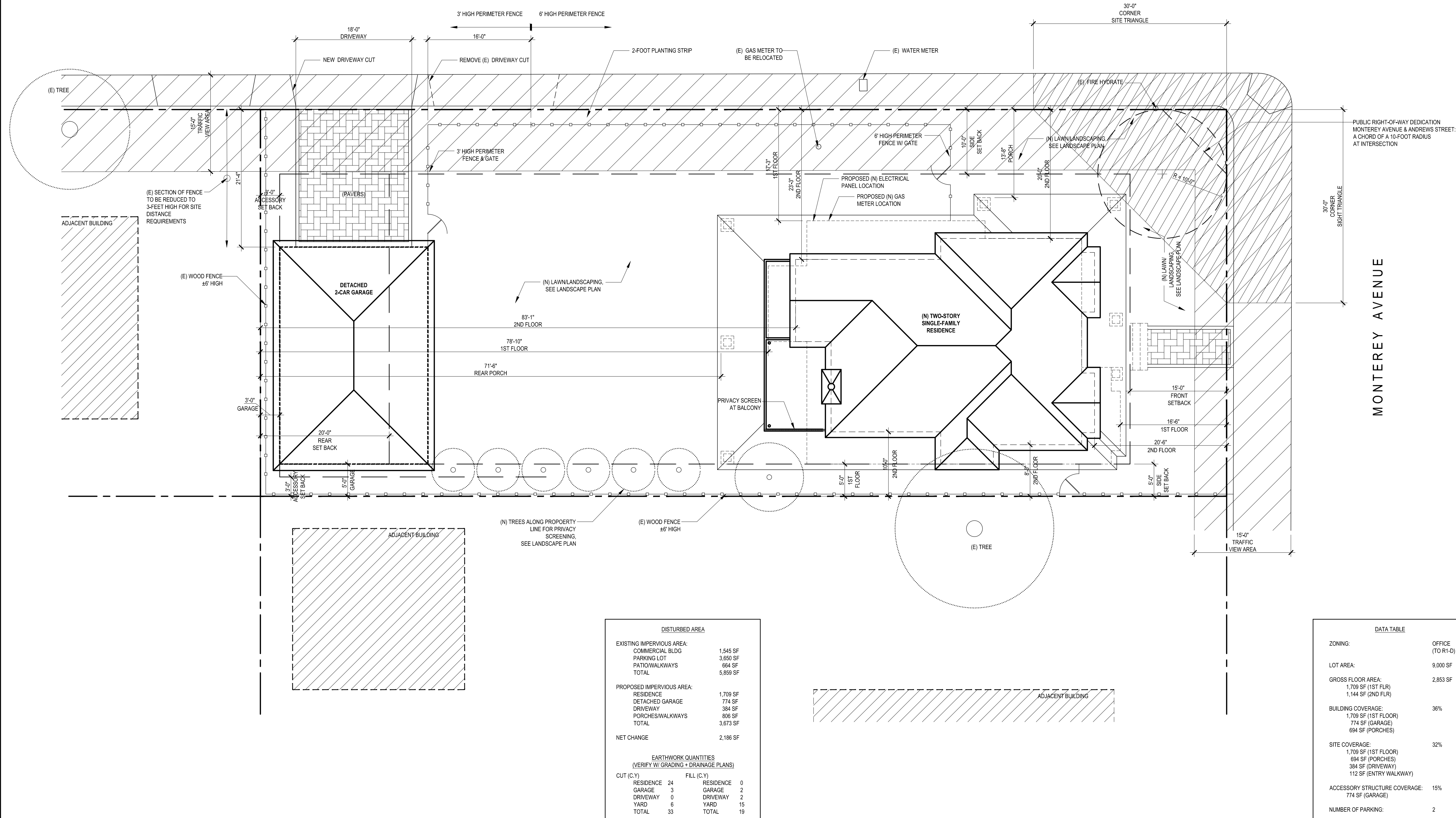
Tree #	Common Name	Trunk Diam. (in. @3ft.)	Preservation Suitability	Expected Construction Impact	Action	Reason
1	glossy privet	3,4	Fair	Low/Moderate?	Debatable	Tree not shown on plan
2	red maple	10	Fair/Poor	Severe	Remove	Construction
3	ash	13	Poor	Severe	Remove	Construction
4	ash	12	Fair	Moderate	Debatable	Species, Opportunity for better screening landscaping in this location.
5	red maple	6	Fair	Moderate	Debatable	Same as above
6	sweet gum	16	Fair	Severe	Remove	Construction
7	sweet gum	12	Fair	Severe	Remove	Construction
8	sweet gum	15	Fair	Severe	Remove	Construction
9	evergreen ash	30	Fair/Good	Severe	Remove	Construction
10	Colorado blue spruce	8	Fair	Severe	Remove	Construction
11	European white birch	8,8,9	Fair	Severe	Remove	Construction
12	crape myrtle	7	Fair/Good	Severe	Remove	Construction

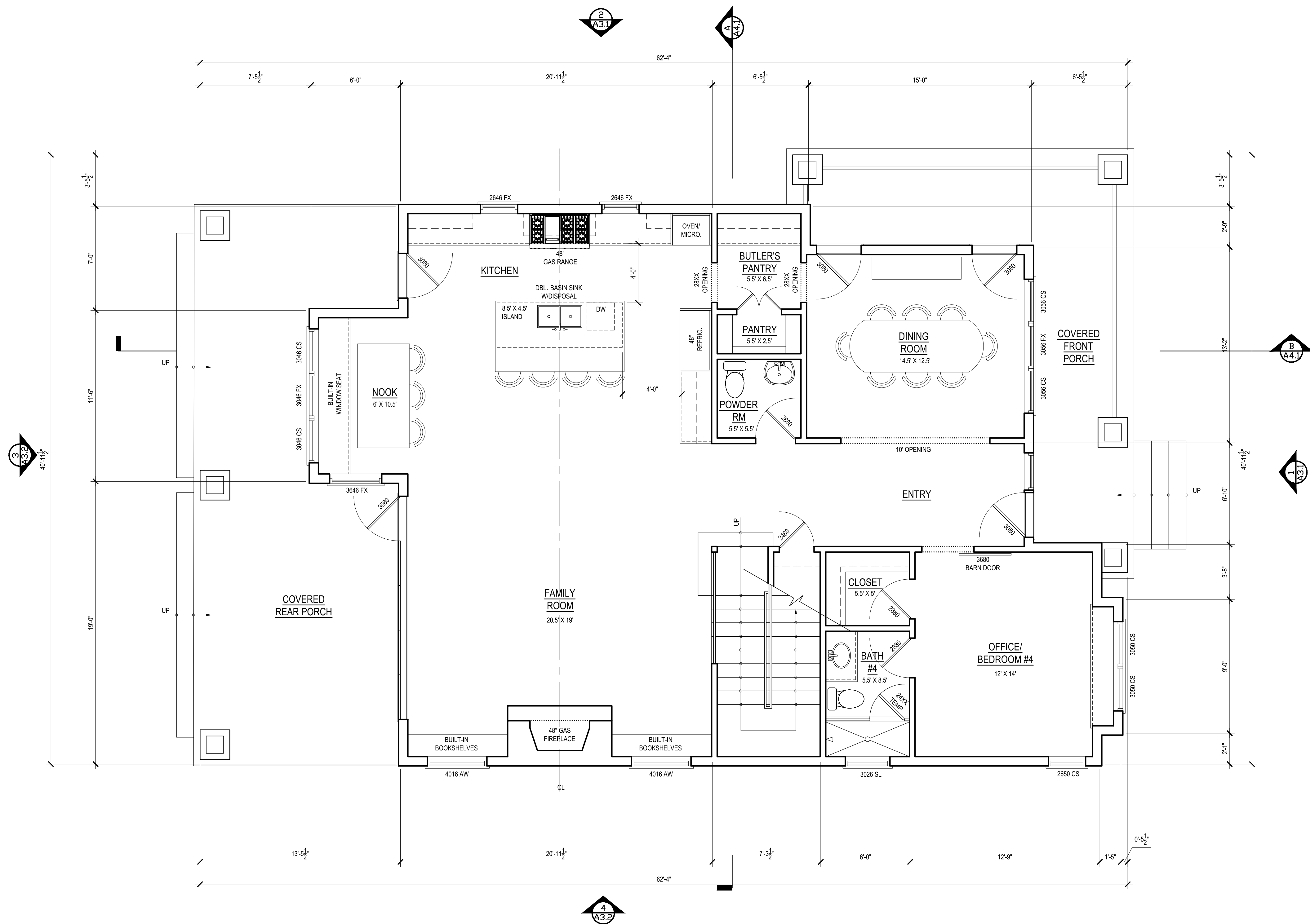
DATA TABLE	
ZONING:	OFFICE (TO R1-D)
LOT AREA:	9,000 SF
GROSS FLOOR AREA:	1,545 SF (OFFICE)
LOT COVERAGE:	17%
NUMBER OF PARKING:	9



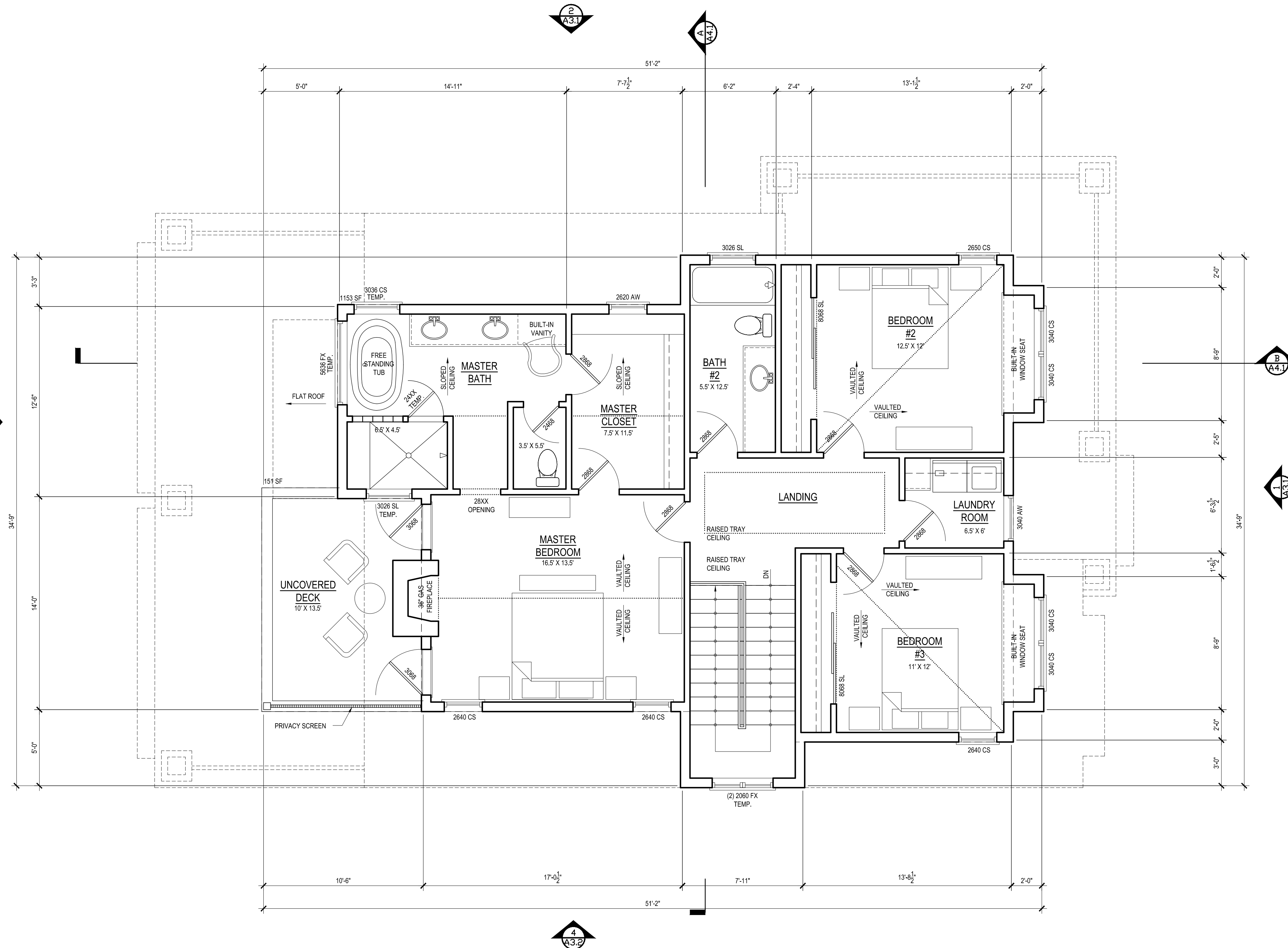
SITE PLAN

ANDREWS STREET

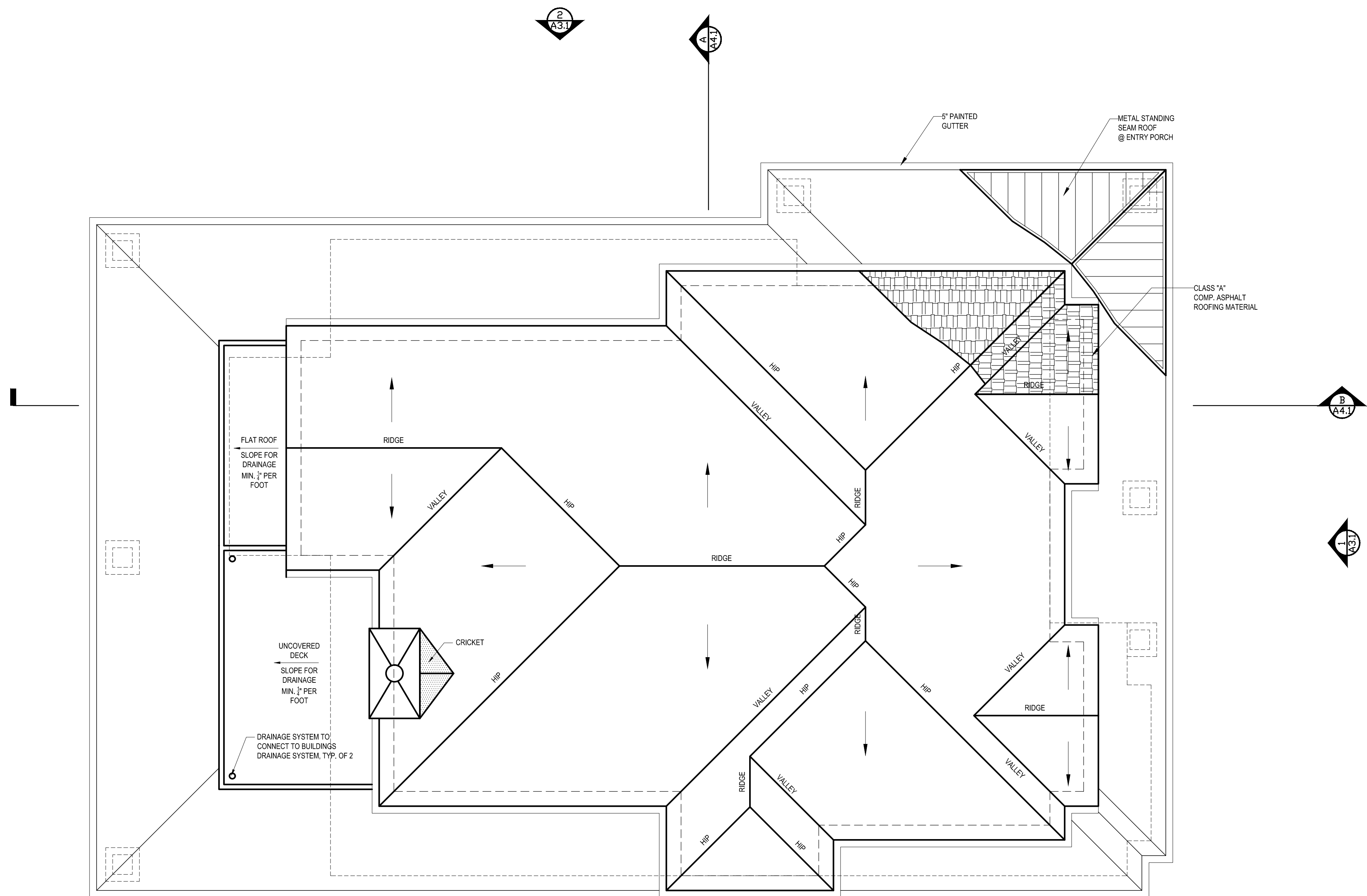




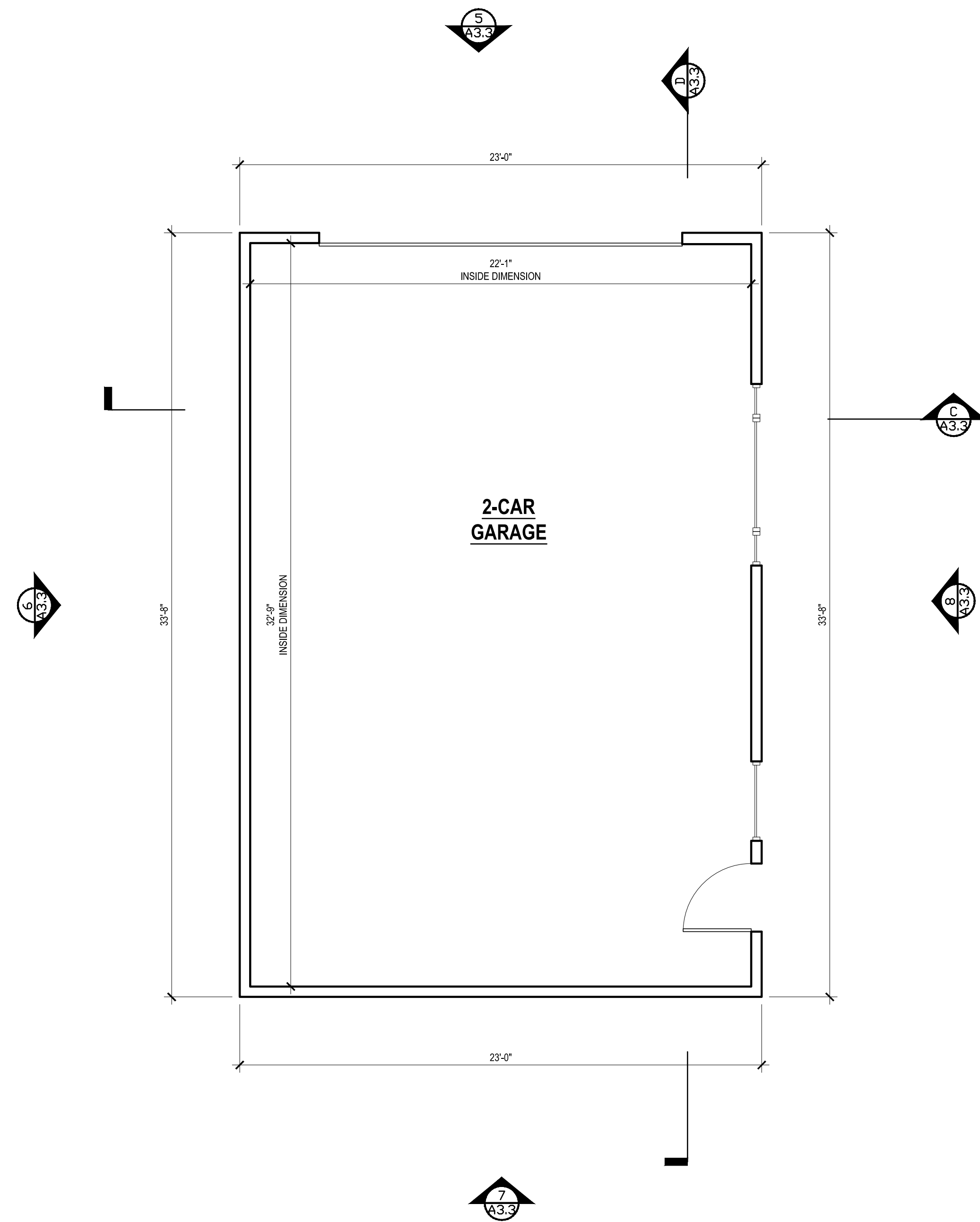
PROPOSED FIRST FLOOR PLAN



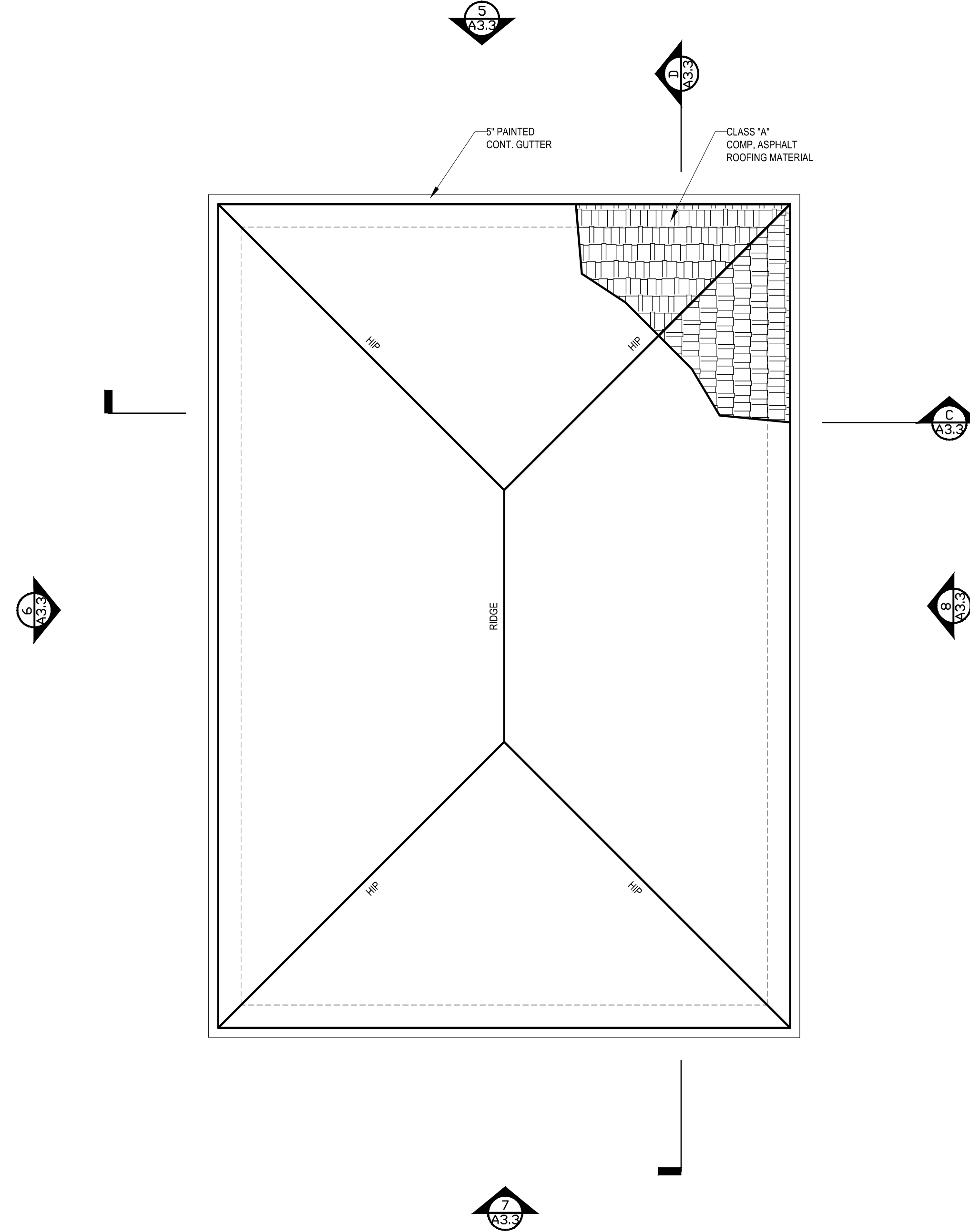
PROPOSED SECOND FLOOR PLAN



 **PROPOSED ROOF PLAN**
NORTH



PROPOSED DETACHED GARAGE PLAN



PROPOSED DETACHED GARAGE ROOF PLAN

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MARCH 2015

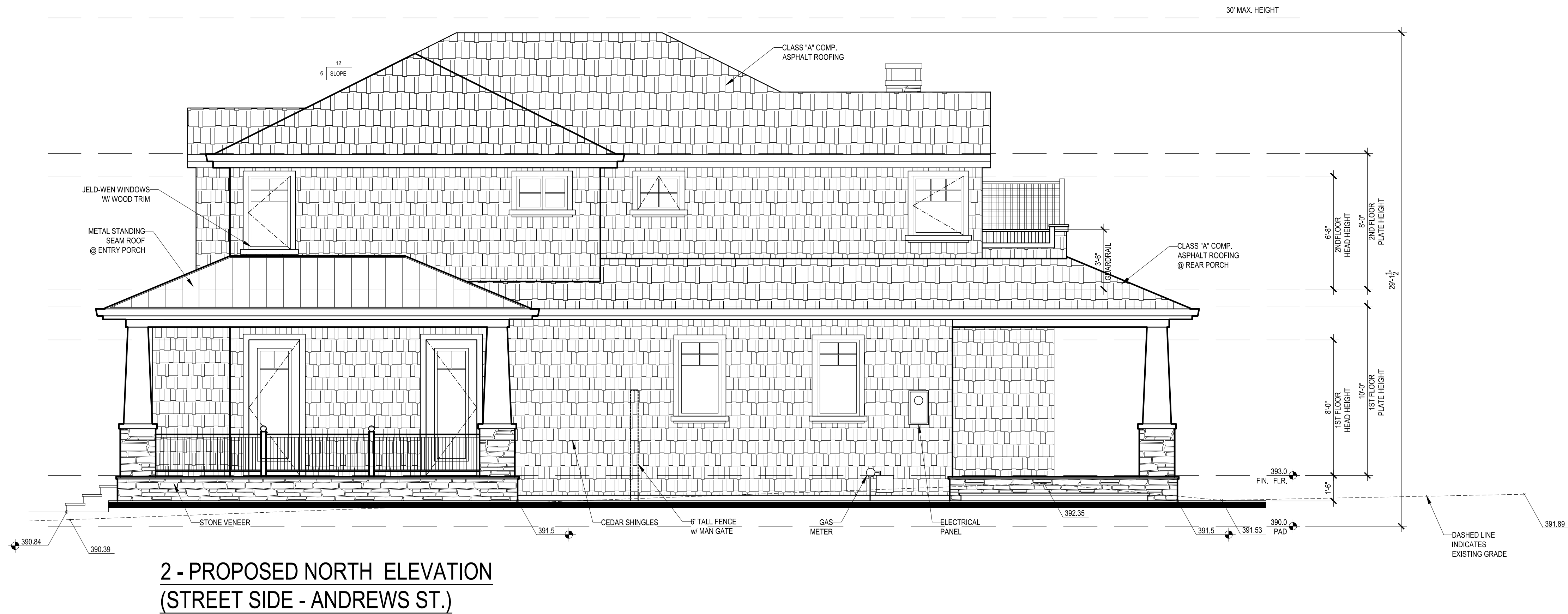
APRIL 2015
ANNOUNCING SUBMITTALJULY 2015
ANNING SUBMITTAL IIAUGUST 2015
ANNING SUBMITTAL III

SCALE: 1/4" = 1' - 0"

PROPOSED GARAGE
FLOOR + ROOF PLAN



1 - PROPOSED EAST ELEVATION
(FRONT - MONTEREY AVE.)



2 - PROPOSED NORTH ELEVATION
(STREET SIDE - ANDREWS ST.)

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4 MARCH 2015

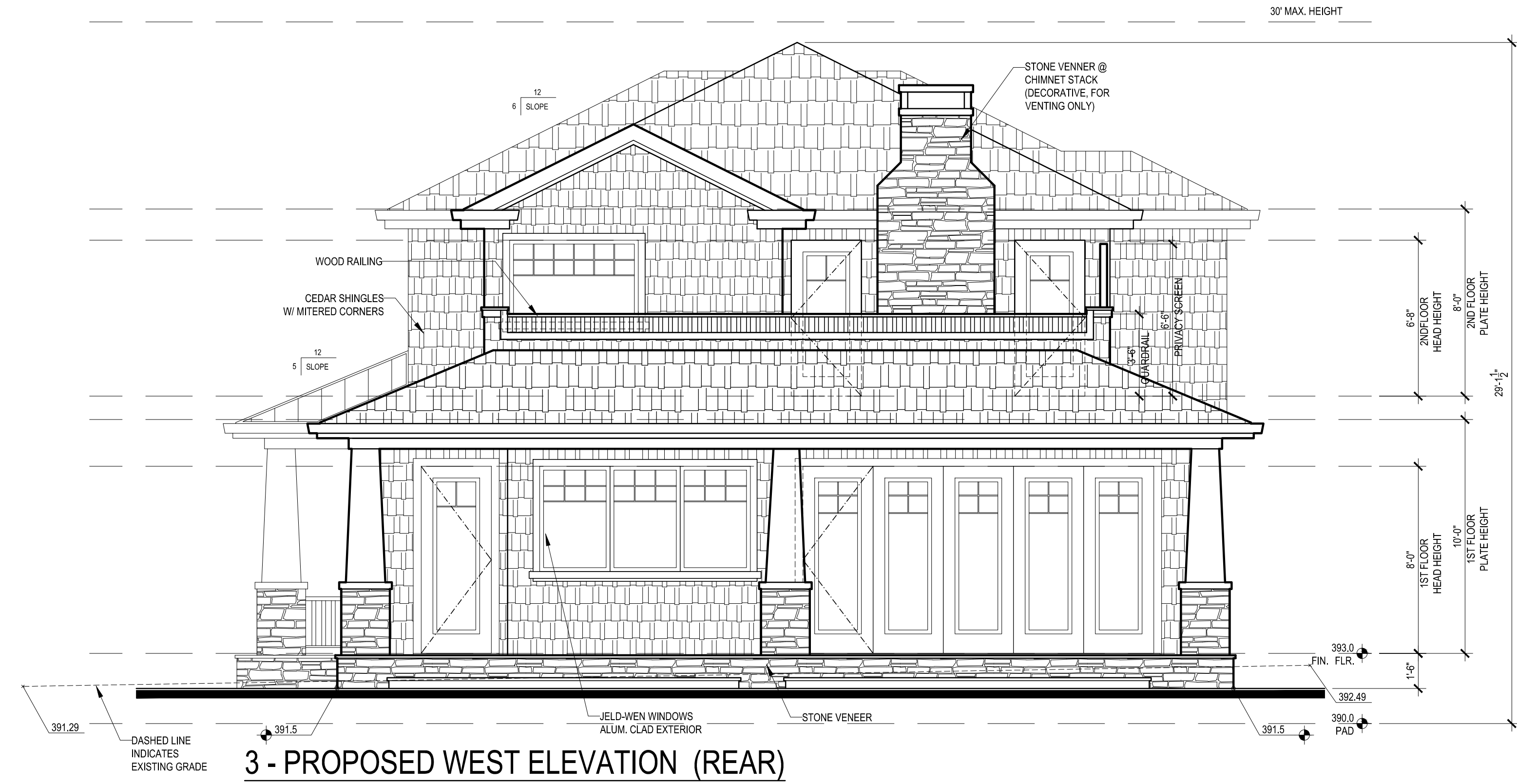
29 APRIL 2015
PLANNING SUBMITTAL

24 JULY 2015
PLANNING SUBMITTAL II

26 AUGUST 2015
PLANNING SUBMITTAL III

SCALE: 1/4" = 1' - 0"

EXTERIOR ELEVATIONS



3 - PROPOSED WEST ELEVATION (REAR)



4 - PROPOSED WEST ELEVATION (INTERIOR SIDE)

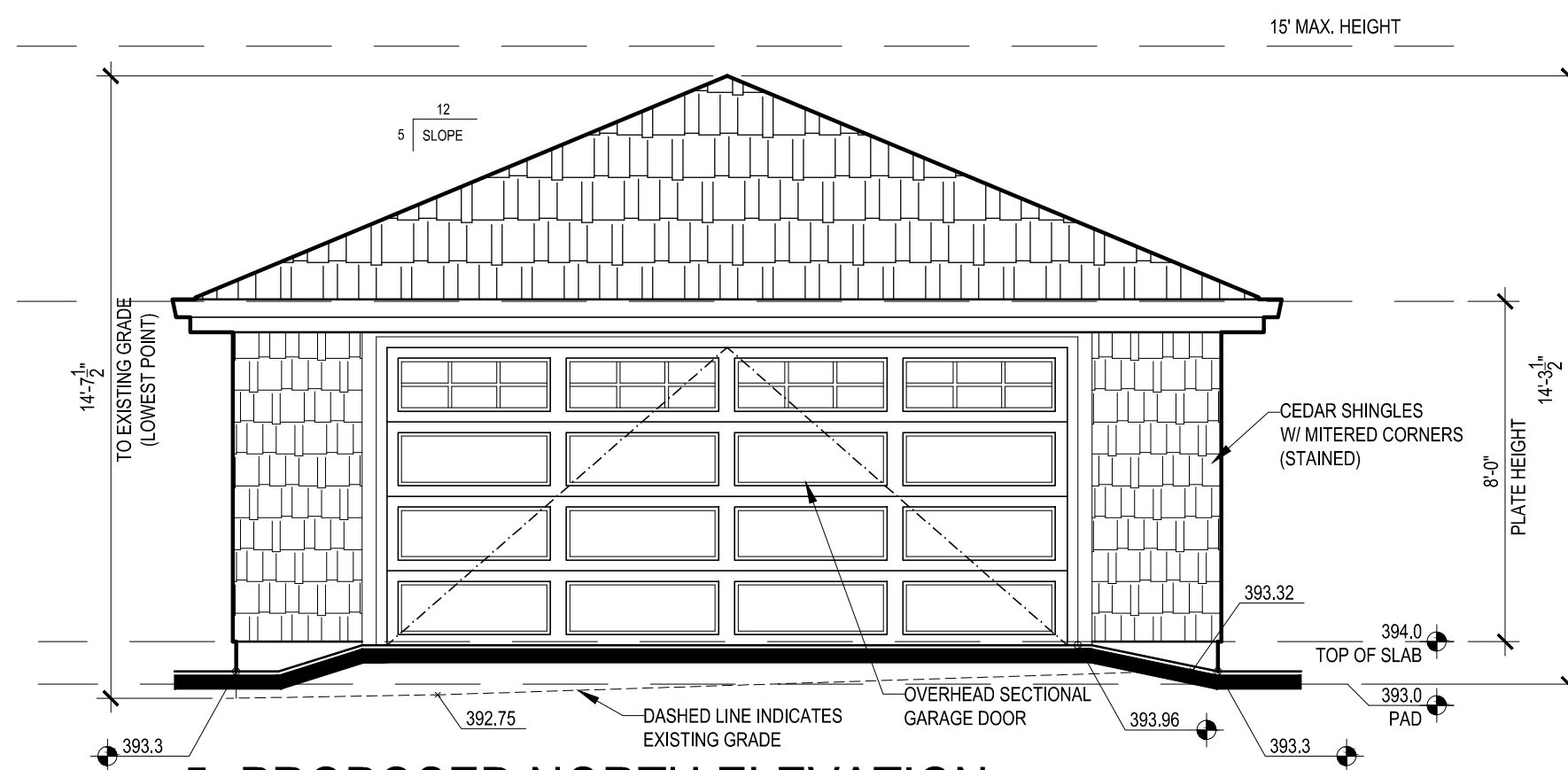
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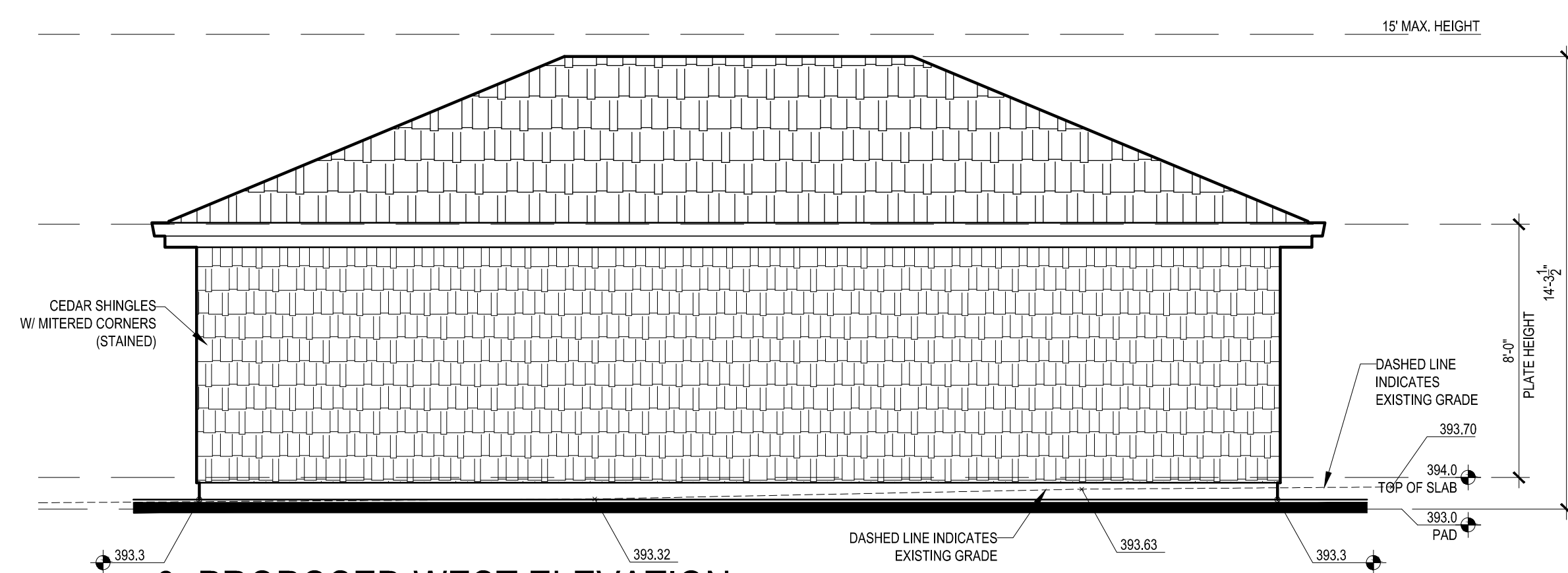
4 MARCH 2015
29 APRIL 2015
PLANNING SUBMITTAL
24 JULY 2015
PLANNING SUBMITTAL II
26 AUGUST 2015
PLANNING SUBMITTAL III

SCALE: 1/4" = 1' - 0"

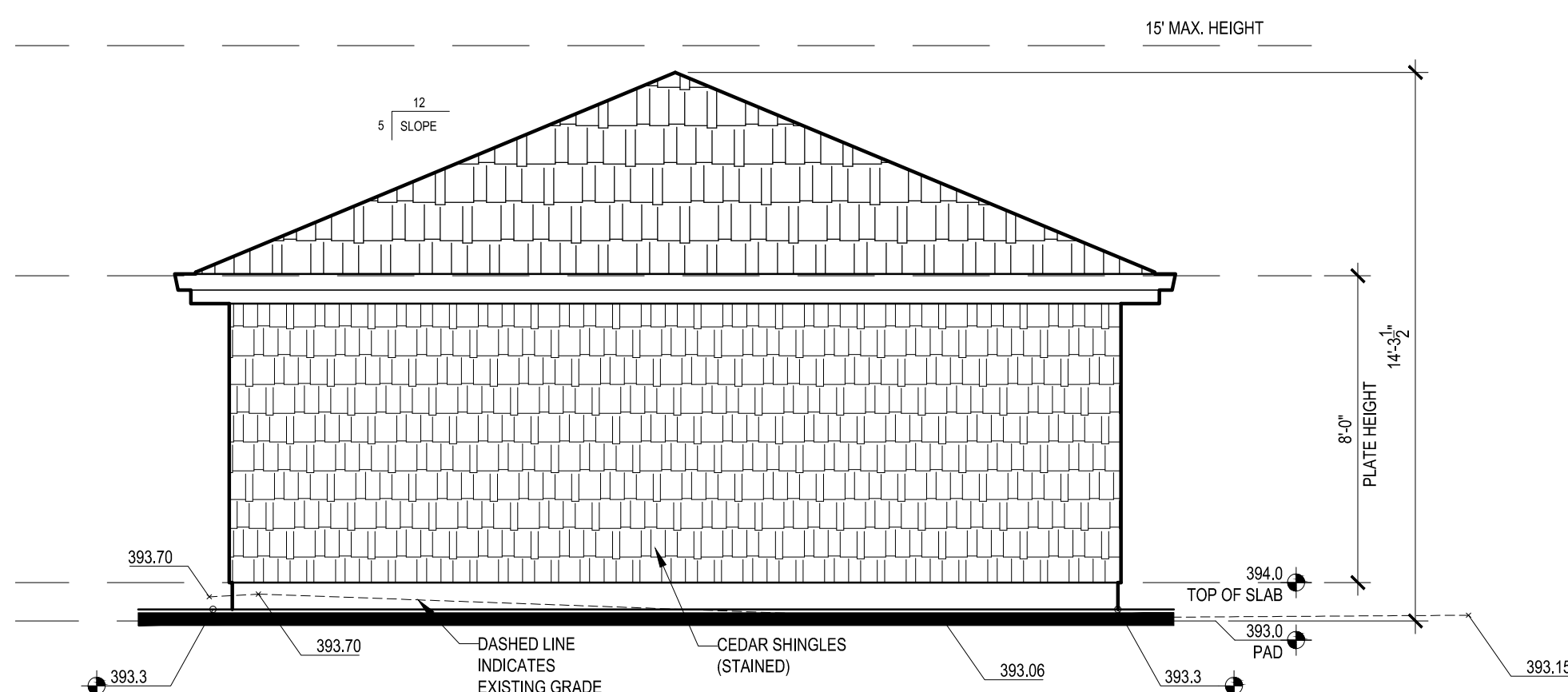
EXTERIOR ELEVATIONS



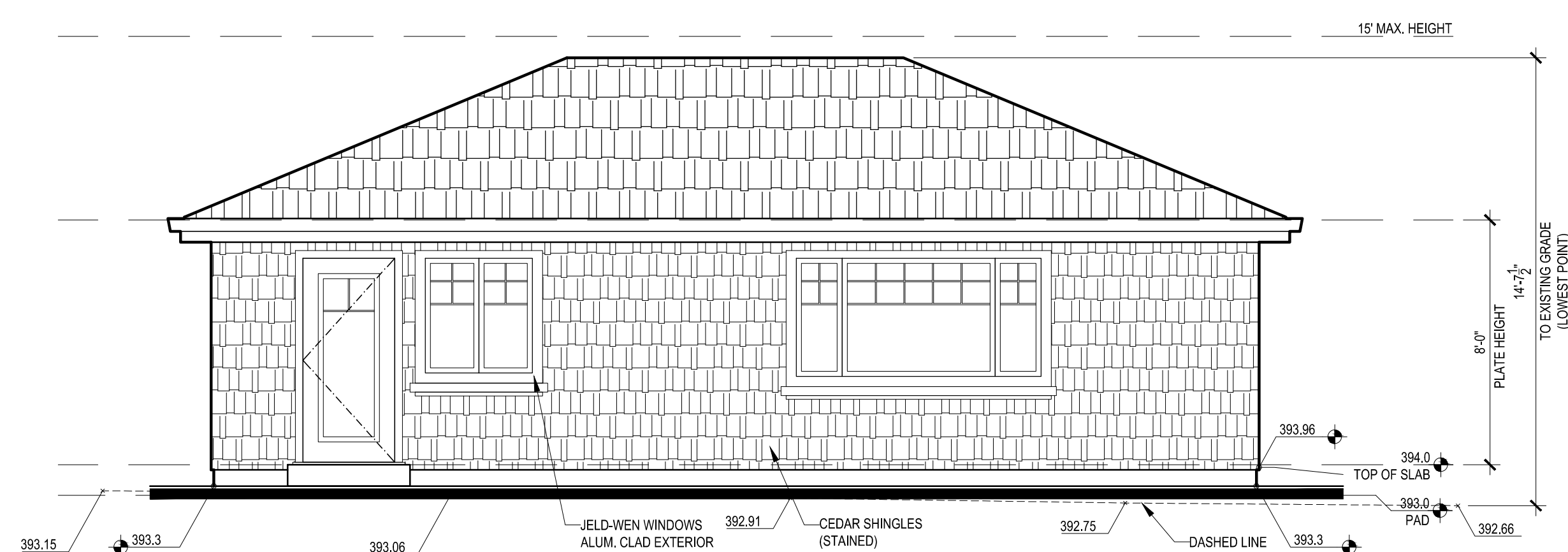
5- PROPOSED NORTH ELEVATION
(STREET SIDE - ANDREWS ST.)



6- PROPOSED WEST ELEVATION



7- PROPOSED SOUTH ELEVATION



8- PROPOSED EAST ELEVATION

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CALIFORNIA
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A.P.N. 410-16-026

4 MARCH 2015

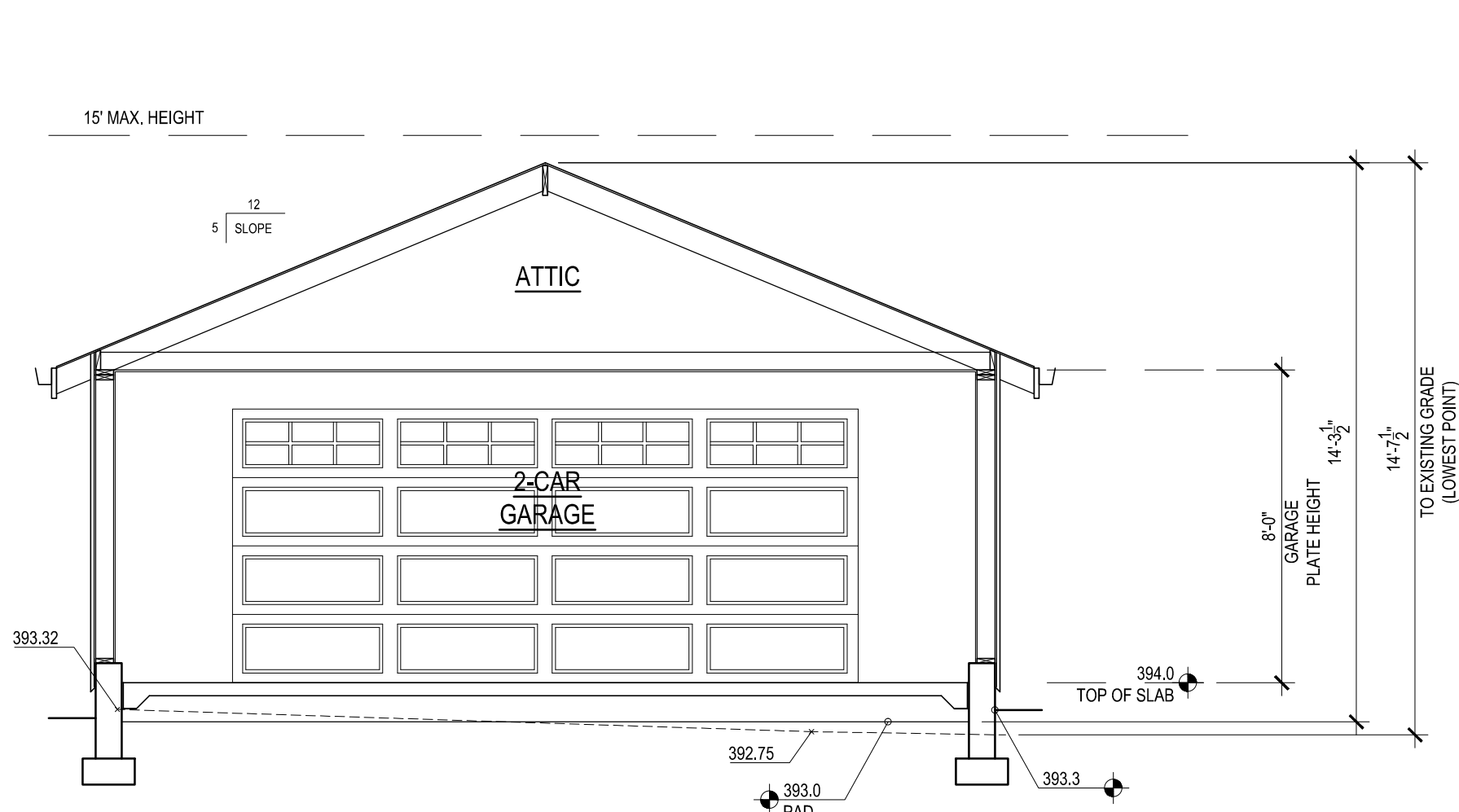
29 APRIL 2015
PLANNING SUBMITTAL

24 JULY 2015
PLANNING SUBMITTAL II

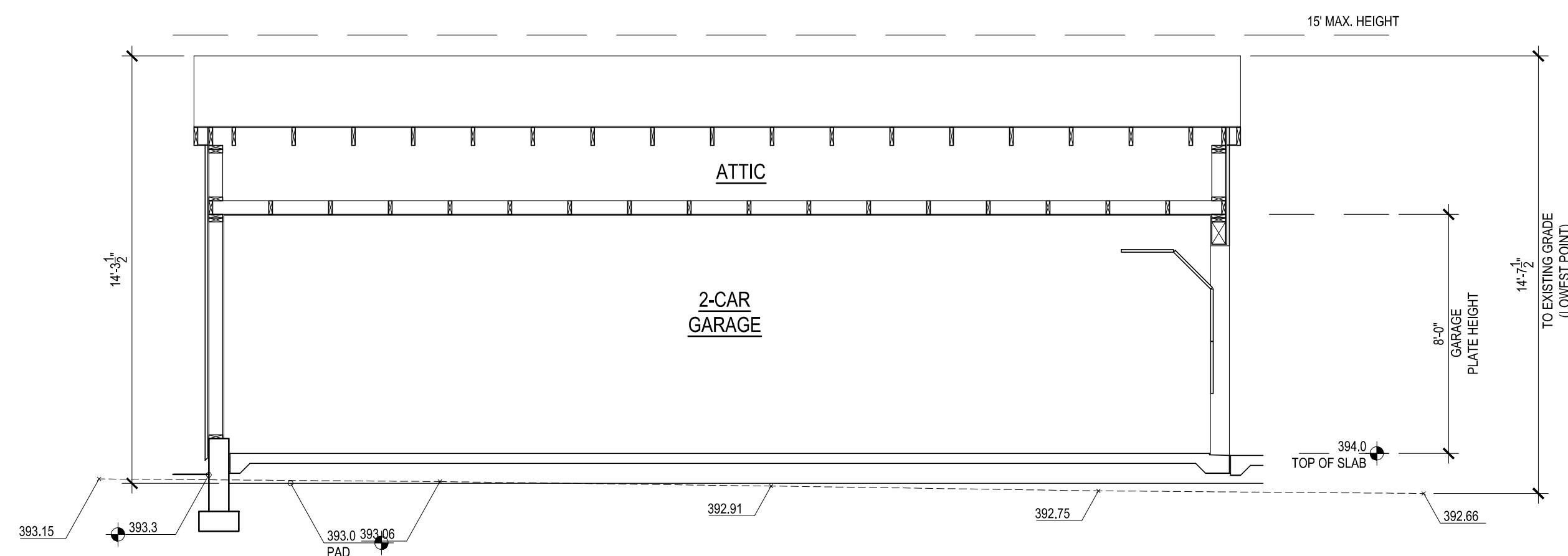
26 AUGUST 2015
PLANNING SUBMITTAL III

SCALE: 1/4" = 1' - 0"

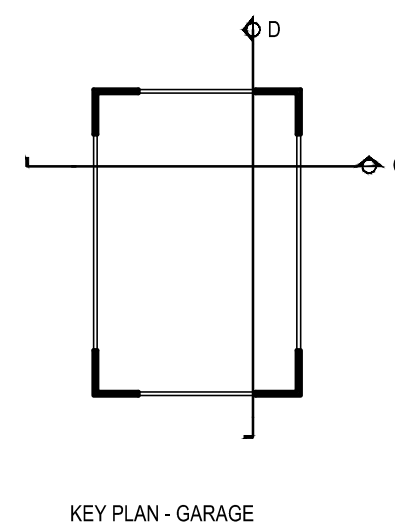
EXTERIOR GARAGE
ELEVATIONS



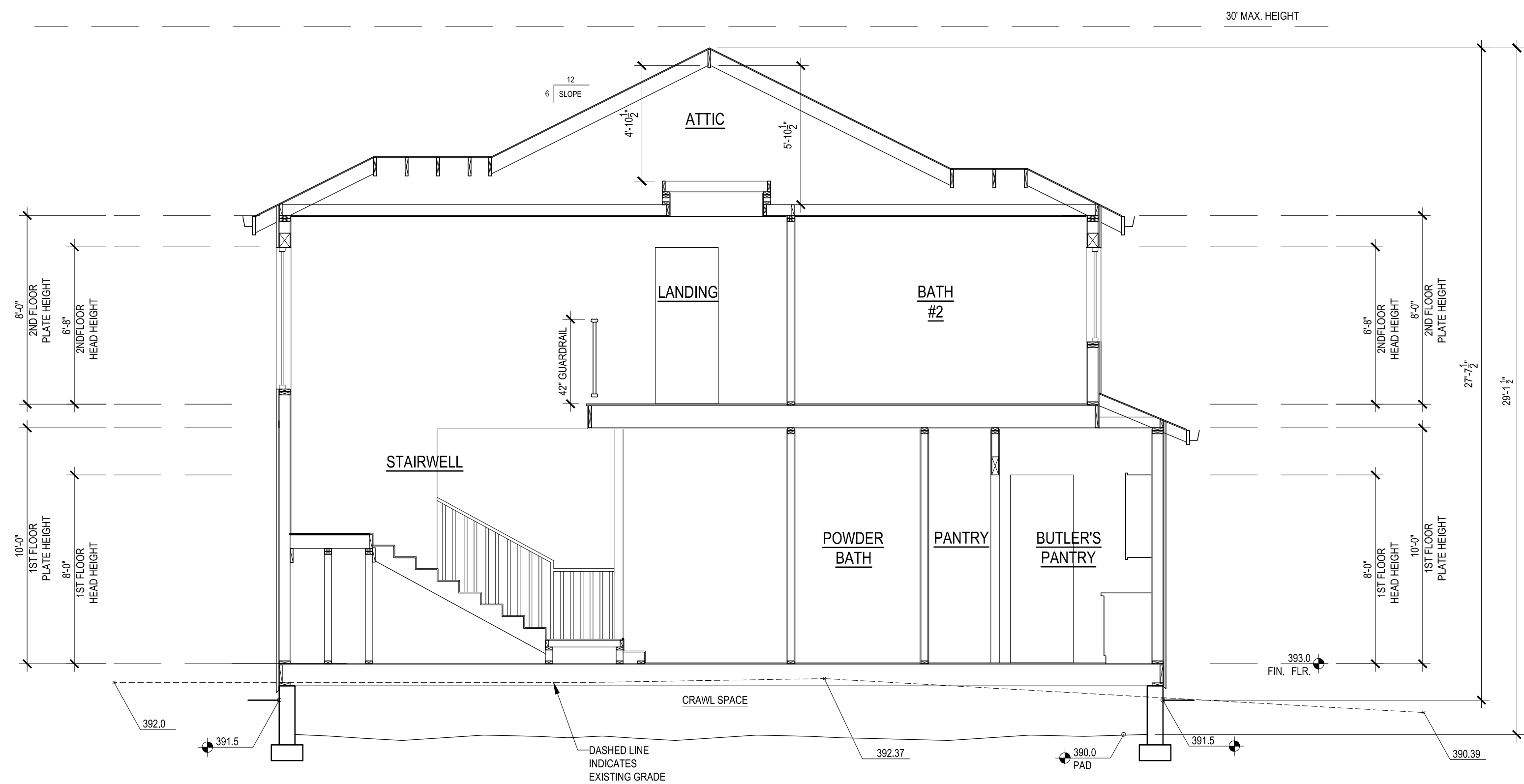
C - GARAGE SECTION



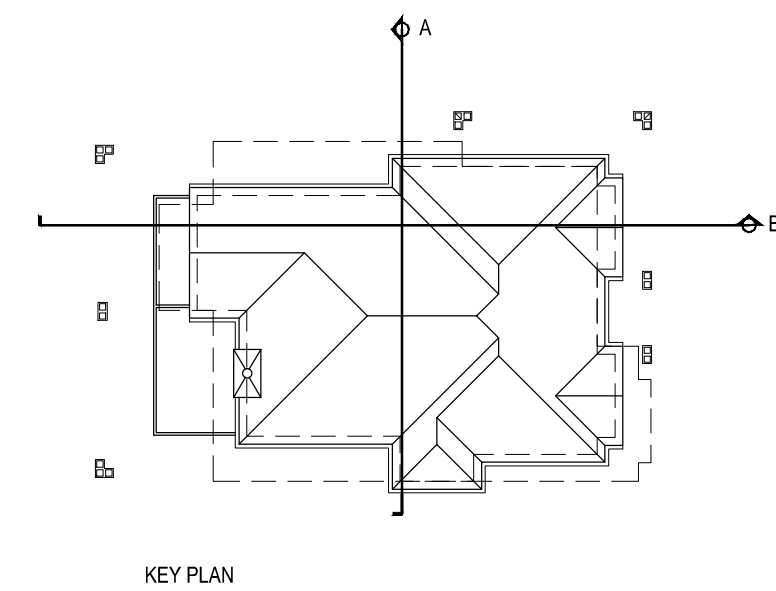
D - GARAGE SECTION



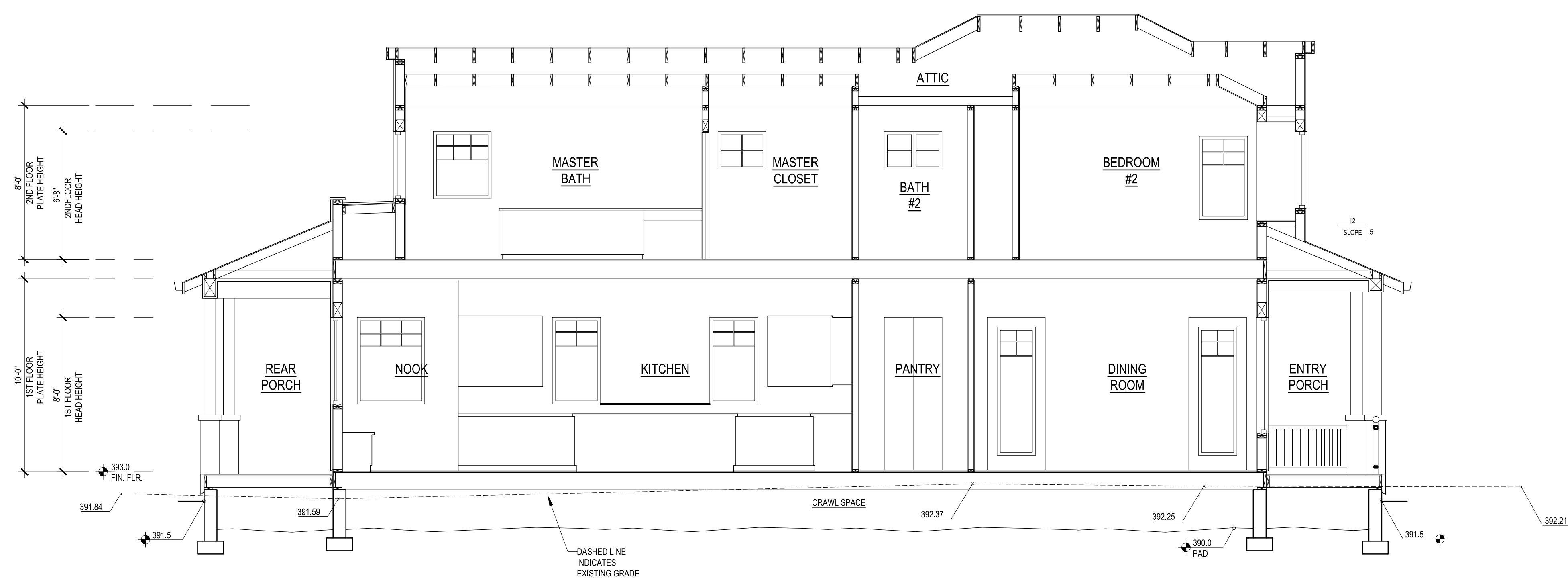
KEY PLAN - GARAGE



A - BUILDING SECTION

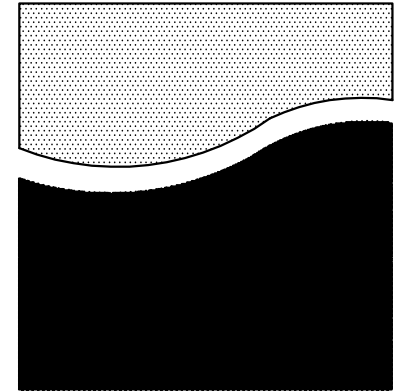


KEY PLAN



B - BUILDING SECTION

SEE STRUCTURAL DRAWINGS FOR
ALL FRAMING AND FOUNDATION
REQUIREMENTS



REED ASSOCIATES
LANDSCAPE ARCHITECTURE
477 SOUTH TAAFFE STREET
SUNNYVALE, CALIFORNIA 94086
408.481-9020 / 408.481-9022 FAX
web: www.rala.net / email: paul@rala.net

485 MONTEREY AVENUE

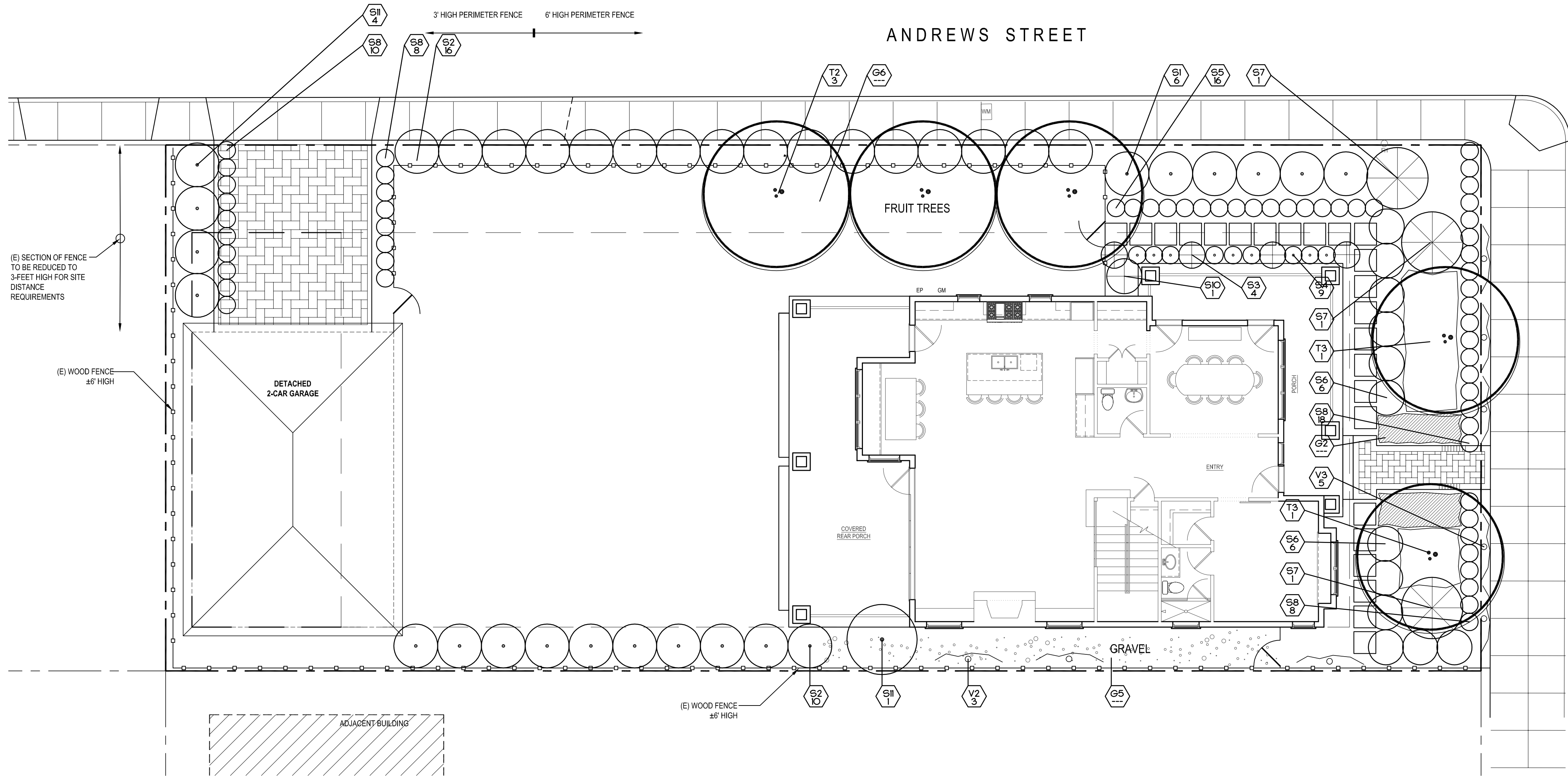
LOS GATOS, CA

ISSUE	DATE
1	



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Approved: PJR
Drawn: RS Reviewed: PJR
Project No.: XX.XX
Scale: Issue Date: 07.27.15



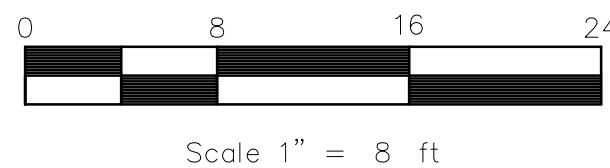
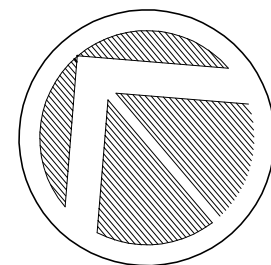
PLANT LIST:						
NATIVE	KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES						
	T2	FRUIT TREES	FRUIT TREES	3	24" BOX	STANDARD
	T3	CERCIS C. FOREST PANSY	EASTERN REDBUD	2	24" BOX	STANDARD
SHRUBS						
NATIVE	S1	ARCTOSTAPHYLOS D. HOWARD MCINN	MCINN MANZANITA	--	5 GAL	VERY LOW
	S2	PITTOSPORUM T. VARIEGATA	MOCK ORANGE	--	5 GAL	LOW
NATIVE	S3	PENSTEMON 'APPLE BLOSSOM'	BEARD TONGUE	--	5 GAL	LOW
NATIVE	S4	MIMULUS CARDINALIS	MONKEY FLOWER	--	5 GAL	LOW
NATIVE	S5	HEUCHERA MAXIMA	ALLY ROOT	--	1 GAL	MEDIUM
	S6	LAVANDULA S. OTTO QUAST	LAVENDER	--	5 GAL	LOW
	S7	PHORMIUM 'ESTER'	HYBRID FLAX	--	5 GAL	LOW
	S8	HEMEROCALLIS	DAY LILY	--	5 GAL	MEDIUM
	S9	SESLERIA 'GREENLEE'	MOOR GRASS	--	1 GAL	MEDIUM
	S10	NANDINA DOMESTICA	HEAVENLY BAMBOO	--	5 GAL	LOW
	S11	ARBUS COMPACTA	DWARF STRAWBERRY TREE	--	5 GAL	LOW
GROUND COVERS						
NATIVE	G1	FRAGARIA CHILLOENSIS	WILD STRAWBERRY	---	FLATS	8" O.C.
	G2	STACHYS B. 'SILVER CARPET'	SILVER CARPET LAMB'S EAR	---	1 GAL	18" O.C.
NATIVE	G3	MAHONIA REPENS	CREEPING MAHONIA	---	1 GAL	24" O.C.
	G4	CENTAUREA CINERARIA	DUSTY MILLER	---	1 GAL	18" O.C.
	G5	3/8" PEA GRAVEL	GRAVEL	---	---	---
	G6	WOOD CHIP MULCH	MULCH	---	---	---
VINES						
	V1	PANDOREA JASMINOIDES 'ROSEA'	PINK BOUVER VINE	2	15 GAL	MEDIUM
	V2	HARDENBERGIA V. 'HAPPY WANDERER'	PURPLE VINE LILAC	3	5 GAL	MEDIUM
	V3	LONICERA SEMPERVIRENS	TRUMPET HONEY SUCKLE	5	5 GAL	MEDIUM

PLANT NOTES:

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- REFER TO CIVIL ENGINEER'S PLANS FOR OVERALL SITE GRADING AND DRAINAGE.
- PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT - 1.800.227.2600

PLANT SYMBOLS

INDICATES PLANT KEY
INDICATES PLANT QUANTITY



LANDSCAPE
PLANTING PLAN

L1.0