

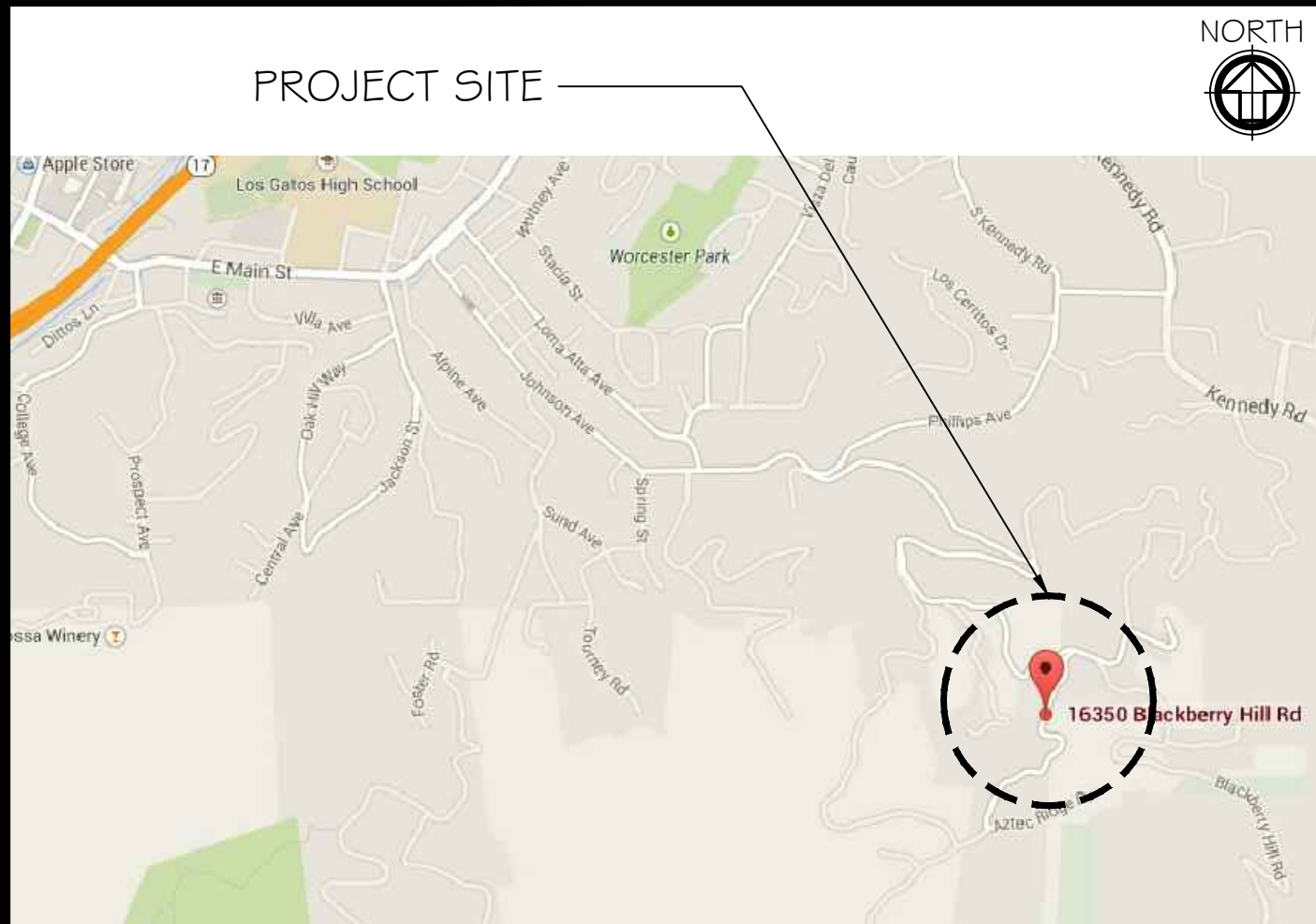
NOT FOR CONSTRUCTION  
DRAFT REVIEW ONLY

DATE	REVISION
① 03-16-15	PLANNING RE-SUBMITTAL
② 04-16-15	PLANNING RE-SUBMITTAL
③ 08-24-15	PLANNING RE-SUBMITTAL

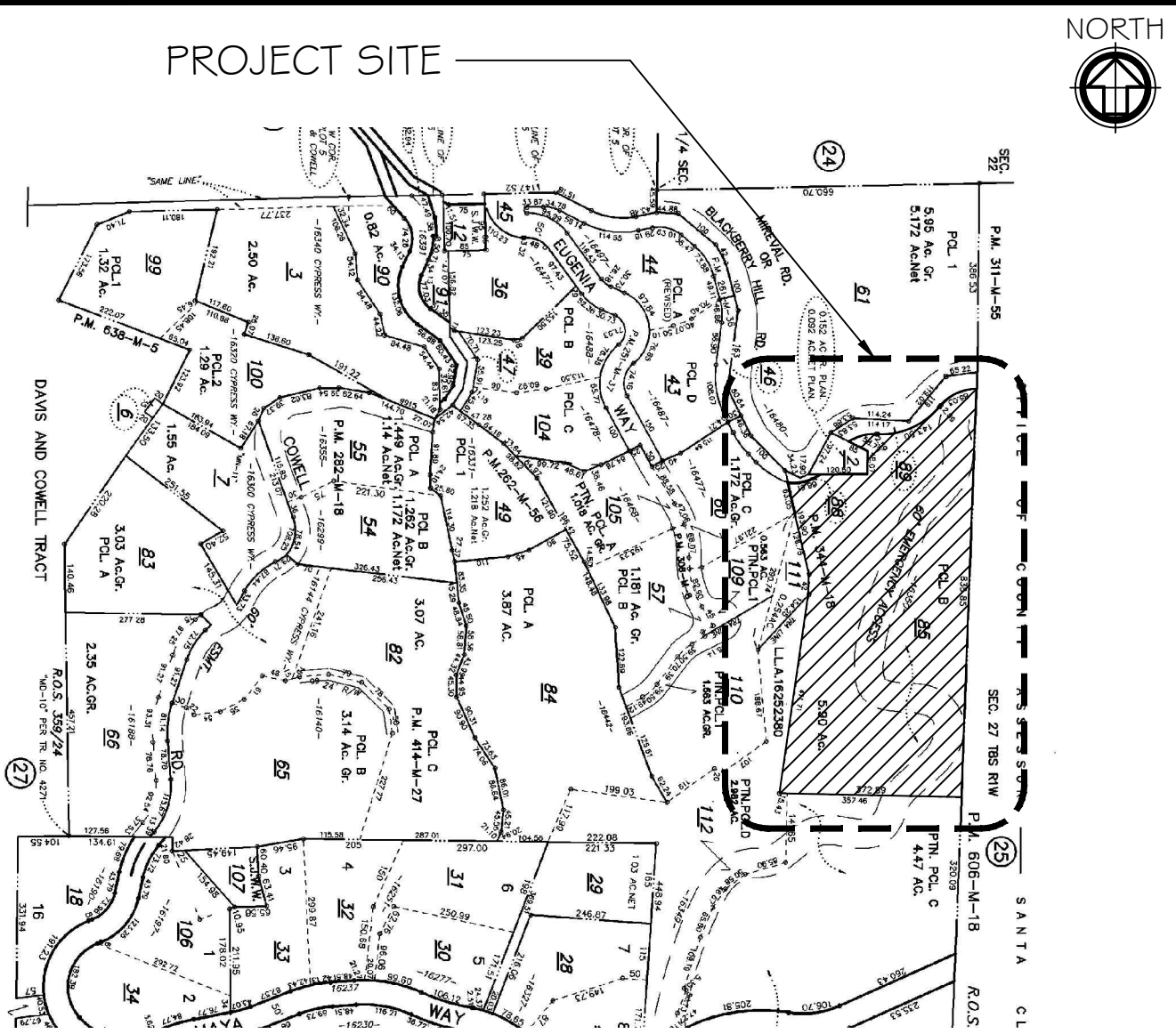


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NOT TO SCALE



NOT TO SCALE



ARCHITECTURAL:		ARCHITECTURAL (CONT.):	
TO.1	TITLE SHEET	A3.0	EXISTING HOUSE PHOTOS
TO.1.1	DRAFT CONDITIONS OF APPROVAL	A3.1	EXISTING ELEVATIONS
TO.1.2	GREEN POINT CHECK LIST	A3.2	EXISTING ELEVATIONS
A1.1	SITE PLAN - KEY PLAN	A3.3	PROPOSED ELEVATIONS
A1.2	PROPOSED SITE PLAN	A3.4	PROPOSED ELEVATIONS
A1.3	PROPOSED BUILDING AREA CALCULATIONS	A3.5	ILLUSTRATION OF ADDITION ON ELEVATIONS
A1.3.1	SECTION A-A ILLUSTRATION OF CELLAR		
A1.3.2	COVERAGE & PAVED AREA CALCULATION	SP-1	STORY POLE LOCATIONS ROOF PLAN
A1.4	(1) FIRST FLOOR W/ DEMOLITION,	SP-2	STORY POLE LOCATIONS EXTERIOR ELEVATIONS
	(2) ROOF PLAN W/ DEMOLITION,	ASP-2	STORY POLE LOCATIONS EXTERIOR ELEVATIONS
	(3) TABLE WITH WALL AREA CALCULATION		
A1.4.2	(4) ELEVATIONS W/ DEMOLITION		
A1.4.3	EXISTING GARAGE FLOOR & ROOF PLAN WITH DEMO WALL AREA CALCULATION		
A1.5	EXISTING CONCRETE COMBUSTIBILITY PLAN		
A2.1	EXISTING BASEMENT PLAN		
A2.2	EXISTING FIRST FLOOR PLAN		
A2.3	PROPOSED BASEMENT PLAN		
A2.4	PROPOSED FIRST FLOOR PLAN		
A2.5	PROPOSED MOORHAR AREA		
A2.6	EXISTING & PROPOSED GARAGE		

**GEOTECHNICAL ASPECTS:**  
THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, BASEMENT EXCAVATION, PIER DRILLING, FOOTING EXCAVATIONS, PREPARATION OF SUBGRADE AND PLACEMENT OF NON-EXPANSIVE FILL BENEATH THE BASEMENT SLAB AND SLABS-ON-GRADE, PAVEMENTS, RETAINING WALL BACKFILL, AND INSTALLATION OF DRAINAGE, EROSION CONTROL, AND DRAINAGE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS INC., DATED JANUARY 10, 2013, MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-559-9980) OF ANY EARTH WORK, EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

**SITE EXAMINATION:**  
THE CONTRACTOR SHALL THOROUGHLY EXAMINE AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AND CONDITIONS AFFECTING HIS WORK. HE SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.

**SAFETY:**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

**DAMAGE TO STRUCTURE OR SYSTEMS TO REMAIN:**  
CONTRACTOR SHALL REIMBURSE OWNER(S) FOR REPAIR AND REPLACEMENT, TOGETHER WITH ANY DESIGN TEAM FEES, FOR ANY DAMAGE CAUSED TO STRUCTURES OR EXISTING SYSTEMS TO REMAIN, AS THE RESULT OF HIS/HER CONSTRUCTION OPERATIONS.

**MEASUREMENTS:**  
THE CONTRACTOR SHALL VERIFY ALL DIMENSION SHOWS ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS IF NECESSARY. PROPER FIT AND ATTACHMENT OF ALL PARTS REQUIRED, BEFORE COMMENCING WORK. CHECK ALL LINE AND LEVEL DATA AND SUCH OTHER WORKS TO VERIFY THAT IT HAS BEEN PROPERLY COMPLETED. SHOULD THERE BE ANY DISCREPANCIES, THIS OFFICE IS TO BE NOTIFIED FOR CORRECTIONS AND/OR RESOLUTION PRIOR TO COMMENCEMENT OF ANY RELATED WORK.

## SUMMARY OF WORK:

HOUSE REMODEL & ADDITION

- BASEMENT: 3 BEDROOMS & 2 BATHROOMS
- FIRST FLOOR: 3 BEDROOMS 2 1/2 BATHROOMS

FIRST FLOOR REMODEL, CONSISTING OF:

- ADDITION OF AREA UNDER EXISTING ROOF @ (E) MASTER BEDROOM & ADDITION OF (2) NEW BEDROOMS & (1) BATHROOM @ (E) VERANDAH
- ADDITION OF NEW LAUNDRY ROOM WITHIN EXISTING AREA
- RELOCATION OF POWDER ROOM
- KITCHEN ADDITION UNDER NEW ROOF

BASEMENT ADDITION

- RECONFIGURATION OF (3) EXISTING BEDROOMS & (2) EXISTING BATHROOMS
- ADDITION OF HOME THEATER WITHIN BASEMENT AREA

## T.B.D.

**OWNERS:**  
ILI SARAFANI & AMIR GHOORBANI  
16350 BLACKBERRY HILLROAD  
LOS GATOS, CA 95030

**ARCHITECT:**  
M DESIGNS ARCHITECTS  
4546 EL CAMINO REAL, STE 223  
LOS ALTOS, CA 94022  
CONTACT: MALIKA JUNAID  
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**CIVIL ENGINEER:**  
GIULIANI & KULL, INC.  
4880 STEVENS CREEK BLVD., SUITE 205  
SAN JOSE, CA 95129  
CONTACT: MARK HELTON, PE, PLS  
PHONE: (408) 615-4000 X 206  
FAX: (408) 615-4004  
EMAIL: mhelton@agenengineers.com

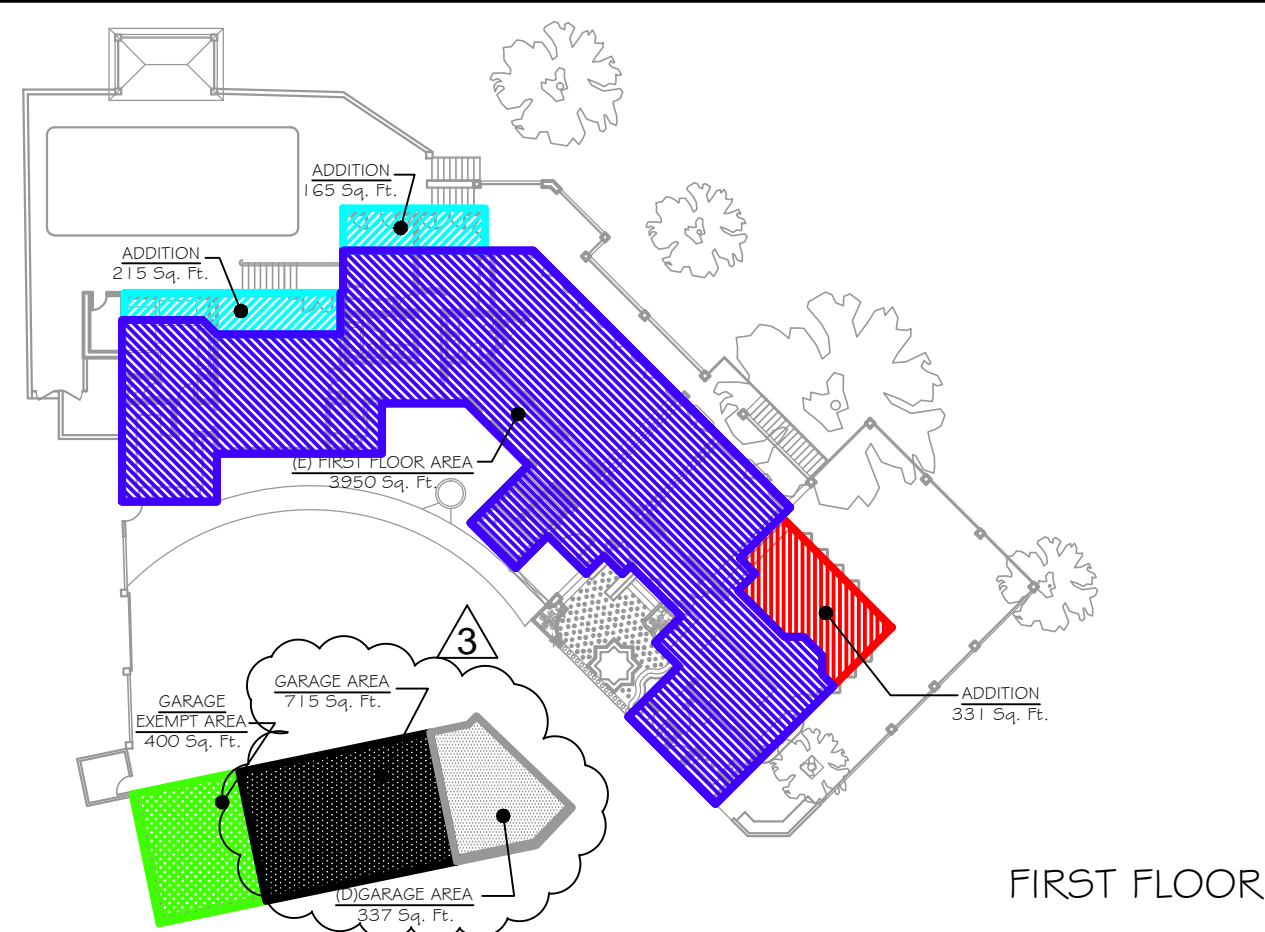
**LEGEND**

- FIRST FLOOR - EXISTING
- FIRST FLOOR - ADDITION (UNDER EXISTING ROOF)
- FIRST FLOOR - ADDITION (UNDER NEW ROOF)
- DECK/PT AREAS
- BASEMENT - EXISTING
- EXISTING GARAGE

Basement Deck/PT Area: 2292 Sq. Ft. (CULTIVAR)

Basement: 9396 Sq. Ft.

North arrow pointing towards the top right.



A.P.N.	532-26-085
ZONING DISTRICT	HR-2 1/2 (HILLSIDE RESIDENTIAL)
GROSS SITE AREA	5.90 ACRES (±) 257,004 Sq. Ft. (±)
NET SITE AREA	4.48 ACRES (±) 195,149 Sq. Ft. (±)

ZONING COMPLIANCE			
FLOOR AREA	EXISTING	CHANGED	PROPOSED
BASEMENT (FLOOR AREA)	3246 Sq. Ft.	0 Sq. Ft.	3246 Sq. Ft.
BASEMENT (EXEMPT AREA)	(-2252) Sq. Ft.	0 Sq. Ft.	(-2252) Sq. Ft.
BASEMENT (TOTAL FLOOR AREA)	996 Sq. Ft.	0 Sq. Ft.	996 Sq. Ft.
FIRST FLOOR	3950 Sq. Ft.	711 Sq. Ft.	4661 Sq. Ft.
TOTAL (HABITABLE AREA)	4946 Sq. Ft.	711 Sq. Ft.	5657 Sq. Ft.
GARAGE (FLOOR AREA)	1452 Sq. Ft.	(-337) Sq. Ft.	1115 Sq. Ft.
GARAGE (EXEMPT AREA)	(-400) Sq. Ft.	0 Sq. Ft.	(-400) Sq. Ft.
GARAGE (TOTAL FLOOR AREA)	1052 Sq. Ft.	(-337) Sq. Ft.	715 Sq. Ft.
TOTAL FLOOR AREA (HAB. + GARAGE)	5998 Sq. Ft.	374 Sq. Ft.	6372 Sq. Ft.

<u>SETBACKS</u>	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED / ALLOWED</u>
FRONT	415' - 4" ±	412' - 7"	30'-0"
REAR	232' - 2" ±	(NO CHANGE)	25'-0"
LEFT SIDE	218' - 7" ±	211' - 9"	20'-0"
RIGHT SIDE	16' - 9" ±	(NO CHANGE)	20'-0"

## BUILDING HEIGHT

EXISTING BUILDING	28' - 9" ± (NO CHANGE)
ADDITION	25' - 0"

IMPROVEMENTS TO  
THE RESIDENCE OF  
SARAFAN & GHORBANI  
16350 BLACKBERRY HILL RD,  
LOS GATOS, CA 95030

DESIGN DEVELOPMENT

08-24-15



T.01

DRAFT CONDITIONS:  
TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:  
(Engineering Division)

1. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Drawings and the Town Standard Specifications. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
2. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to altered work is started. The Applicant Project Engineer shall notify, in writing, the Town Engineer at least 72 hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
3. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to issuance of a building permit.
4. TREE PROTECTION: Tree protection shall be provided for any tree near the construction area. Building plans shall show tree protection fencing and details necessary to protect the remaining trees.
5. RETAINING WALLS: A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
6. FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences encroached into the neighbors will need to be removed and replaced to the correct location of the boundary lines. Waiver of this condition will require signed and notarized letters from all affected neighbors.
7. EXISTING IMPROVEMENTS: Any existing improvements encroaching into the neighbors property will need to be covered by easements, moved back onto the property or removed completely.
8. PRECONSTRUCTION PAVEMENT SURVEY: (Private Road with more than four neighbors) Prior to issuance of a Grading Permit, the project Applicant shall complete a pavement condition survey documenting the extent of existing pavement defects using a 35-mm or digital video camera. The survey shall extend from Blackberry Hill Road to the project site.
9. POSTCONSTRUCTION PAVEMENT SURVEY: (Tailor to match Pre-Con requirements) The project Applicant will complete a pavement condition survey and to determine whether road damage occurred as a result of project. Rehabilitation improvements required to restore the pavement to pre-construction condition shall be determined. The results shall be documented in a report and submitted to the Town for review and approval. The Applicant shall be responsible for completing any required road repairs.
10. CONSTRUCTION STREET PARKING: No vehicle having a manufacture's rated gross vehicle weight exceeding ten thousand (10,000) pounds shall be allowed to park on the portion of a street which abuts property in a residential zone without prior to approval from the Town Engineer.
11. HAULING OF SOIL: Hauling of soil on or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.). Prior to the issuance of a building permit, the developer shall work with the Town Building and Engineering Department Engineering Inspectors to devise a traffic control plan to ensure

- safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the developer/owner to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand, and other loose debris.
12. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
  13. SHARED PRIVATE STREET: The private street accessing Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice shall be provided at least one week in advance of closure
  14. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used or reused. Sanitary Sewer Clean-out is required for each property at the property line or location specify by the Town.
  15. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flusing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Administrative. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to issuance of a building permit.
  16. BEST MANAGEMENT PRACTICES (BMP's): The applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMP's (temporary removal during construction activities) shall be placed at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop orders.
  17. SITE DESIGN MEASURES: All projects must incorporate the following measures:
    - a. Protect sensitive areas and minimize changes to the natural topography.
    - b. Minimize impervious surface areas.
    - c. Direct roof downspouts to vegetated areas.
    - d. Use permeable pavement surfaces on the driveway, at a minimum.
    - e. Use landscaping to treat stormwater.
  18. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the ABAG Manual of Standards for Erosion & Sediment Control Measures, the Town's grading and erosion control ordinance and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
  19. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of contractor and home owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
  20. PRIVATE SEWAGE DISPOSAL SYSTEMS: Private sewage disposal systems shall consist of a septic tank and a system of underground drains for the disposal of the tank effluent. Such tank and drains shall be constructed per Town Code and the preliminary DEH approval dated mmm dd, yyyy. Final DEH signoff shall be provided prior to issuance of a certificate of occupancy.
  21. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. Superintendence of construction shall be diligently performed by a person or persons authorized to do so at all times during working hours. The storing of goods and/or materials on the sidewalk and/or the street will not be allowed unless a special permit is issued by the Engineering Division. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.

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Parks and Public Works Department  
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[rfong@losgatosca.gov](mailto:rfong@losgatosca.gov)  
408-395-5340

DATE		REVISION
03-16-15		PLANNING RE-SUBMITTAL
04-16-15		PLANNING RE-SUBMITTAL
08-24-15		PLANNING RE-SUBMITTAL
 M•DESIGNS ARCHITECTS 4546 EL CAMINO REAL, STE 223, LOS ALTOS, CA <a href="http://www.mdesignsarchitects.com">www.mdesignsarchitects.com</a> <a href="mailto:info@mdesignsarchitects.com">info@mdesignsarchitects.com</a> PH: 650-965-8036 FAX: 650-945-7869		
IMPROVEMENTS TO THE RESIDENCE OF SARAFAN & GHORBANI 16350 BLACKBERRY HILL RD, LOS GATOS, CA 95030		
DESIGN DEVELOPMENT	DRAFT CONDITIONS OF APPROVAL	
	08-24-15	
		 T.011

DATE	REVISION
03-16-15	PLANNING RE-SUBMITTAL
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IMPROVEMENTS TO  
THE RESIDENCE OF  
SARAFAN & GHORBANI  
16350 BLACKBERRY HILL RD.,  
LOS GATOS, CA 95030

DESIGN DEVELOPMENT  
GREEN POINT CHECKLIST

08-24-15

T.02

GreenPoint Rated Existing Home Checklist

The GreenPoint Rated checklist tracks green features incorporated into the home. This checklist is used to track projects seeking a Whole House or Elements Rating using the GreenPoint Rated Existing Home Rating System. The minimum requirements for a green home seeking the Whole House Rating are listed in the project summary at the end of this checklist. Selected measures can be awarded points allocated by the percentage of presence of the measure in the home. Not all measures are available for allocation. The measure or practice must be found in at least 10% of the home to earn points.



Enter Label: Whole House

Points Achieved: 102

The green building practices listed below are described in the GreenPoint Rated Existing Home Rating Manual and the Home Remodeling Guidelines available at www.builditgreen.org. Build It Green is a non-profit organization providing the GreenPoint Rated program as a public service. Build It Green encourages local governments to leverage program resources to support voluntary, market-based programs and strategies. GreenPoint Rated Existing Home Checklist version 1.0

SARAFAN & GHORBANI 16350 BLACKBERRY HILL ROAD, LOS		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
AA. COMMUNITY		Possible Points					
1. Infill Site							
a. Home is Located in a Built Urban Setting with Utilities in Place for Fifteen Years		2	1				1
b. Home is Located within 1/2 Mile of a Major Transit Stop		2	2				
2. Compact Development & House Size							
a. Density of 10 Units per Acre or Greater		2	2				2
b. Home Size Efficiency (points awarded based on home size)		2				1-10	
3. Pedestrian and Bicycle Access/Alternative Transportation							
a. Site has Pedestrian Access Within 1/4 Mile of neighborhood services:							
TIER 1: 1) Day Care 2) Community Center 3) Public Park							
4) Drug Store 5) Restaurant 6) School							
7) Library 8) Farmer's Market 9) After School Programs							
10) Convenience Store Where Meat & Produce are Sold							
TIER 2: 1) Bank 2) Place of Worship 3) Laundry/Cleaners							
4) Hardware 5) Theater/Entertainment 6) Fitness/Gym							
7) Post Office 8) Senior Care Facility 9) Medical/Dental							
10) Hair Care 11) Commercial Office of Major Employer 12) Full Supermarket							
5 Services Listed Above (Tier 2 Services count as 1/2 Service Value)			1				
10 Services Listed Above (Tier 2 Services count as 1/2 Service Value)							
b. Access to A Dedicated Pedestrian Pathway to Places of Recreational Interest within 1/2 Mile		1					
c. At Least Two of the Following Traffic-Calming Strategies Installed within 1/4 mile: Designated Bicycle Lanes are Present on Roadways; Ten-Foot Vehicle Travel Lanes Street Crossings Closest to Site are Located Less Than 300 Feet Apart; Streets Have Rumble Strips, Bumpouts, Raised Crosswalks or Refuge Islands		1					
4. Safety & Social Gathering		1	1				
a. Front Entrance Has Views from the Inside to Outside Cycles		1	1				
b. Front Entrance Can Be Seen from the Street and/or from Other Front Doors		1	1				
c. Porch (min. 100sf) Oriented to Streets and Public Spaces		1	1				
5. Diverse Households							
a. Home Has at Least One Zero-Step Entrance		1					
b. All Main Floor Interior Doors & Passageways Have a Min. 32-Inch Clear Passage Space		1					
c. Home Includes at Least a Half-Bath on the Ground Floor with Blocking for Grab Bars		1	1				
d. Lot Includes Full-Function Independent Rental Unit		1	1				
Total Points Available in Community = 29		9					

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GreenPoint Rated Existing Home Whole House Checklist v1.0

1

SARAFAN & GHORBANI 16350 BLACKBERRY HILL ROAD, LOS		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
A. SITE		Possible Points					
1. Protect Existing Topsoil from Erosion and Reuse after Construction		1	1				1
2. Recycle Construction and Demolition Waste							
a. Recycle All Cardboard, Concrete, Asphalt and Metals (Required for both Whole House and for Elements, if Applicable)							R
b. Deconstruct for Reuse the Following Items (Enter Number of Points, up to 2 points): 1) Appliances, 2) Brick, tile, masonry, 3) Cabinetry, 4) Countertops, 5) Doors, 6) Fixtures (plumbing, lighting, etc), 7) Sinks/Tubs, 8) Toilets (1.6 only), 9) Windows, 10) Wood - (2x4, flooring, form boards)		2				2	
c. Recycle 25% C&D Waste Excluding All Cardboard, Concrete, Asphalt and Metals		2				2	
3. Construction IAQ Management Plan							
Total Points Available in Site = 8		4					
B. FOUNDATION		Possible Points					
1. Replace Portland Cement in Concrete with Recycled Flyash or Slag							
a. Minimum 20% Flyash and/or Slag Content							1
b. Minimum 30% Flyash and/or Slag Content							1
2. Moisture Source Verification and Correction (Required for Whole House)							R
3. Retrofit Crawl Space to Control Moisture							
a. Control Ground Moisture with Vapor Barrier							2
b. Foundation Drainage System							2
4. Pest Inspection and Correction		1					1
5. Design and Build Structural Pest Controls							
a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers							1
b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation							1
6. Radon Testing and Correction or Radon Resistant Construction							1
Total Points Available in Foundation = 10		1					
C. LANDSCAPE		Possible Points					
Is the landscape area is <15% of the total site area? (only 3 points available in this section for projects with <15% landscape area)							
1. Resource-Efficient Landscapes							
a. No Invasive Species Listed by Cal-IPC Are Planted							1
b. No Plant Species Require Shearing							1
c. 50% of Plants Are California Natives or Mediterranean Climate Species		3					3
2. Fire-Safe Landscaping Techniques			1				
3. Minimal Turf Areas							
a. Turf Not Installed on Slopes Exceeding 10% or in Areas Less than 8 Feet Wide		2					2
b. Turf is <35% of Landscaped Area							2
c. Turf is <10% of Landscaped Area or eliminated							2
4. Shade Trees Planted		3	1	1			1
5. Plants Grouped by Water Needs (Hydrozoning)		2					2
6. High-Efficiency Irrigation Systems Installed			2				2
a. System Uses Only Low-Flow Drip, Bubbler, or Low-Flow Sprinklers							3
b. System Has Smart Controllers							3
7. Compost and Recycle Garden Trimmings on Site							1
8. Match in All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement							2
9. Use Salvaged or Recycled-Content Materials for 50% of Non-Plant Landscape Elements							1
10. Light Pollution Reduced by Shielding Fixtures and Directing Light Downward		1	1				
11. Rain Water Harvesting System (1 point for <350 gallons, 2 points for >350 gallons)							1
a. <350 gallons							1
b. >350 gallons							1
12. Soil Amended with Compost			1	1			1
Total Points Available in Landscape = 31		13					

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GreenPoint Rated Existing Home Whole House Checklist v1.0

2

SARAFAN & GHORBANI 16350 BLACKBERRY HILL ROAD, LOS		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
D. STRUCTURAL FRAME & BUILDING ENVELOPE		Possible Points					
1. Optimal Value Engineering							
a. Place Rafters & Studs at 24-Inch On Center Framing							1
b. Size Door & Window Headers for Load							1
c. Use Only Jack & Cripple Studs Required for Load							1
2. Use Engineered Lumber							
a. Engineered Beams & Headers							1
b. Insulated Engineered Headers							1
c. Wood Joists or Web Trusses for Floors							1
d. Wood Joists for Roof Rafters							1
e. Engineered or Finger-Jointed Studs for Vertical Applications							1
f. Oriented Strand Board for Subfloor							1
g. Oriented Strand Board Wall and Roof Sheathing							1
3. FSC Certified Wood							
a. Dimensional Lumber, Sluds, and Timber: Minimum 40%							2
b. Dimensional Lumber, Sluds, and Timber: Minimum 70%							2
c. Panel Products: Minimum 40%							1
d. Panel Products: Minimum 70%							1
4. Solid Wall Systems (includes SIPs, ICFs, & Any Non-Stick Frame Assembly)							
a. Floors							2
b. Walls							2
c. Roofs							2
5. Reduce Pollution Entering the Home from the Garage			1				1
a. Tightly Seal the Air Barrier between Garage and Living Area							1
b. Install Garage Exhaust Fan OR Have a Detached Garage			1				1
6. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)				1			1
7. Overhangs and Gutters							
a. Minimum 16-Inch Overhangs and Gutters			1				1
b. Minimum 24-Inch Overhangs and Gutters			1				1
8. Retrofit/Upgrade Structure for Lateral Load Reinforcement for Wind or Seismic							
a. Partial Lateral Load Reinforcement: Upgrades/Retrofits			1				1
b. Lateral Load Reinforcement Upgrades/Retrofits for Entire home			2				2
9. Sound Exterior Assemblies (Required for Whole House)							R
Total Points Available in Structural Frame & Building Envelope = 36		11					
E. EXTERIOR FINISH		Possible Points					
1. Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking							2
2. Rain Screen Wall System Installed							2
3. Durable & Noncombustible Siding Materials			1				1
4. Durable & Fire-Resistant Roofing Materials							2
Total Points Available in Exterior Finish = 7		1					
F. INSULATION		Possible Points					
1. Insulation with 75% Recycled Content							
a. Walls and Floors							1
b. Ceilings							1
2. Low-Emitting Insulation (Certified CA Section 01350)							
a. Walls and Floors			1				1
b. Ceilings			1				1
3. Inspect Quality of Insulation Installation before Applying Drywall			1				1
Total Points Available in Insulation = 6		3					

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GreenPoint Rated Existing Home Whole House Checklist v1.0

3

SARAFAN & GHORBANI 16350 BLACKBERRY HILL ROAD, LOS		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
G. PLUMBING		Possible Points					
250%	1. Distribute Domestic Hot Water Efficiently						
Yes	a. Insulate All Accessible Hot Water Pipes	2					1
Yes	b. Locate Water Heater Within 12' Of All Water Fixtures, as measured in plan						1
Yes	c. Install On-Demand Circulation Control Pump						1
250%	2. High-Efficiency Toilets (Dual-Flush or ≤1.28 gpf)	3					
250%	3. Water Efficient Fixtures						
Yes	a. All Fixtures Meet Federal Energy Policy Act (Toilets: 1.6 gpf, Sinks: 2.2 gpm, Showers: 2.5 gpm) (Required For Whole House)						R
Yes	b. High-Efficiency Showersheds. Use ≤2.0 gpm at 80 psi	2					1
Yes	c. Bathrooms Faucets Use ≤1.5 gpm						1
250%	4. Plumbing System Integrity and No Plumbing Leaks (Required for Whole House and Elements)						R
Total Points Available in Plumbing = 13		9					
H. HEATING, VENTILATION & AIR CONDITIONING		Possible Points					
1. General HVAC Equipment Verification and Correction							
Yes	a. Visual Survey of Installation of HVAC Equipment (Required for both Whole House and Elements)						R
Yes	b. Conduct Diagnostic Testing to Evaluate System	2					2
TBD	c. Conduct Flow Hood Test and Assess Delivery of Air						1
Yes	d. Air Conditioning Compressor Operates Properly and Refrigerant Charge is Optimal						1
250%	2. Design and Install HVAC System to ACCA Manuals J, D, and S						4
250%	3. Sealed Combustion Units						
Yes	a. Furnaces	2					2
Yes	b. Water heaters	2					2
250%	4. Zoned, Hydronic Radiant Heating						1
Yes	5. High Efficiency Air Conditioning Air conditioning with Environmentally Responsible Refrigerants	1	1				
250%	6. Effective Ductwork Installation						
Yes	a. New Ductwork and HVAC unit Installed Within Conditioned Space						1
Yes	b. Duct Mastic Used on All Ducts, Joints and Seams						1
Yes	c. Ductwork Installed after Attic Insulation (Buried Ducts)						1
TBD	d. Ductwork System is Pressure Relieved						1
250%	7. High Efficiency HVAC Filter (MERV v4)						
Yes	a. No Flammable Or Sealed Gas Appliances with Efficiency Rating 20%+ using CSA						1
250%	8. Effective Exhaust Systems Installed in Bathrooms and Kitchens						
Yes	a. ENERGY STAR Bathroom Fans Vented to the Outside	1					1
Yes	b. All Bathroom Fans are on Timer or Humidistat						1
Yes	c. Kitchen Range Hood Vented to the Outside	1					1
250%	10. Mechanical Ventilation System for Cooling Installed						
Yes	a. ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms						1
Yes	b. Whole House Fan						1
250%	11. Mechanical Ventilation for Fresh Air Installed						
Yes	a. Any Whole House Ventilation System (that meets ASHRAE 62.2)	1					2
Yes	b. Install Air-to-Air Heat Exchanger (that meets ASHRAE 62.2)						1
250%	12. Carbon Monoxide						
Yes	a. Carbon Monoxide Testing and Correction (Required for Whole House)						R
Yes	b. Carbon Monoxide Alarms(s) Installed	1					1
250%	13. Combustion Safety Backdraft Test (Required for Whole House)						R
Total Points Available in Heating, Ventilation and Air Conditioning = 33		12					
I. RENEWABLE ENERGY		Possible Points					
1. Solar Water Heating System							4
2. Photovoltaic (PV) System that offsets electric energy use by:							
Yes	a. 30% of electric needs OR 1.2 kW						1
Yes	b. 60% of electric needs OR 2.4 kW						2
Yes	c. 90% of electric needs OR 3.6 kW						4
Total Points Available for Renewable Energy = 22		7					

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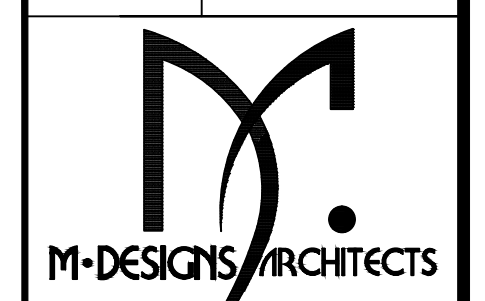
LEGEND

- PROPERTY LINE
- EXISTING BASEMENT
- EXISTING FIRST FLOOR & GARAGE
- PROPOSED FIRST FLOOR (UNDER EXISTING ROOF)
- PROPOSED FIRST FLOOR (UNDER NEW ROOF)
- DEMOLITION GARAGE
- (E) ROAD ACCESS (NO CHANGE)

NOTE

FOR TOPOGRAPHIC INFORMATION, SEE TOPOGRAPHIC SURVEY, SHEETS T-1 & T-2

DATE	REVISION
03-16-15	PLANNING
04-16-15	RE-SUBMITTAL
08-24-15	PLANNING
	RE-SUBMITTAL



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IMPROVEMENTS TO  
THE RESIDENCE OF  
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16350 BLACKBERRY HILL RD,  
LOS GATOS, CA 95030

DESIGN DEVELOPMENT  
SITE PLAN - KEY PLAN

08-24-15

A1.1



SITE PLAN - KEY PLAN



SCALE: 1/32"=1'-0"

1



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LEGEND

- PROPERTY LINE
- EXISTING BASEMENT
- EXISTING FIRST FLOOR & GARAGE
- PROPOSED FIRST FLOOR (UNDER EXISTING ROOF)
- PROPOSED FIRST FLOOR (UNDER NEW ROOF)
- PROPOSED CARPORT
- UPPER ROOFS
- LOWER ROOFS
- NEW ROOFS

NOTE

- SEE SHEET A1.3 FOR AREA CALCULATION
- NO GRADING INVOLVED WITH THIS PLAN. IF MODIFICATIONS ARE DONE DURING CONSTRUCTION, NEW GRADING SHALL BE ACCORDING TO GIULIANI & KULL, INC. RECOMMENDATIONS

(E) TREES

- COAST LIVE OAK, TRUNK Ø 19" @ 3'
- COAST LIVE OAK, TRUNK Ø 5" @ 3'
- COAST LIVE OAK, TRUNK Ø 19", 22" @ 3'
- COAST LIVE OAK, TRUNK Ø 8" @ 1.5'
- BLUE ATLAS CEDAR, TRUNK Ø 13" @ 3'

PROPOSED SITE PLAN



SCALE: 1/8"=1'-0"

1

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DESIGN DEVELOPMENT  
PROPOSED SITE PLAN


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A1.2



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08-24-15	PLANNING
	RE-SUBMITTAL



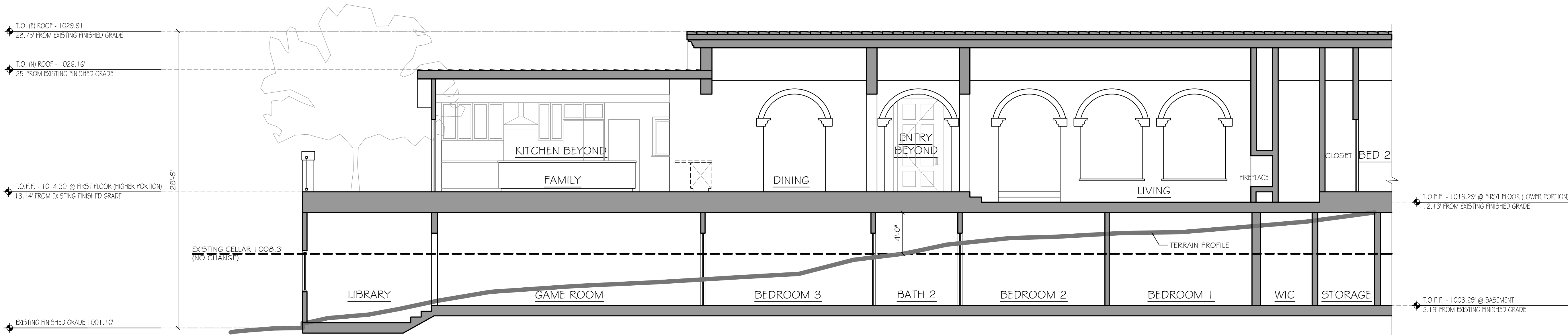
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DESIGN DEVELOPMENT  
SECTION A-A  
ILLUSTRATION OF CELLAR

08-24-15

A1.31

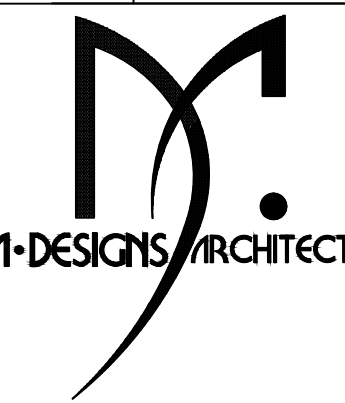


SECTION A-A



SCALE: 3/16"=1'-0"

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IMPROVEMENTS TO  
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DESIGN DEVELOPMENT  
COVERAGE & PAVED  
AREA CALCULATION

08-24-15

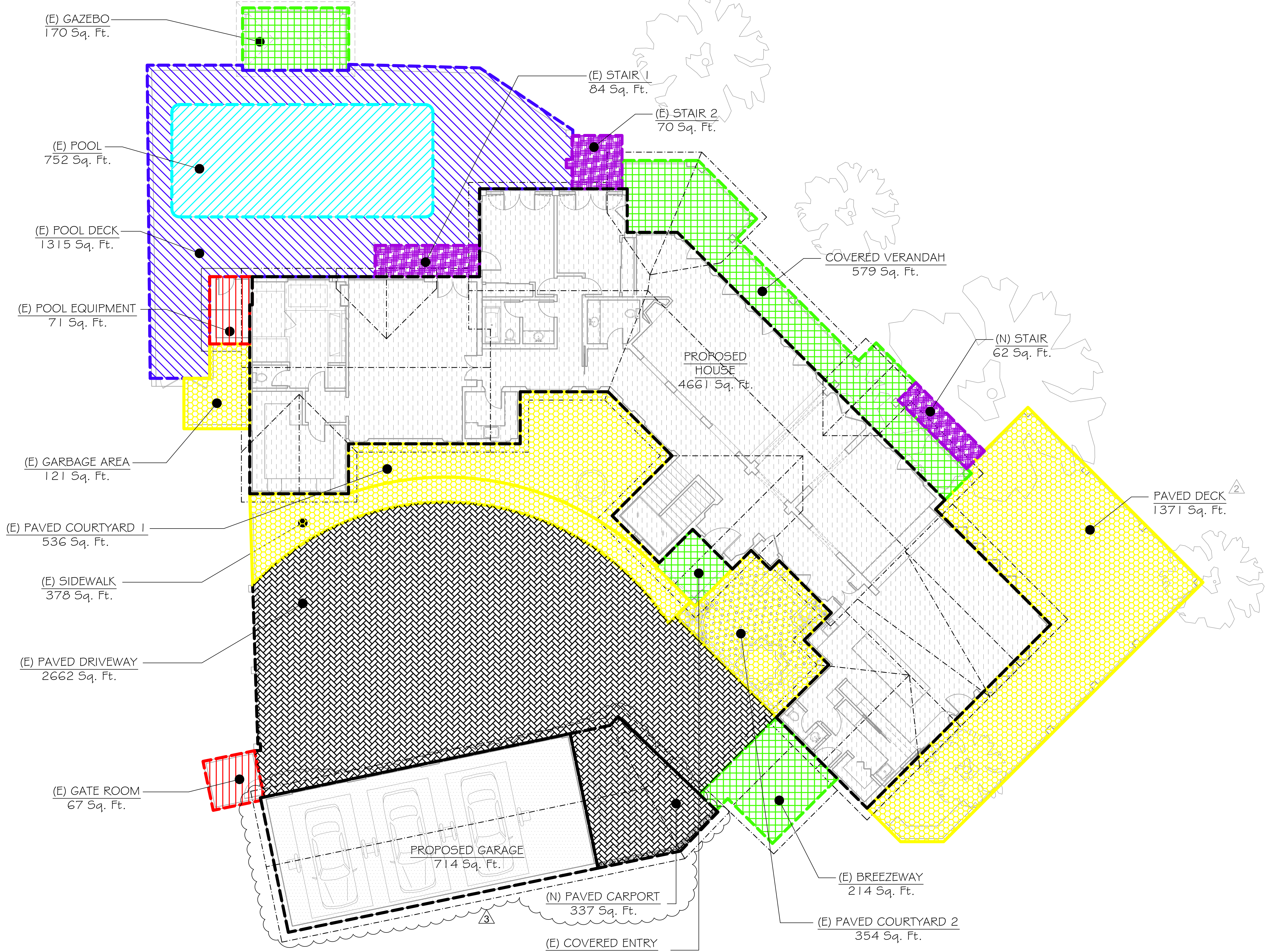
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LEGEND

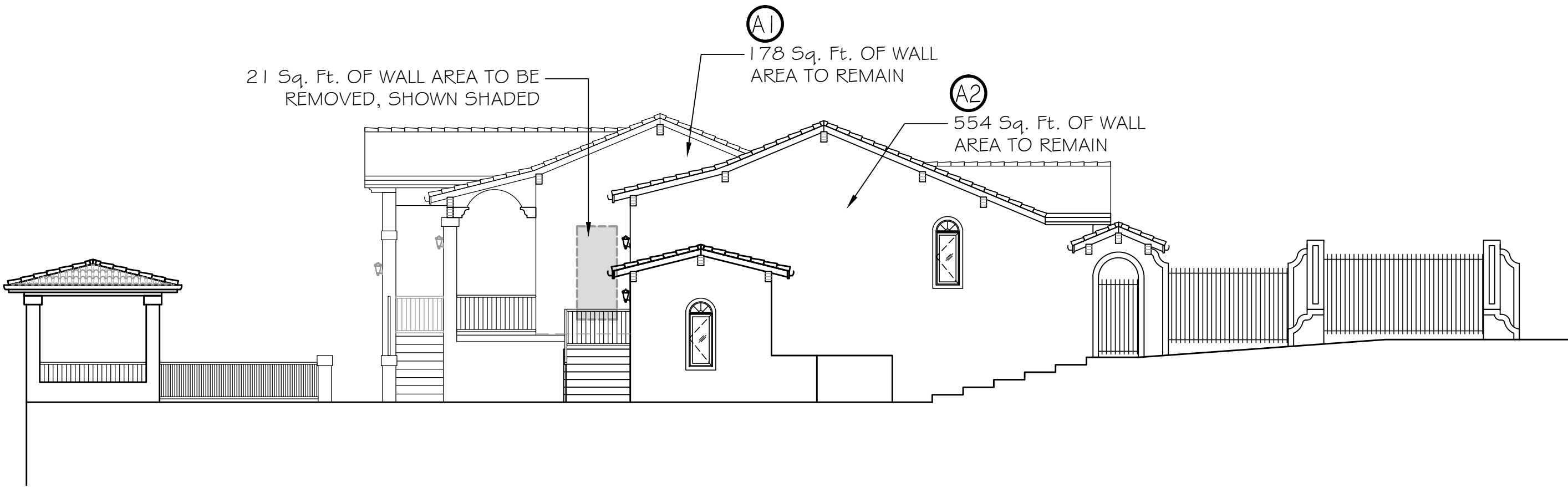
- POOL DECK
- POOL
- COVERED PORCHES, VERANDAHS, & BREEZEWAYS
- UNCOVERED PATIO & COURTYARDS
- PAVED DRIVEWAY
- GATE ROOM & POOL EQUIPMENT
- EXTERIOR STAIRS
- (E) GARAGE
- PROPOSED HOUSE
- ROOF ABOVE

COVERAGE TABLE	
DESCRIPTION	AREA (Sq. Ft.)
PROPOSED FIRST FLOOR	4661
GARAGE (E)	714
COVERED ENTRY (E)	76
BREEZEWAY (E)	214
GAZEBO (E)	170
COVERED VERANDAH	579
POOL EQUIPMENT (E)	71
GATE ROOM	67
TOTAL COVERAGE AREA	6553

PAVED AREA TABLE	
DESCRIPTION	AREA (Sq. Ft.)
DRIVEWAY (E)	2662
CARPORT (N)	337
GARAGE AREA (E)	121
SIDEWALK (E)	378
COURTYARD 1 (E)	536
COURTYARD 2 (E)	354
DECK	1371
STAIR 1 (E)	70
STAIR 2 (E)	84
STAIR (N)	62
POOL DECK (E)	1315
POOL (E)	752
TOTAL COVERAGE AREA	8042





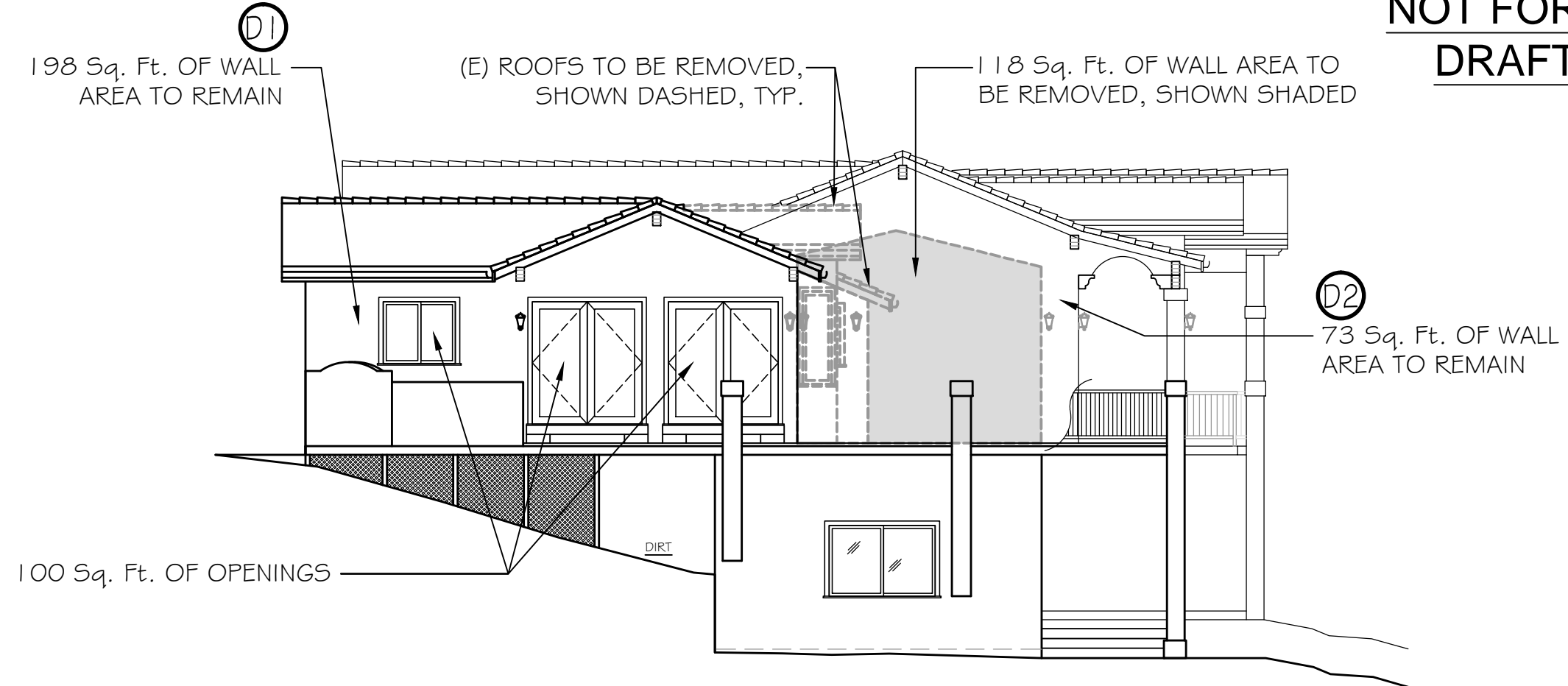


EXISTING WEST ELEVATION WITH DEMOLITION



SCALE: 1/8"=1'-0"

1

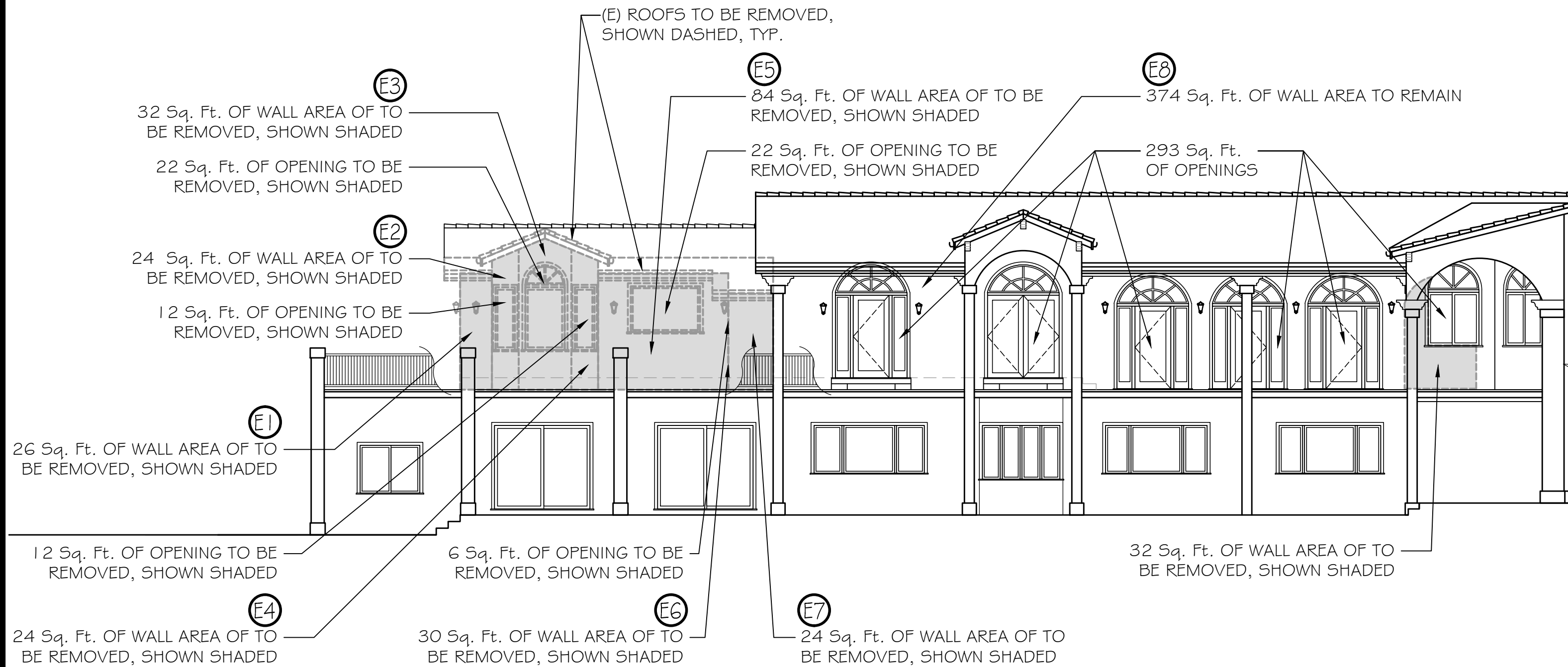


EXISTING EAST ELEVATION WITH DEMOLITION



SCALE: 1/8"=1'-0"

2

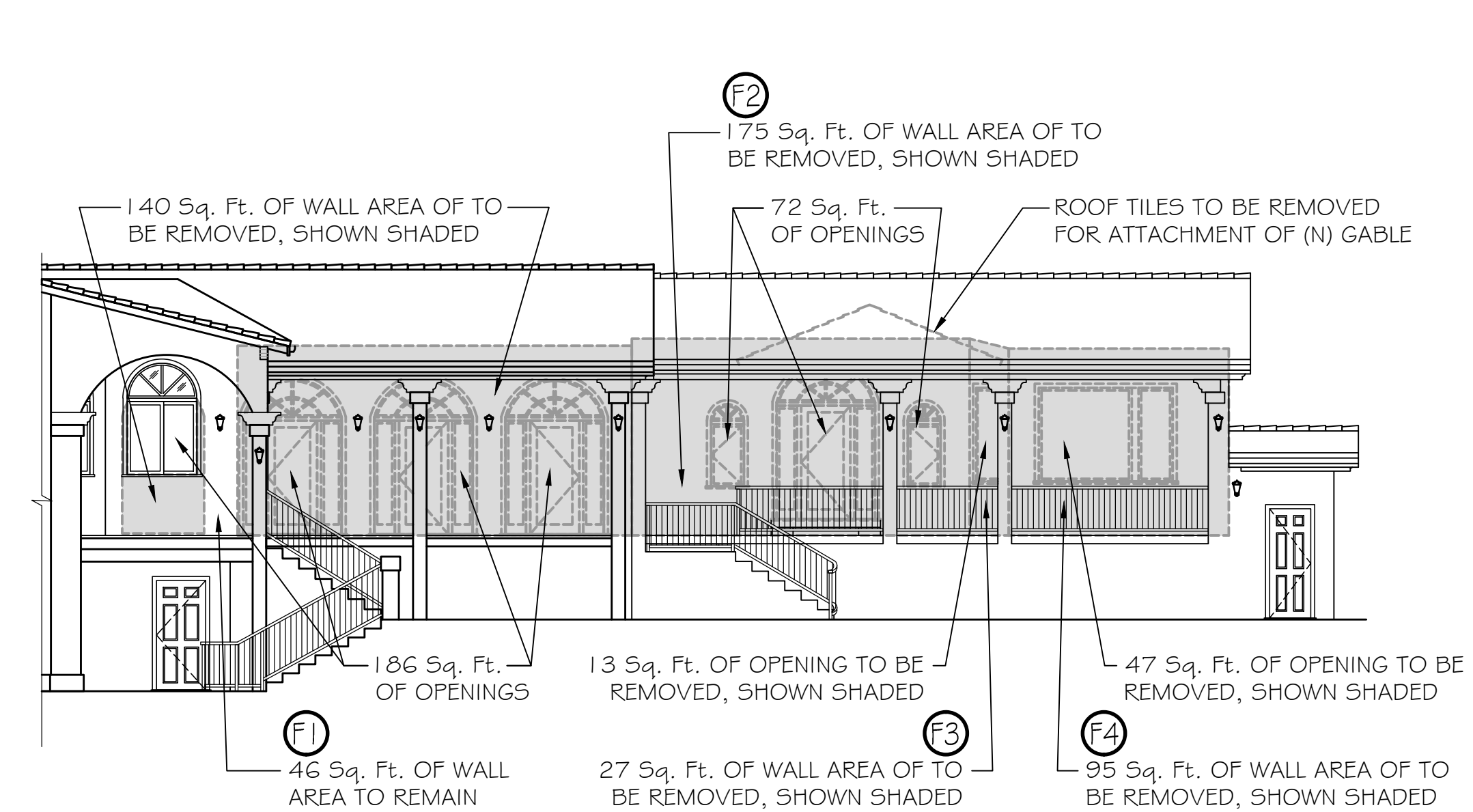


(E) NORTH ELEV. W/ DEMOLITION (EAST SIDE)



SCALE: 1/8"=1'-0"

3A

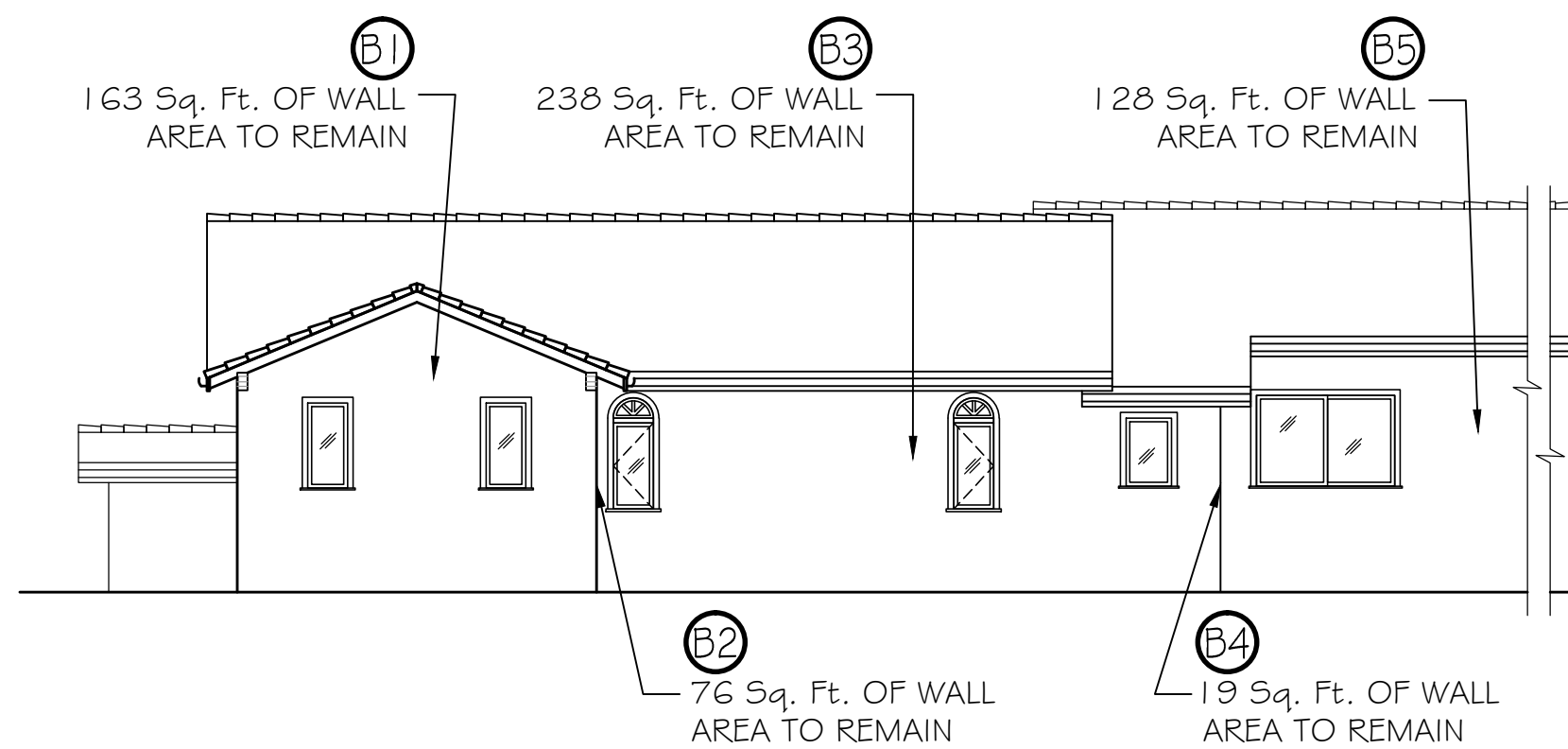


(E) NORTH ELEV. W/ DEMOLITION (WEST SIDE)



SCALE: 1/8"=1'-0"

3B

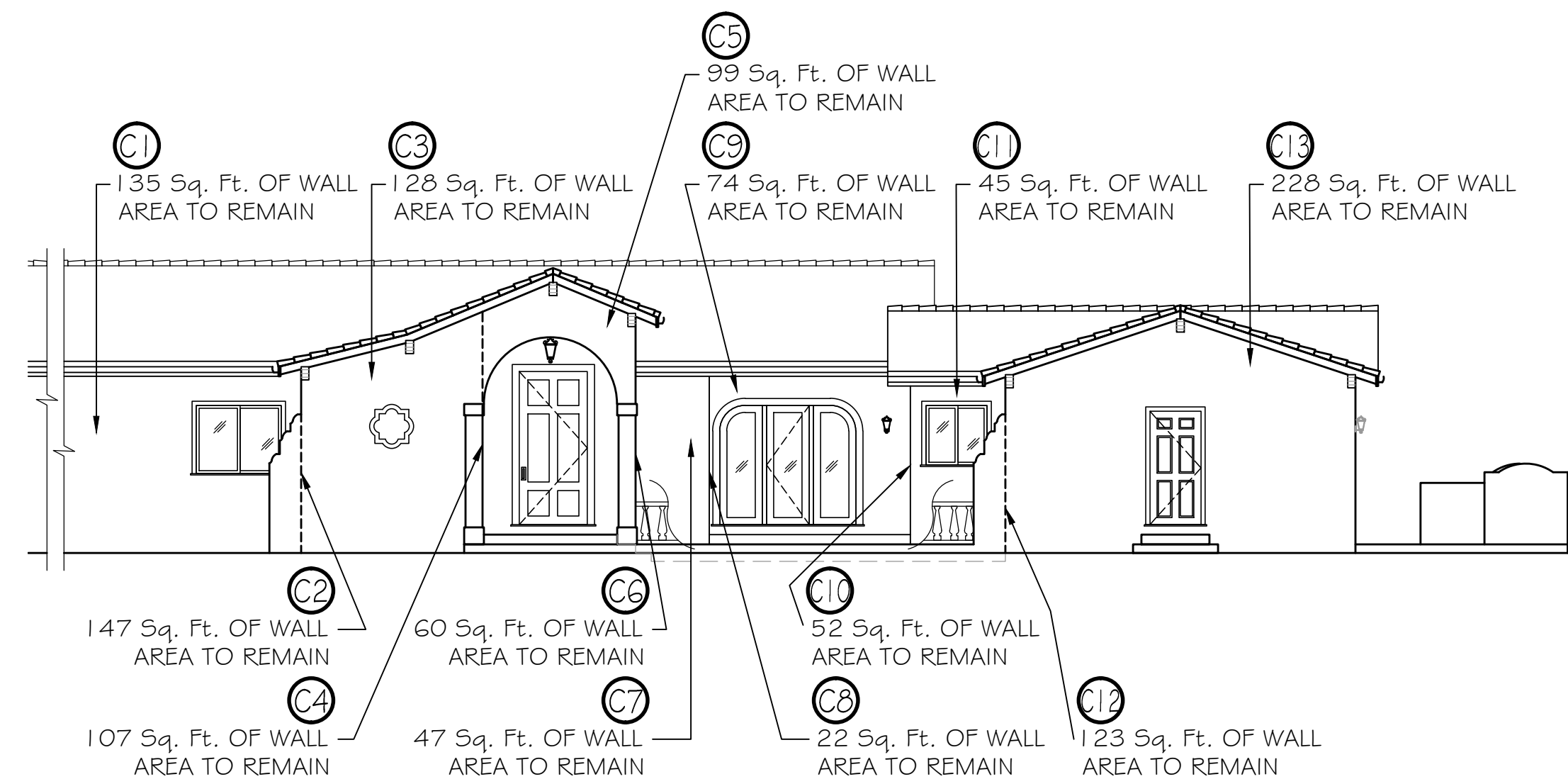


(E) SOUTH ELEV. W/ DEMOLITION (WEST SIDE)



SCALE: 1/8"=1'-0"

4A



(E) SOUTH ELEV. W/ DEMOLITION (EAST SIDE)



SCALE: 1/8"=1'-0"

4B

DATE	REVISION
03-16-15	PLANNING
04-16-15	RE-SUBMITTAL
08-24-15	PLANNING
	RE-SUBMITTAL

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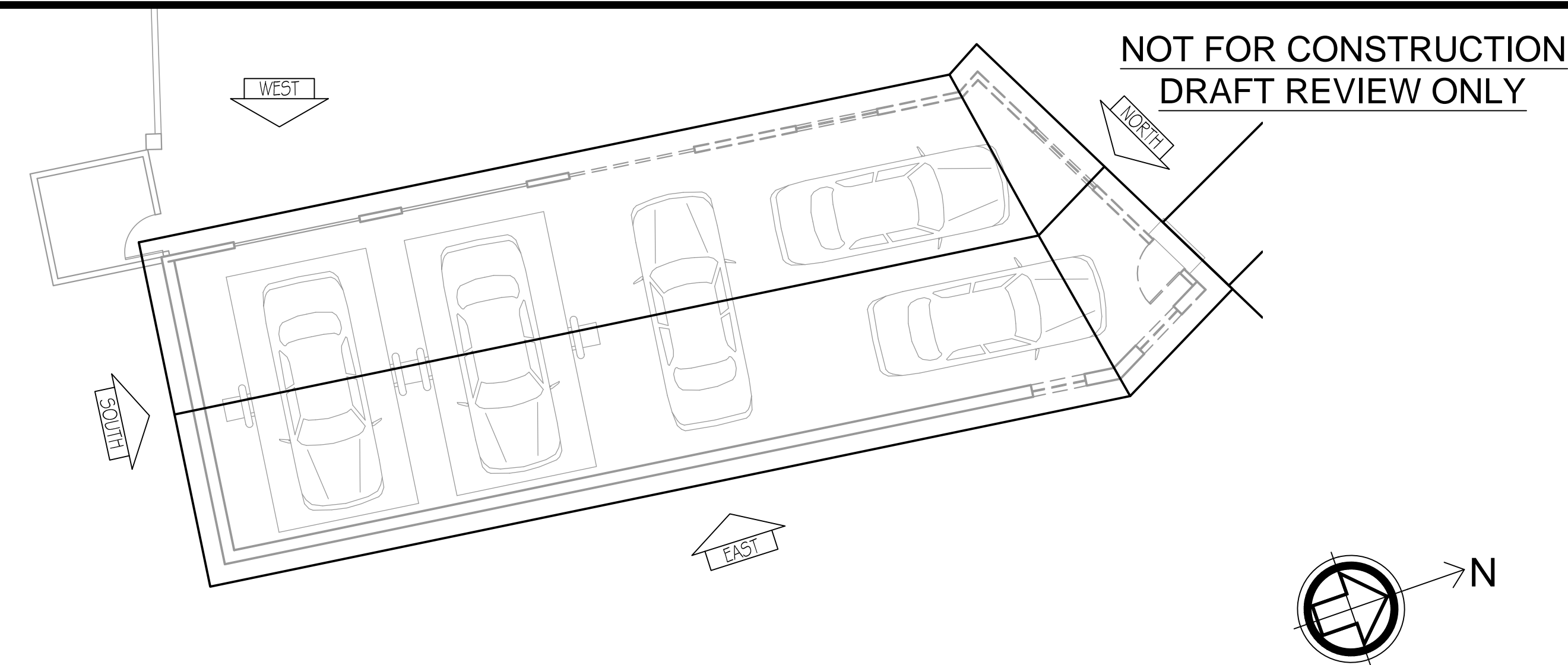
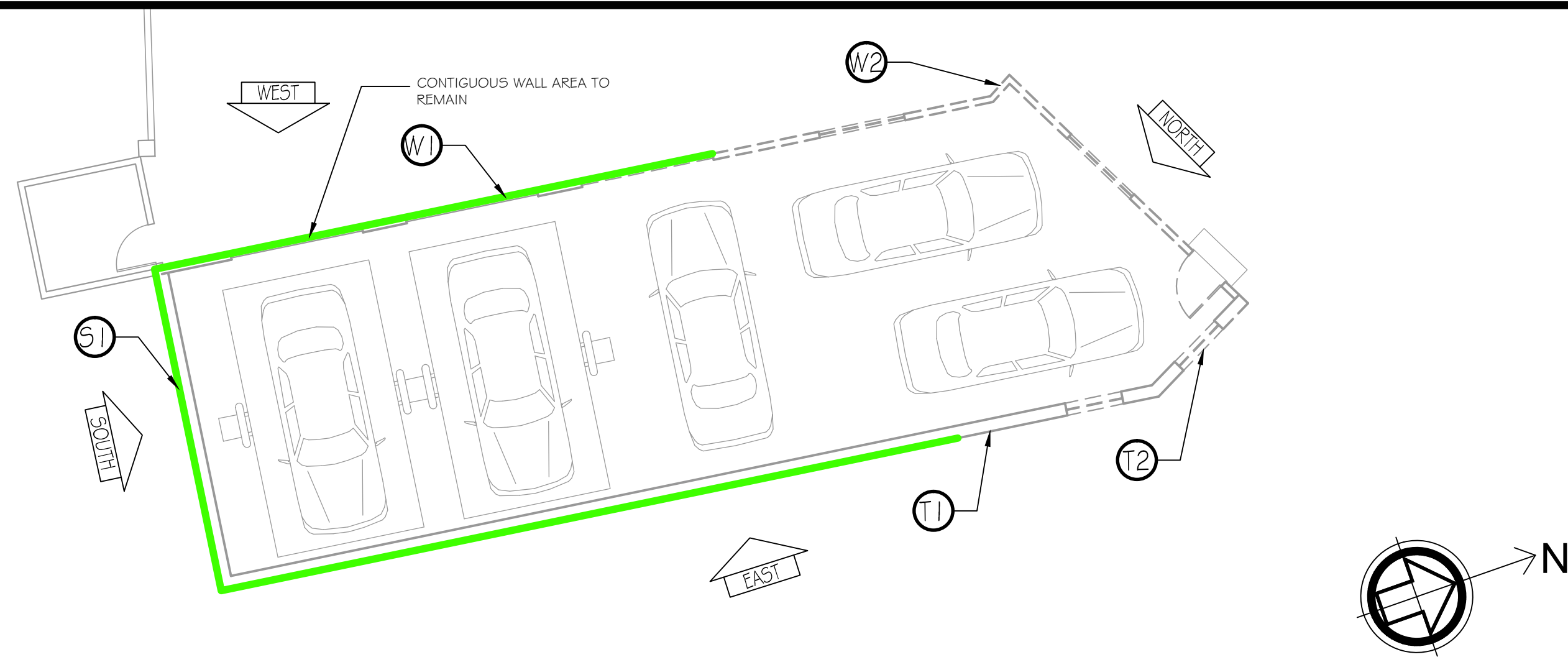
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DESIGN DEVELOPMENT  
EXISTING ELEVATIONS  
WITH DEMOLITION

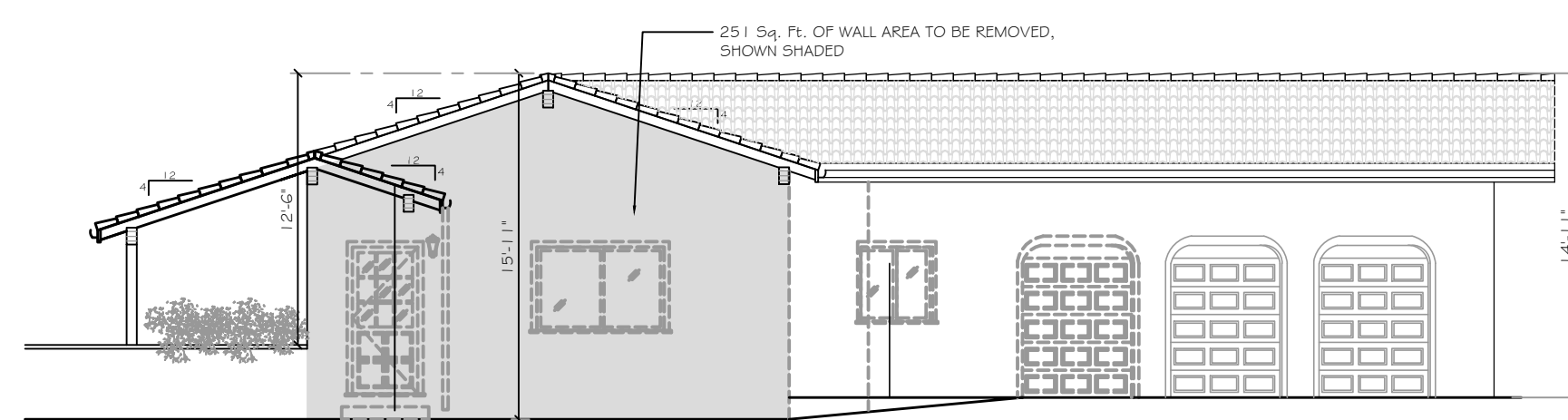
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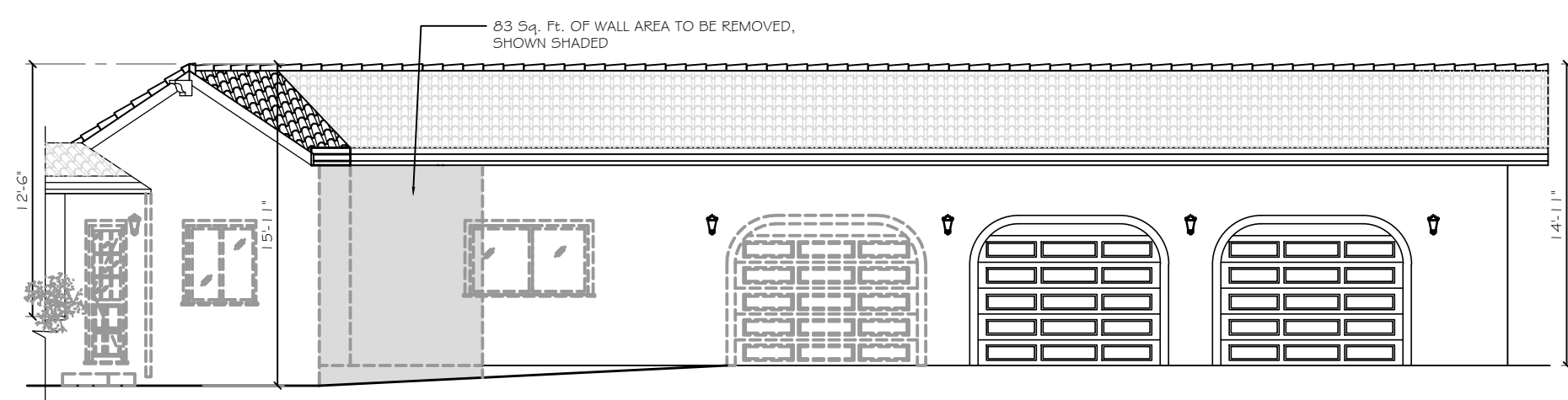


EXISTING GARAGE FLOOR PLAN WITH DEMOLITION

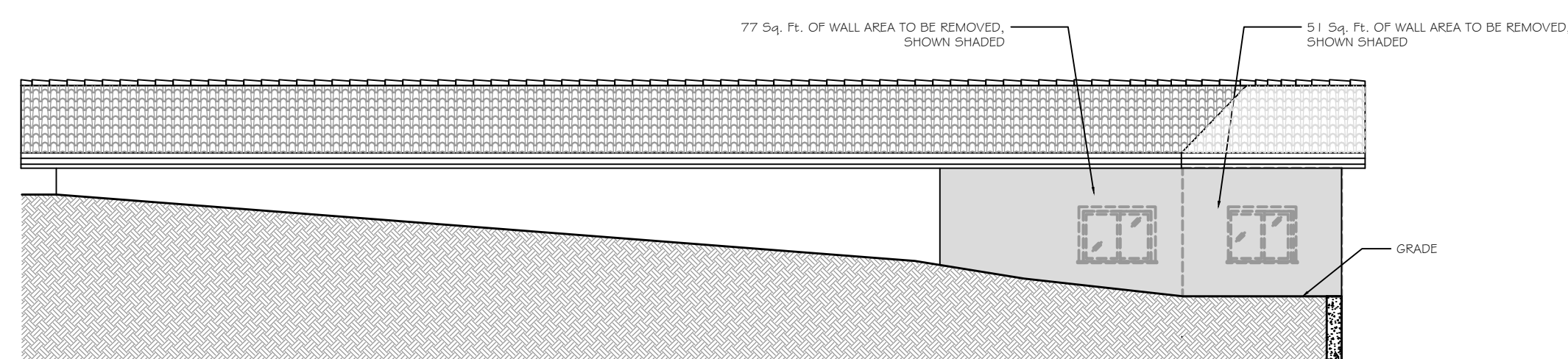
EXISTING ROOF PLAN WITH DEMOLITION



EXISTING NORTH ELEVATION WITH DEMOLITION



EXISTING WEST ELEVATION WITH DEMOLITION



EXISTING EAST ELEVATION WITH DEMOLITION

Wall Area Calculation							
West							
Item	Total Wall Area (Sq. Ft.)	Doors & windows (Sq. Ft.)	Total Wall Area Minus Openings (Sq. Ft.)	Wall Demolition		Wall to Remain	
				Sq. Ft.	%	Sq. Ft.	%
W1	566	203	363	64	16.75	299	78.27
W2	19	0	19	19	4.97	14.026	3.67
	Total Wall Area Only		382	83	21.73	313	81.94
South (Area of non-retaining wall)							
Item	Total Wall Area (Sq. Ft.)	Doors & windows (Sq. Ft.)	Total Wall Area Minus Openings (Sq. Ft.)	Wall Demolition		Wall to Remain	
				Sq. Ft.	%	Sq. Ft.	%
S1	63	0	63	0	0.00	63	100.00
	Total Wall Area Only		63	0	0	63	100
East (Area of non-retaining wall)							
Item	Total Wall Area (Sq. Ft.)	Doors & windows (Sq. Ft.)	Total Wall Area Minus Openings (Sq. Ft.)	Wall Demolition		Wall to Remain	
				Sq. Ft.	%	Sq. Ft.	%
T1	258	11	247	77	25.84	170	57.05
T2	62	11	51	51	17.11	0	0.00
	Total Wall Area Only		298	128	42.953	170	57.047
East Elevation							
Item	Total Wall Area (Sq. Ft.)	Doors & windows (Sq. Ft.)	Total Wall Area Minus Openings (Sq. Ft.)	Wall Demolition		Wall to Remain	
				Sq. Ft.	%	Sq. Ft.	%
N1	293	42	251	251	100	0	0.00
	Total Wall Area Only		251	251	100.00	0	0.00
Y	Total Wall Demolition			462			
W	Contiguous Walls to Remain					233	
Z	Non-Contiguous Walls to Remain					313	
	Y + W + Z					1008	

WALL DEMOLITION & CONTIGUOUS WALL AREA TO REMAIN

DATE

REVISION

03-16-15	PLANNING
04-16-15	RF-SUBMITTAL
08-24-15	PLANNING
	RF-SUBMITTAL
	PLANNING
	RF-SUBMITTAL

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DESIGN DEVELOPMENT  
EXISTING GARAGE FLOOR &  
ROOF PLAN WITH DEMO  
WALL AREA CALCULATION

08-24-15

A1.43

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DATE	REVISION
03-16-15	PLANNING RE-SUBMITTAL
04-16-15	PLANNING RE-SUBMITTAL
08-24-15	PLANNING RE-SUBMITTAL



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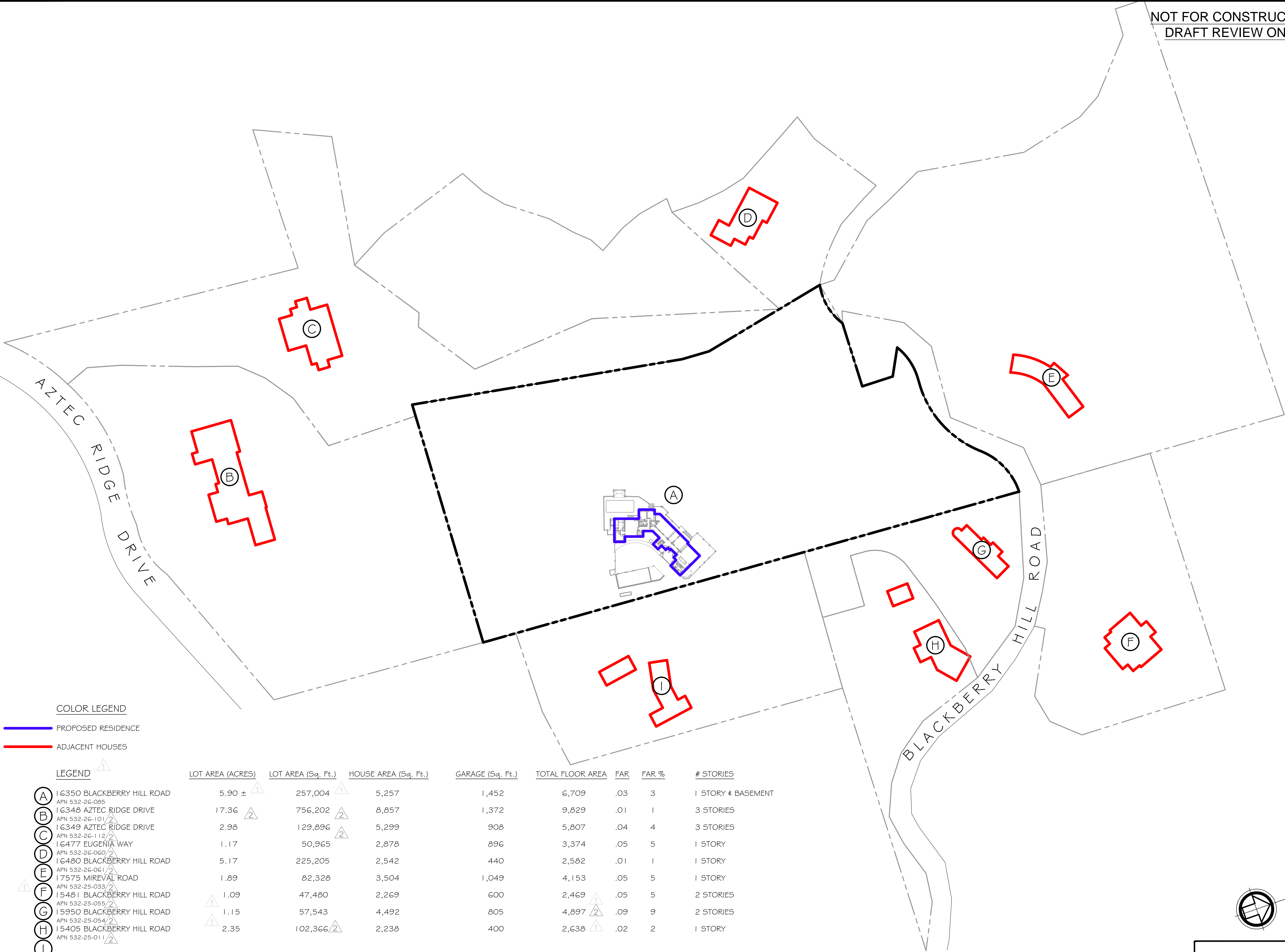
DESIGN DEVELOPMENT  
NEIGHBORHOOD  
COMPATIBILITY PLAN

08-24-15

A1.5

SCALE: 1/64"=1'-0"

1



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LEGEND

(E) EXISTING TO REMAIN  
(D) DEMOLITION  
(RE) REMOVE & RE-USE

EXISTING WALLS  
DEMOLITION  
EXEMPT AREA

DATE	REVISION
03-16-15	PLANNING
04-16-15	RE-SUBMITTAL
08-24-15	PLANNING
	RE-SUBMITTAL



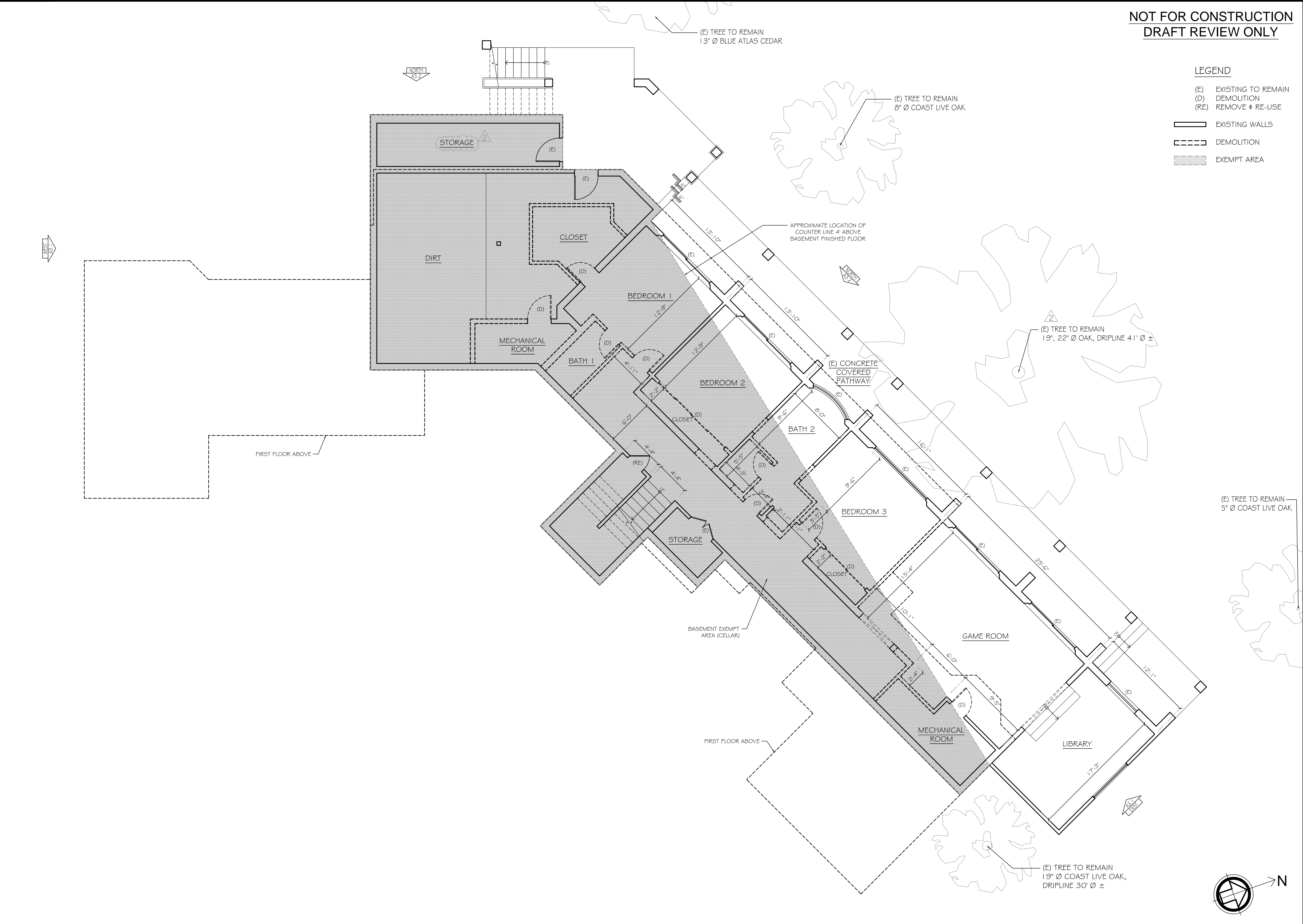
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DESIGN DEVELOPMENT  
EXISTING BASEMENT PLAN

08-24-15

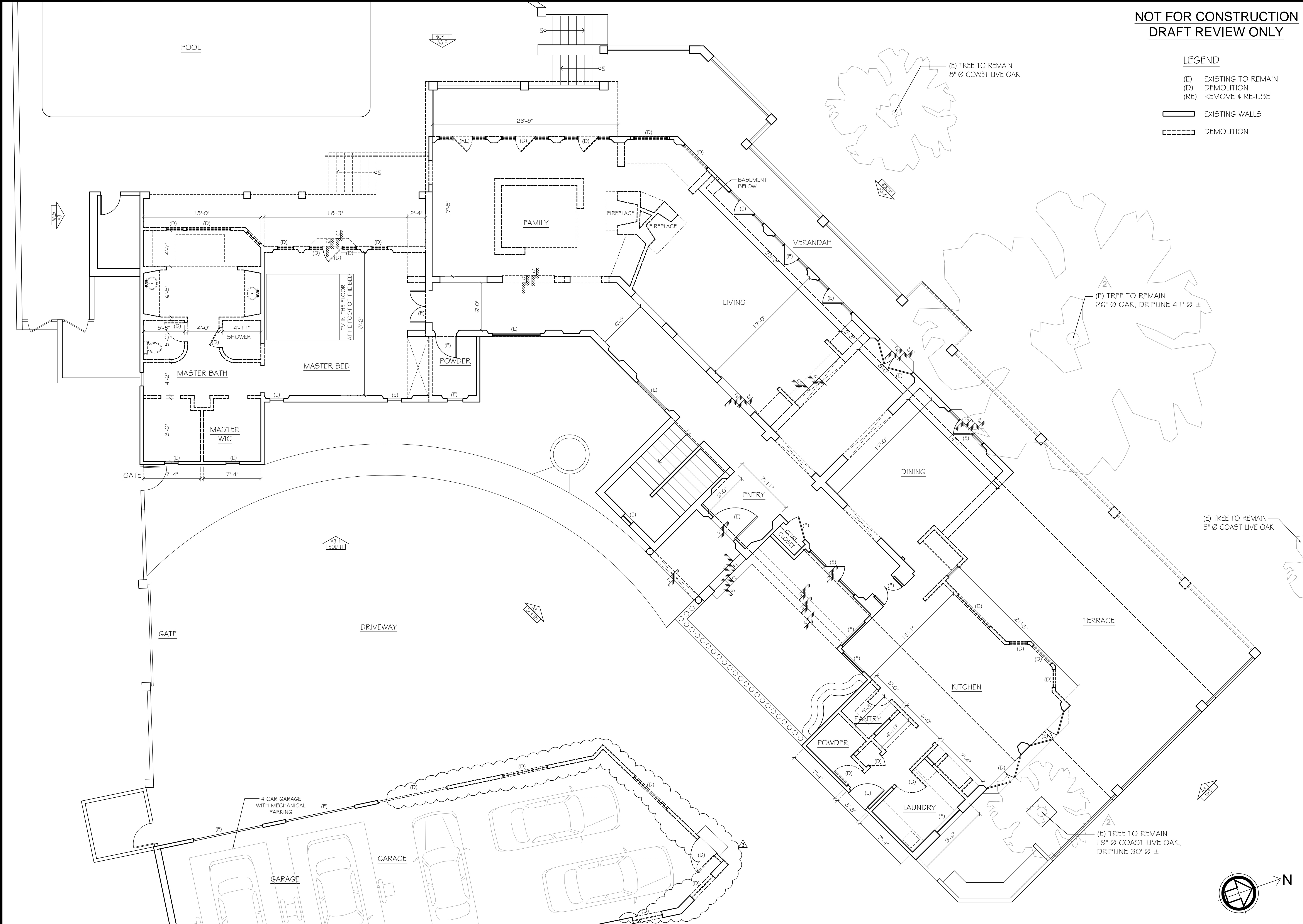
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EXISTING BASEMENT PLAN

0 1' 2' 4' 8' 16'

SCALE: 3/16"=1'-0"



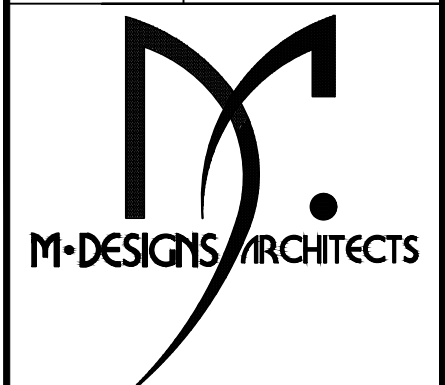
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LEGEND

- (E) EXISTING TO REMAIN
- (D) DEMOLITION
- (RE) REMOVE & RE-USE

- EXISTING WALLS
- DEMOLITION

DATE	REVISION
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08-24-15	RE-SUBMITTAL



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DESIGN DEVELOPMENT  
EXISTING  
FIRST FLOOR PLAN

08-24-15

A2.2

EXISTING FIRST FLOOR PLAN



SCALE: 3/16"=1'-0"

NOT FOR CONSTRUCTION  
DRAFT REVIEW ONLY

LEGEND

(E) EXISTING TO REMAIN  
(N) NEW  
(RE) RE-USE EXISTING

EXISTING WALLS  
NEW WALLS  
EXEMPT AREA

DATE	REVISION
03-16-15	PLANNING
04-16-15	RF-SUBMITTAL
08-24-15	PLANNING
	RF-SUBMITTAL

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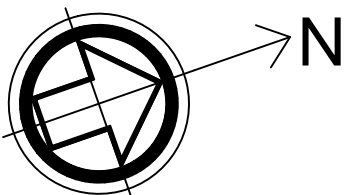
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DESIGN DEVELOPMENT  
PROPOSED BASEMENT PLAN

08-24-15

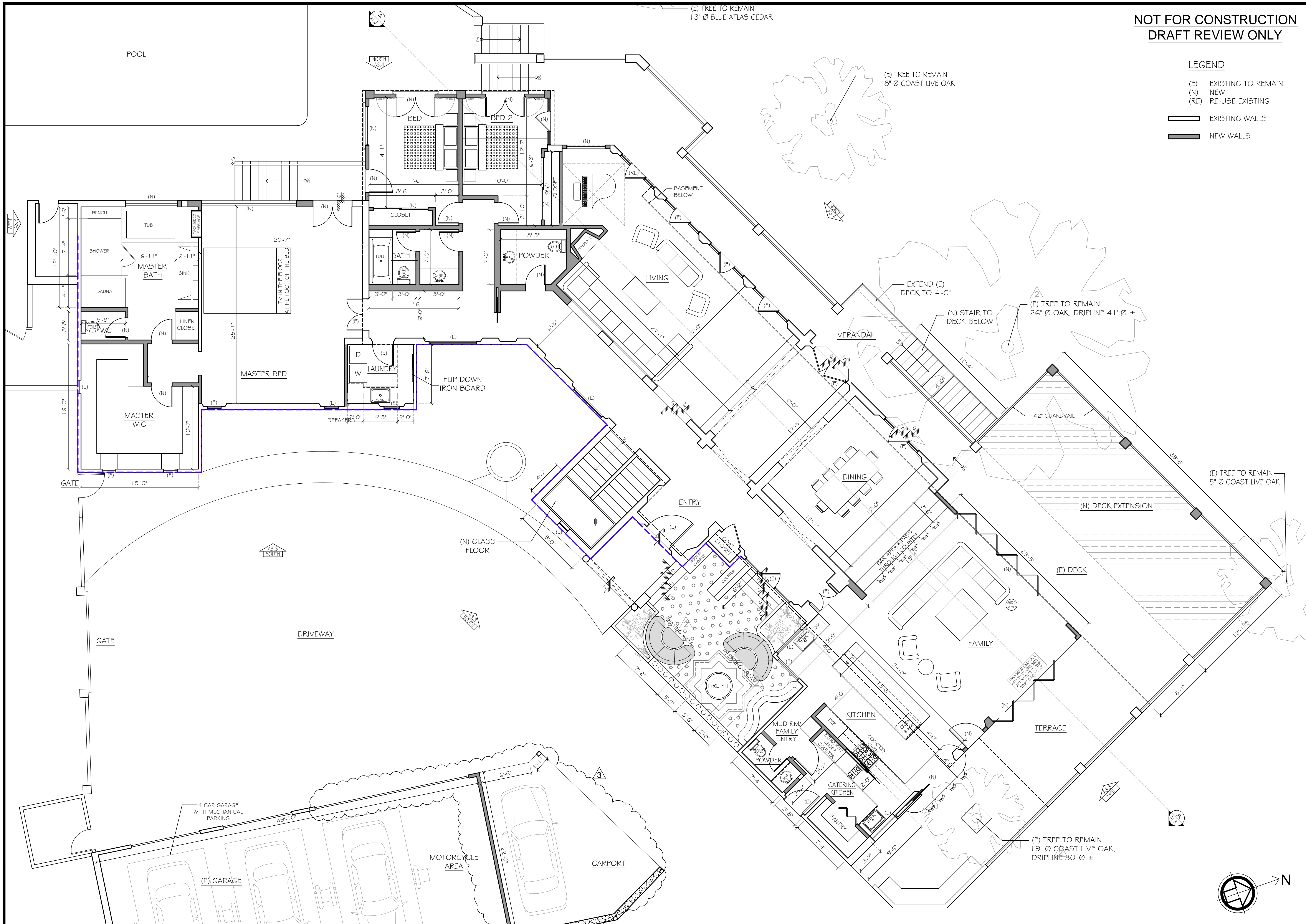
A2.3



SCALE: 3/16"=1'-0"

1

PROPOSED BASEMENT PLAN



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LEGEND

- (E) EXISTING TO REMAIN
- (N) NEW
- (RE) RE-USE EXISTING
- EXISTING WALLS
- NEW WALLS

DATE	REVISION
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	RE-SUBMITTAL

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DESIGN DEVELOPMENT  
PROPOSED  
FIRST FLOOR PLAN

08-24-15

A2.4

PROPOSED FIRST FLOOR PLAN

0 1' 2' 4' 8' 16'  
SCALE: 3/16"=1'-0"

DATE	REVISION
03-16-15	PLANNING RE-SUBMITTAL
04-16-15	PLANNING RE-SUBMITTAL
08-24-15	PLANNING RE-SUBMITTAL



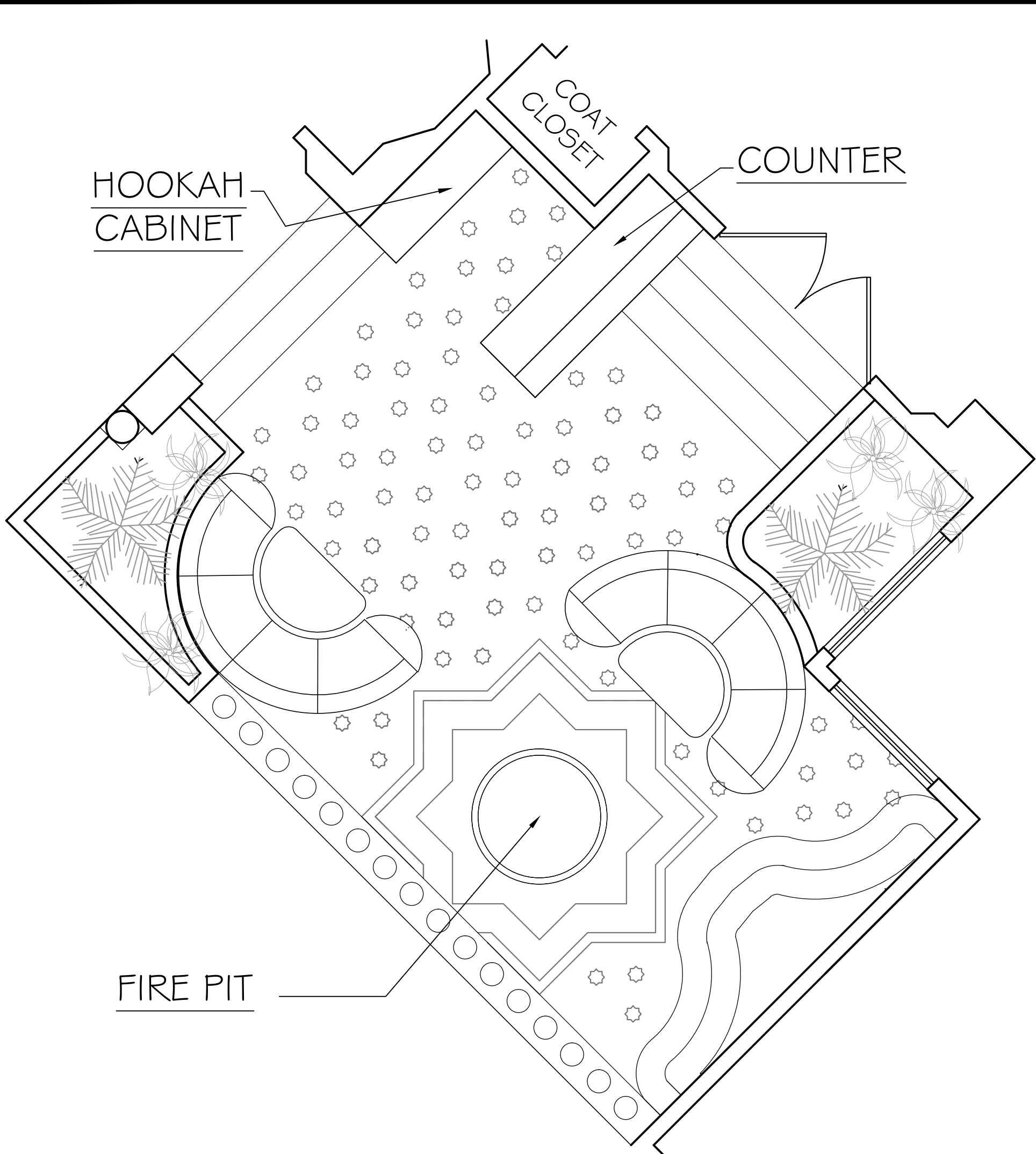
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IMPROVEMENTS TO  
THE RESIDENCE OF  
SARAFAN & GHORBANI  
16350 BLACKBERRY HILL RD,  
LOS GATOS, CA 95030

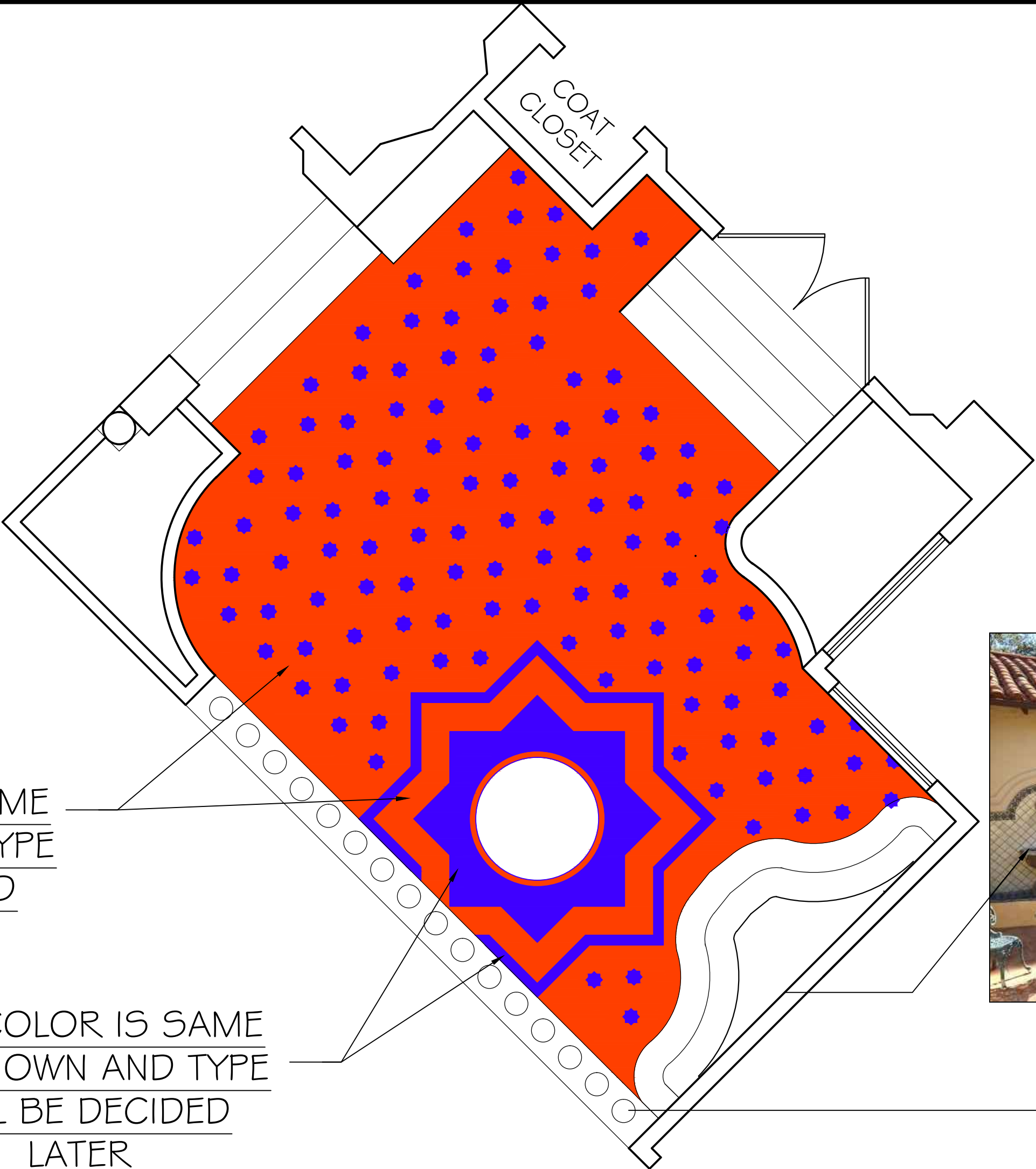
DESIGN DEVELOPMENT  
PROPOSED HOOKAH AREA

08-24-15

A2.5

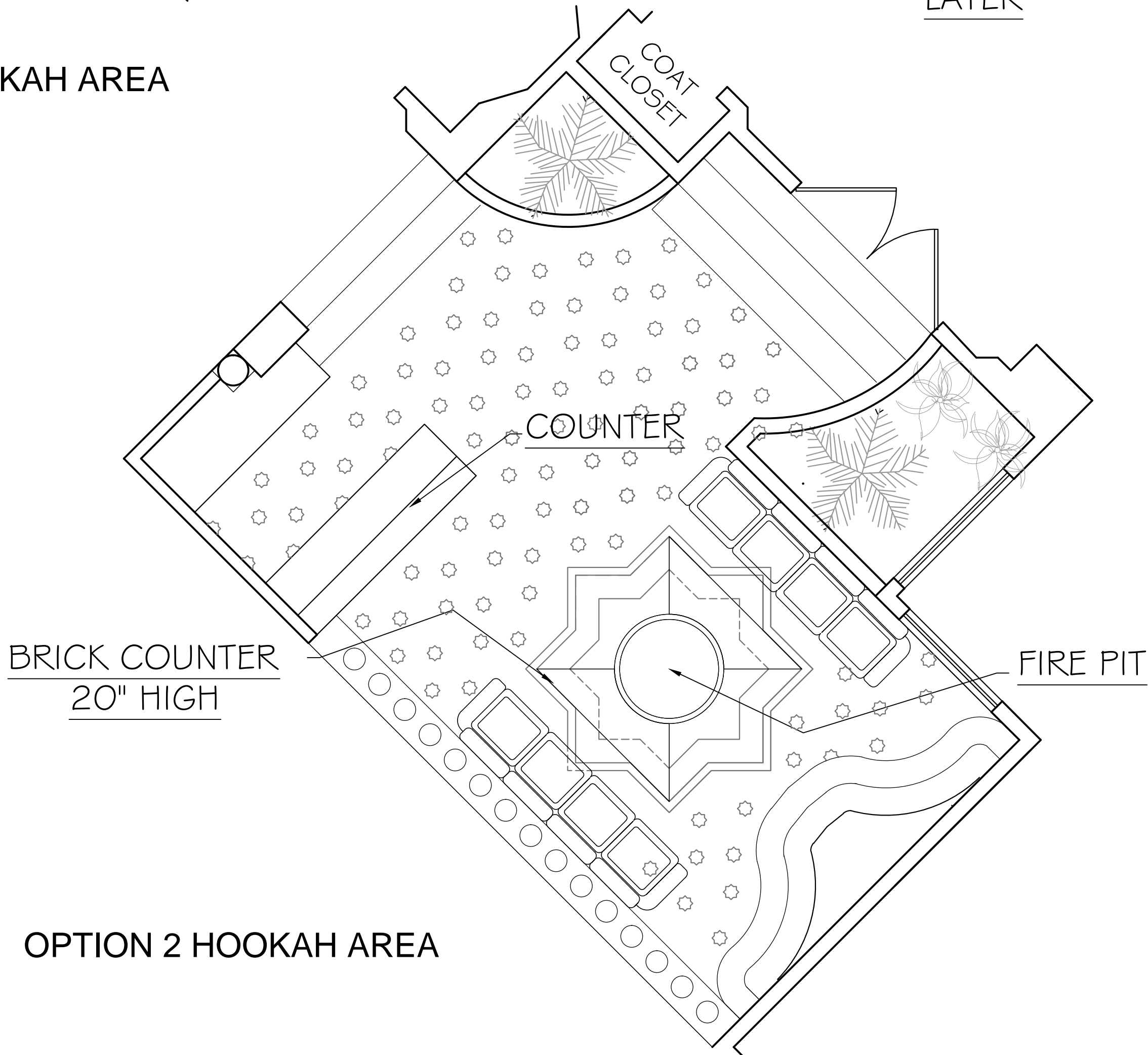


OPTION 1 HOOKAH AREA

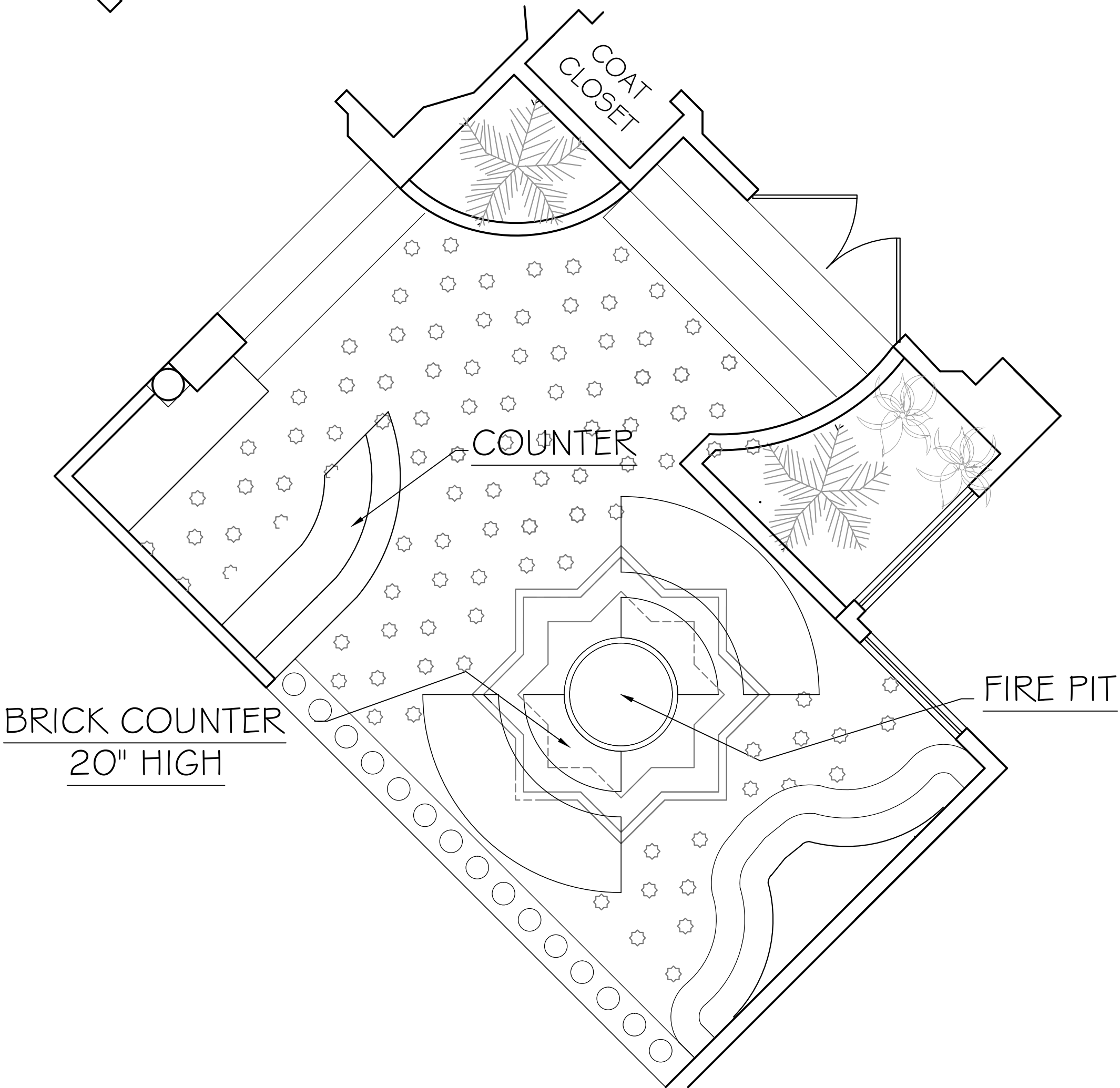


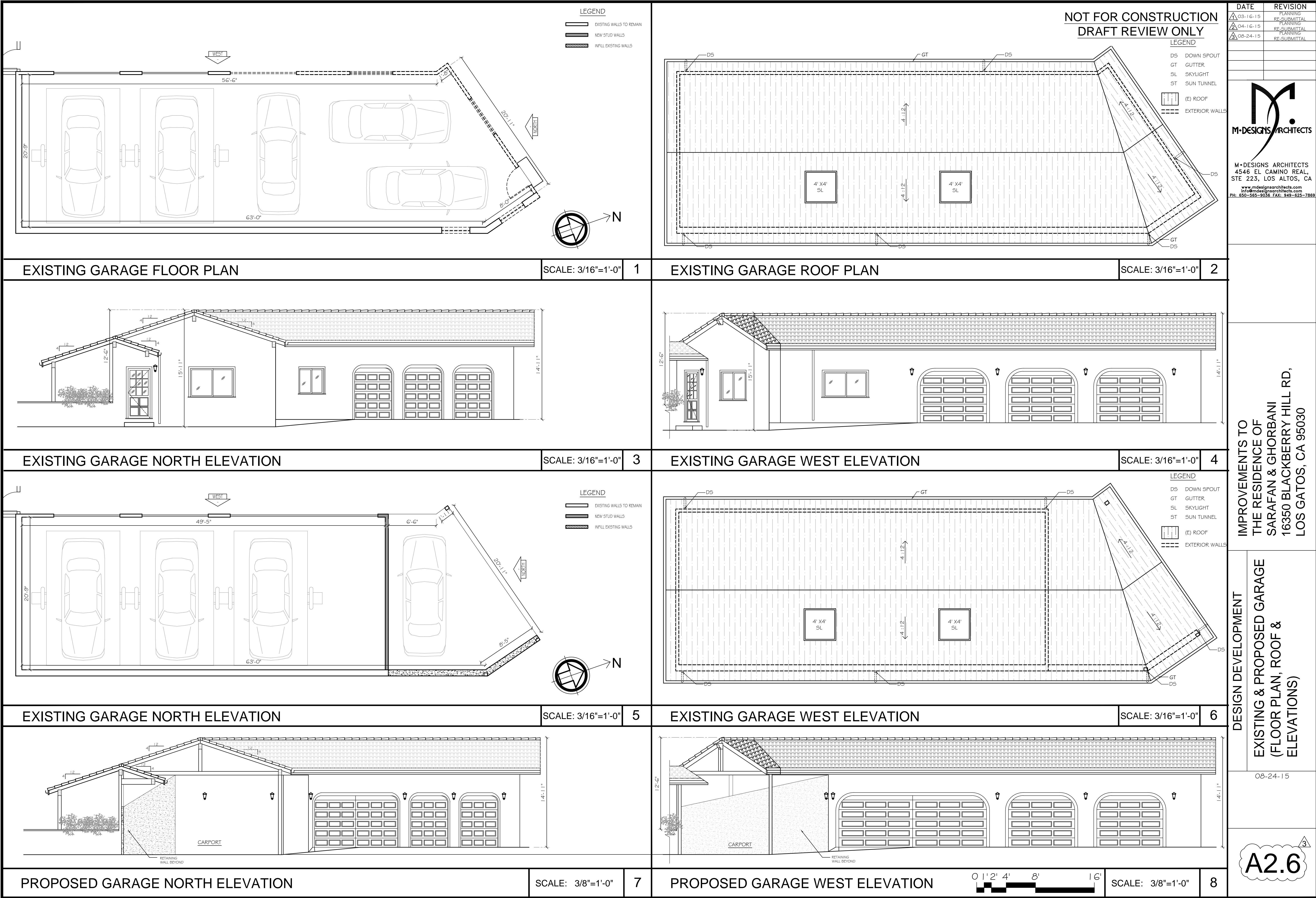
TILE COLOR IS SAME  
AS SHOWN AND TYPE  
WILL BE DECIDED  
LATER

TILE COLOR IS SAME  
AS SHOWN AND TYPE  
WILL BE DECIDED  
LATER



OPTION 2 HOOKAH AREA



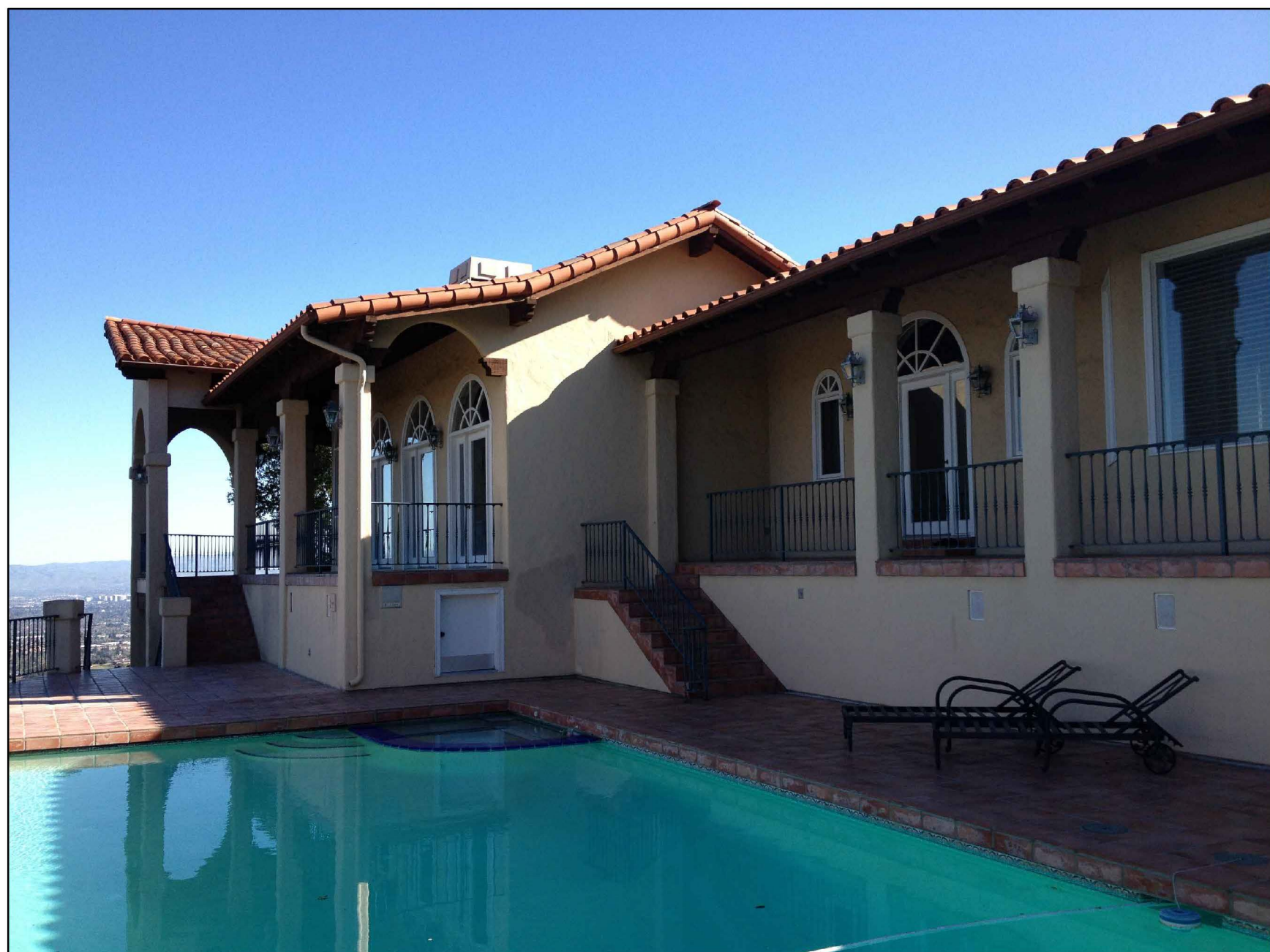
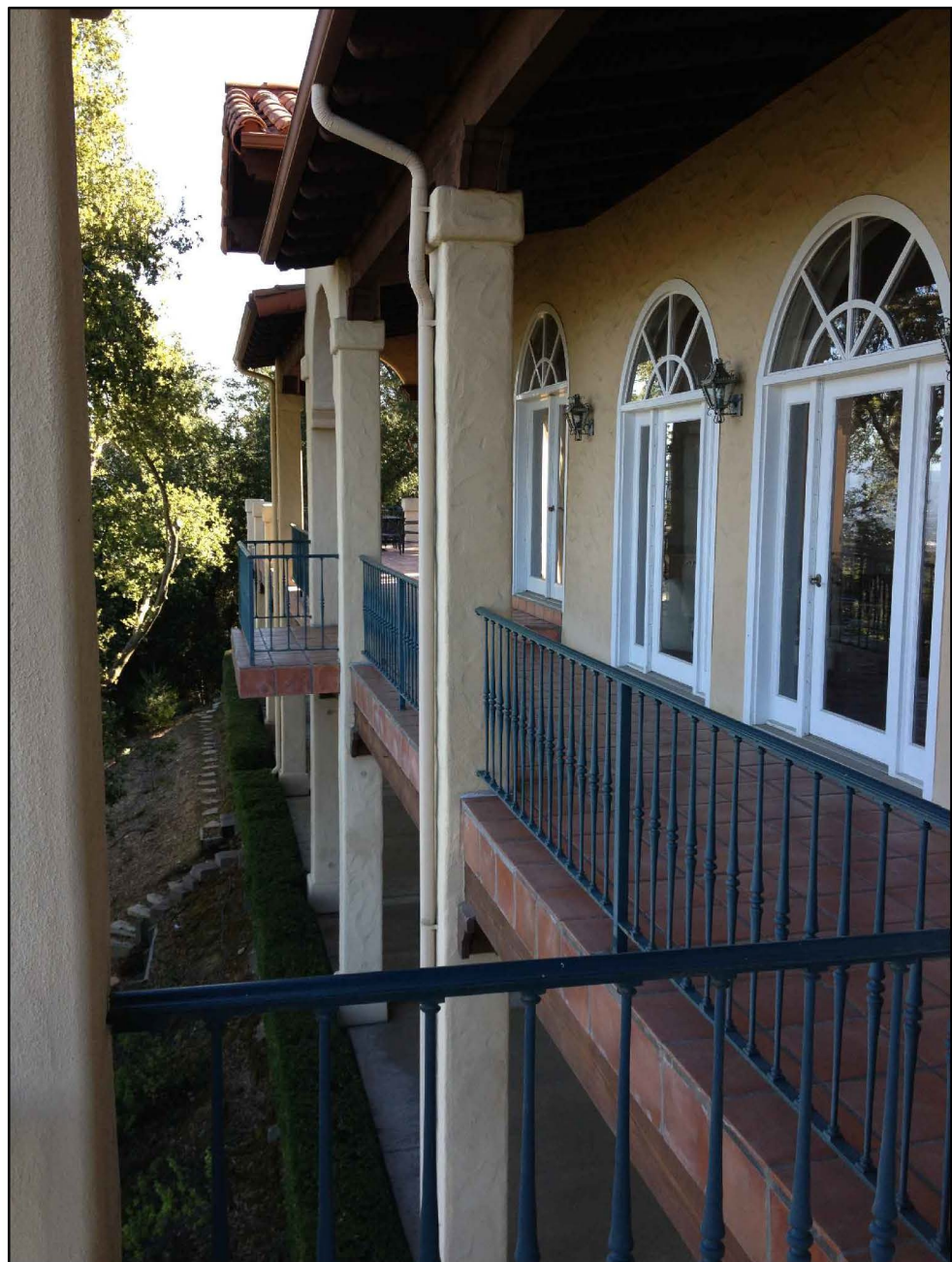
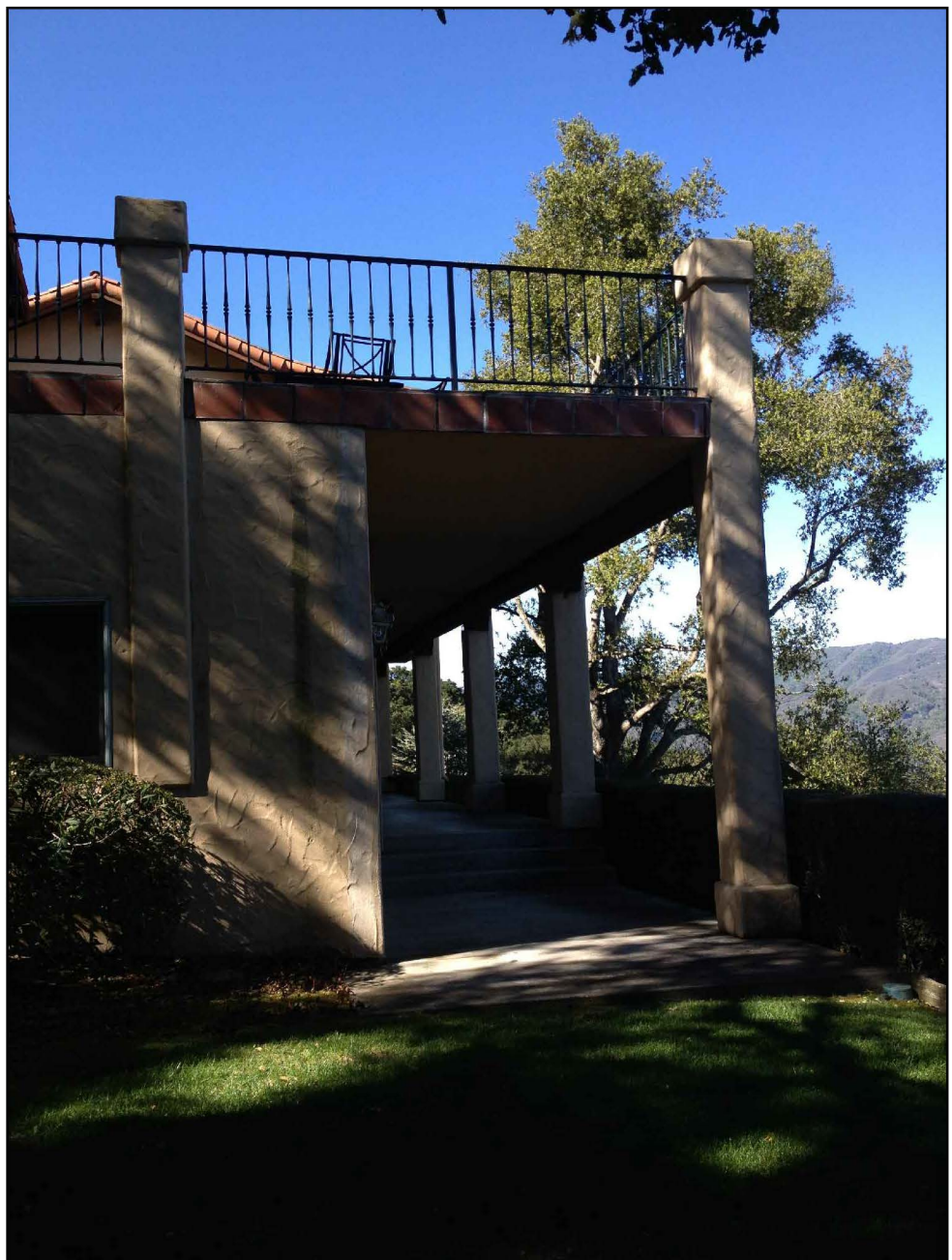


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DESIGN DEVELOPMENT  
EXISTING & PROPOSED GARAGE  
(FLOOR PLAN, ROOF &  
ELEVATIONS)

08-24-15

A2.6



NOT FOR CONSTRUCTION  
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03-16-15	PLANNING RF-SUBMITTAL
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08-24-15	PLANNING RF-SUBMITTAL

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DESIGN DEVELOPMENT  
EXISTING HOUSE PHOTOS

08-24-15

A3.0

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DATE	REVISION
03-16-15	PLANNING RF-SUBMITTAL
04-16-15	PLANNING RF-SUBMITTAL
08-24-15	PLANNING RF-SUBMITTAL

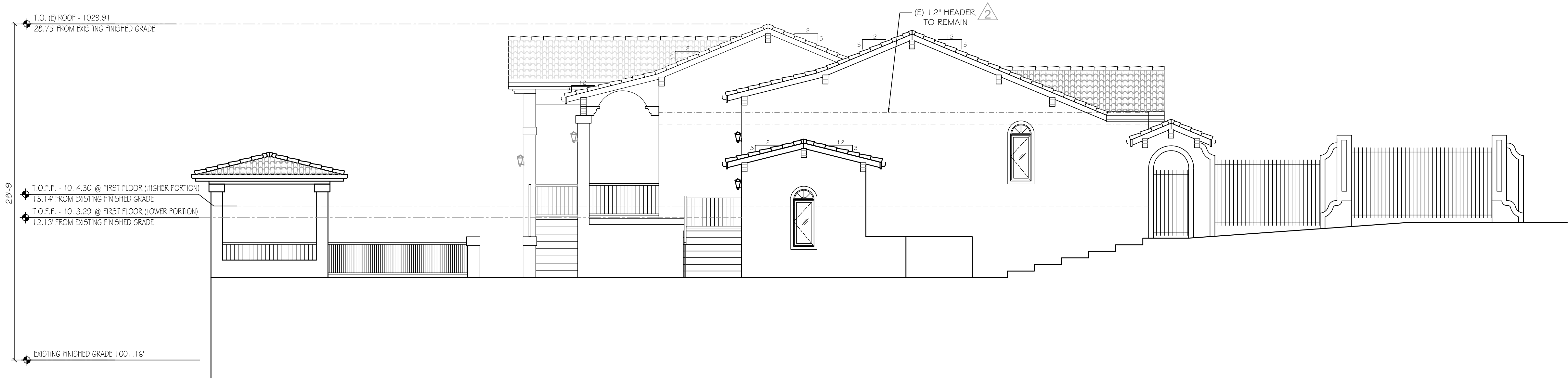


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SOUTH ELEVATION

SCALE: 3/16"=1'-0"

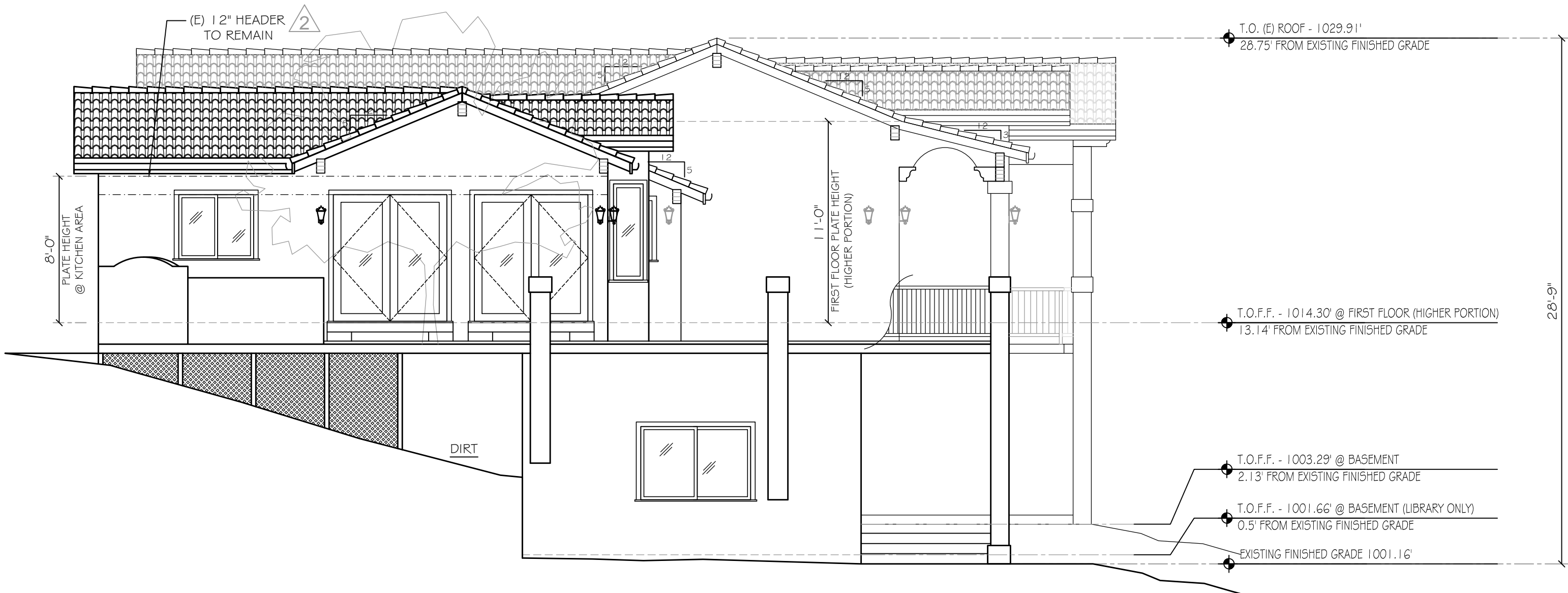
1



WEST ELEVATION

SCALE: 3/16"=1'-0"

2



EAST ELEVATION



SCALE: 3/16"=1'-0"

3

IMPROVEMENTS TO  
THE RESIDENCE OF  
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16350 BLACKBERRY HILL RD,  
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DESIGN DEVELOPMENT  
EXISTING ELEVATIONS

08-24-15

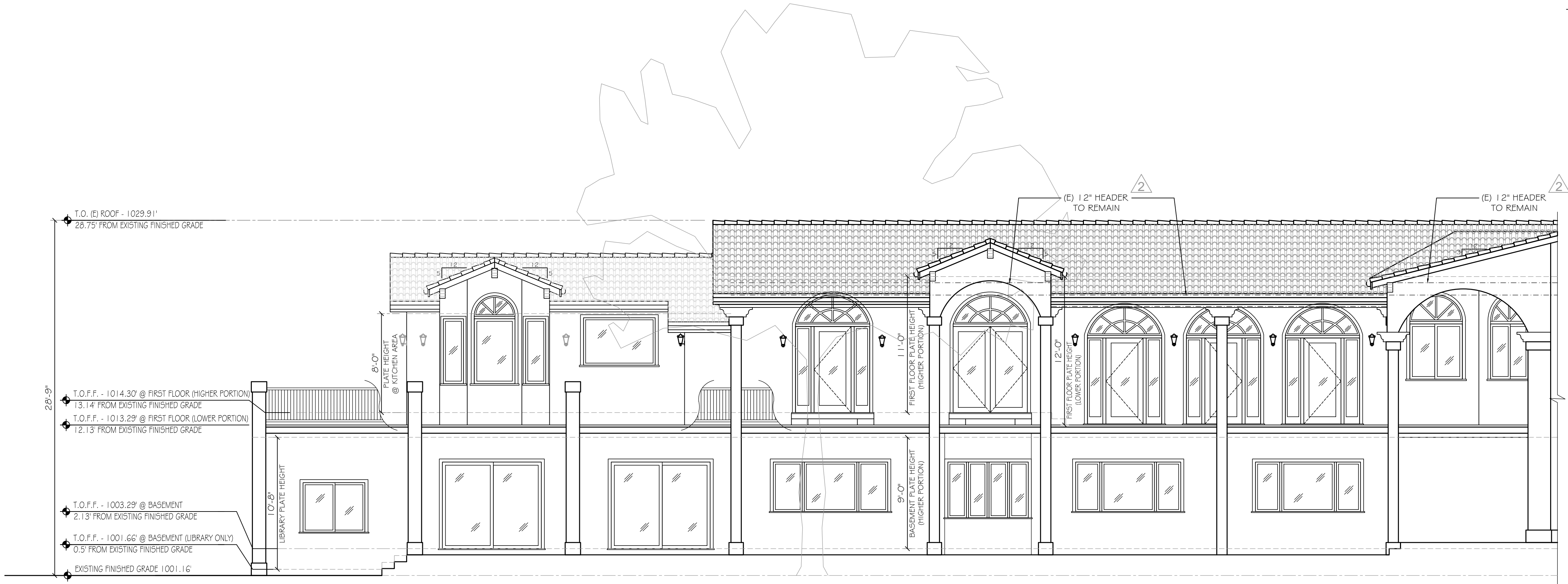
A3.1

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08-24-15	PLANNING RF-SUBMITTAL



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NORTH ELEVATION - EAST SIDE

SCALE: 3/16"=1'-0"

1



NORTH ELEVATION - WEST SIDE



SCALE: 3/16"=1'-0"

2

IMPROVEMENTS TO  
THE RESIDENCE OF  
SARAFAN & GHORBANI  
16350 BLACKBERRY HILL RD,  
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DESIGN DEVELOPMENT  
EXISTING ELEVATIONS

08-24-15

A3.2

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DATE	REVISION
03-16-15	PLANNING
04-16-15	RF-SUBMITTAL
08-24-15	PLANNING
	RF-SUBMITTAL

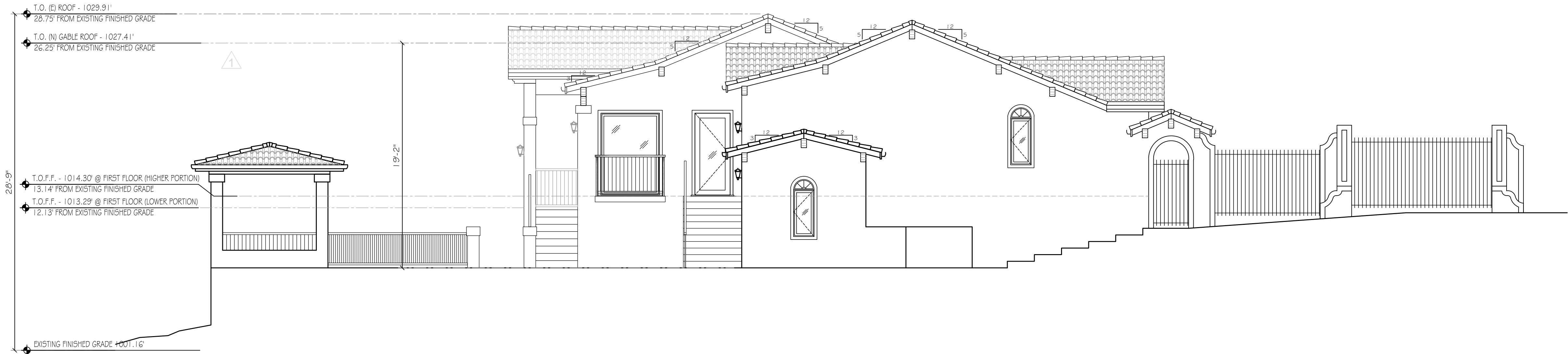


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SOUTH ELEVATION

SCALE: 3/16"=1'-0"

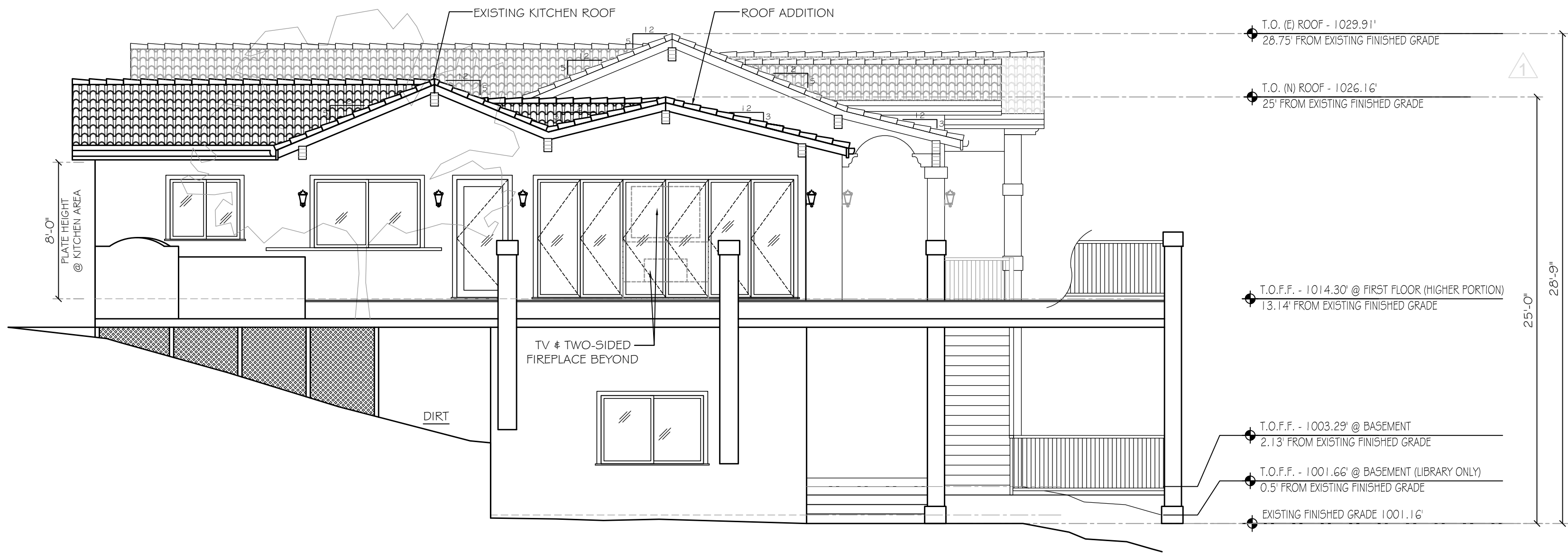
1



WEST ELEVATION

SCALE: 3/16"=1'-0"

2



EXTERIOR FINISHES

- 1) STUCCO ON ALL NEW WALLS TO MATCH EXISTING
- 2) (N) WOOD WINDOWS & DOORS PAINTED WHITE TO MATCH EXISTING
- 3) WROUGHT IRON GUARDRAILS & HANDRAILS TO MATCH EXISTING
- 4) CERAMIC TILE ROOF @ ADDITION TO MATCH EXISTING
- 5) EXTERIOR LIGHT FIXTURES
  - SEE LOCATION ON PROPOSED ELEVATIONS, SHEETS A3.3 & A3.4
  - SEE SHEET A3.4, # 3 FOR PHOTO & SPECS

EAST ELEVATION

SCALE: 3/16"=1'-0"

3



IMPROVEMENTS TO  
THE RESIDENCE OF  
SARAFAN & GHORBANI  
16350 BLACKBERRY HILL RD,  
LOS GATOS, CA 95030

DESIGN DEVELOPMENT  
PROPOSED ELEVATIONS

08-24-15

A3.3

EXTERIOR FINISHES

- 1) STUCCO ON ALL NEW WALLS TO MATCH EXISTING
- 2) (N) WOOD WINDOWS & DOORS PAINTED WHITE TO MATCH EXISTING
- 3) WROUGHT IRON GUARDRAILS & HANDRAILS TO MATCH EXISTING
- 4) CERAMIC TILE ROOF @ ADDITION TO MATCH EXISTING
- 5) EXTERIOR LIGHT FIXTURES
  - SEE LOCATION ON PROPOSED ELEVATIONS, SHEETS A3.3 & A3.4
  - SEE SHEET A3.4, # 3 FOR PHOTO & SPECS

DATE

REVISION

03-16-15	PLANNING
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IMPROVEMENTS TO  
THE RESIDENCE OF  
SARAFAN & GHORBANI  
16350 BLACKBERRY HILL RD,  
LOS GATOS, CA 95030

DESIGN DEVELOPMENT  
PROPOSED ELEVATIONS

08-24-15

A3.4



NORTH ELEVATION - EAST SIDE

SCALE: 3/16"=1'-0"

1



Compact fluorescent				Outdoor			
Welbourne				Wall Mount			
				Type			
				-20EB -31EB			
				P5682			
				P5683			
				P5684			
Finish							
Catalog No.	Antique Bronze	Textured Black	Lamping	Dimensions (inches)			
				A	B	C	D
P5682	-20EB	-31EB	1-26w GU-24	6-1/2	13-1/4	9	3-1/2
P5683	-20EB	-31EB	1-26w GU-24	9-1/2	16	11-1/2	3-3/4
P5684	-20EB	-31EB	1-26w GU-24	9-1/2	31-1/4	11-1/2	19

- Specifications:**
- General**
- Etched glass panels
  - Each glass panel replaceable
  - Powdercoat Antique Bronze (-20) finish
  - Painted Textured Black (-31) finish
  - Die-cast aluminum exterior, solid brass interior components
  - Cast wall plate
  - CompanionChain hung lantern, Post top lantern, Wall lantern, fixtures are available
- Mounting**
- Wall mount
  - Backplatecovers a standard 4" hexagonal recessed outlet box
  - Mounting strap for outlet box and cap nuts furnished
- Electrical**
- Pre-wired
  - GU-24 base socket
- Labeling**
- cCSAus Wet location listed
- Backplate**
- P5682 back plate 4-1/2" W., 7" ht.
  - P5683 back plate 4-1/2" W., 7" ht.
  - P5684 back plate 4-1/2" W., 7" ht.

Progress Lighting  
701 Millennium Blvd.  
Greenville, South Carolina  
29607  
www.progresslighting.com

Rev. 2/13



PROPOSED EXTERIOR LIGHT FIXTURE

3

NORTH ELEVATION - WEST SIDE



SCALE: 3/16"=1'-0"

2



NOT FOR CONSTRUCTION  
DRAFT REVIEW ONLY

NOTE:  
NO ADDITION ON SOUTH ELEVATION

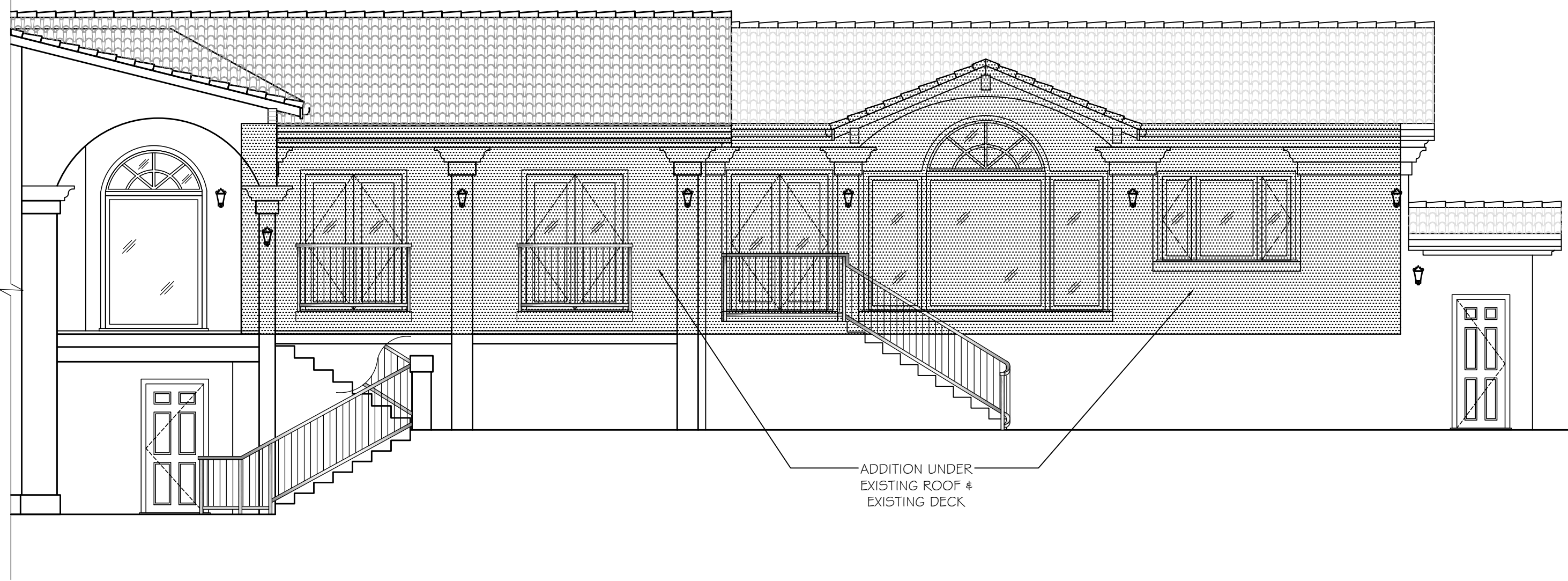
DATE	REVISION
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	RF-SUBMITTAL

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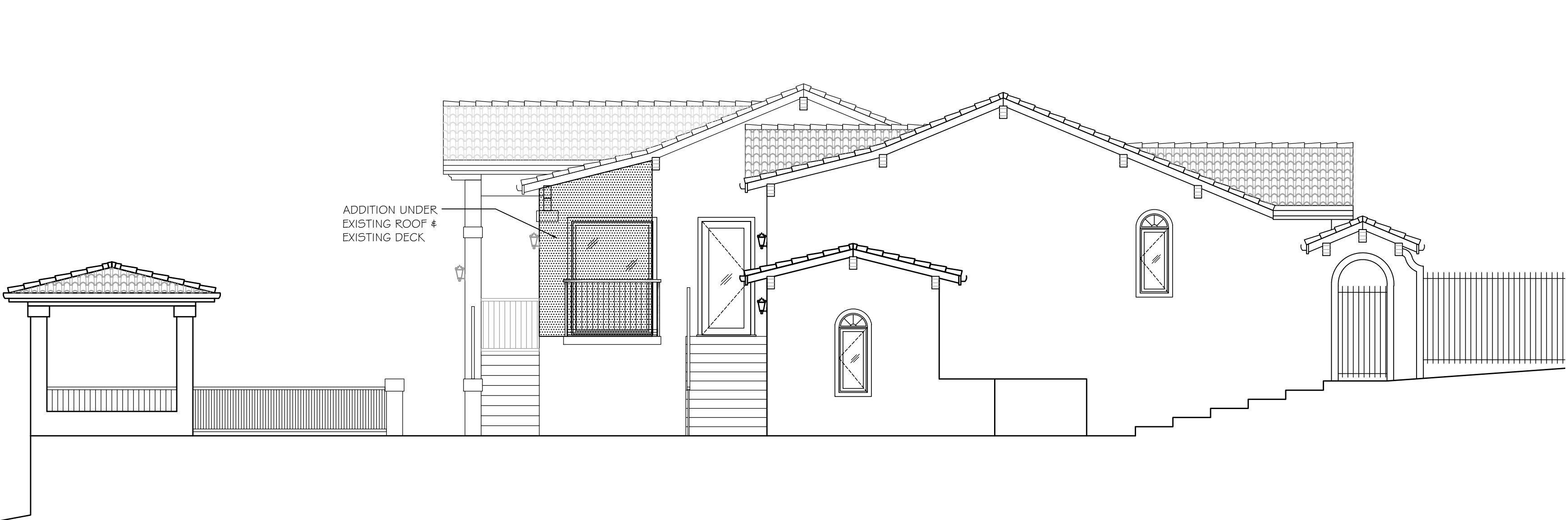
NORTH ELEVATION - EAST SIDE

SCALE: 3/16"=1'-0" 1

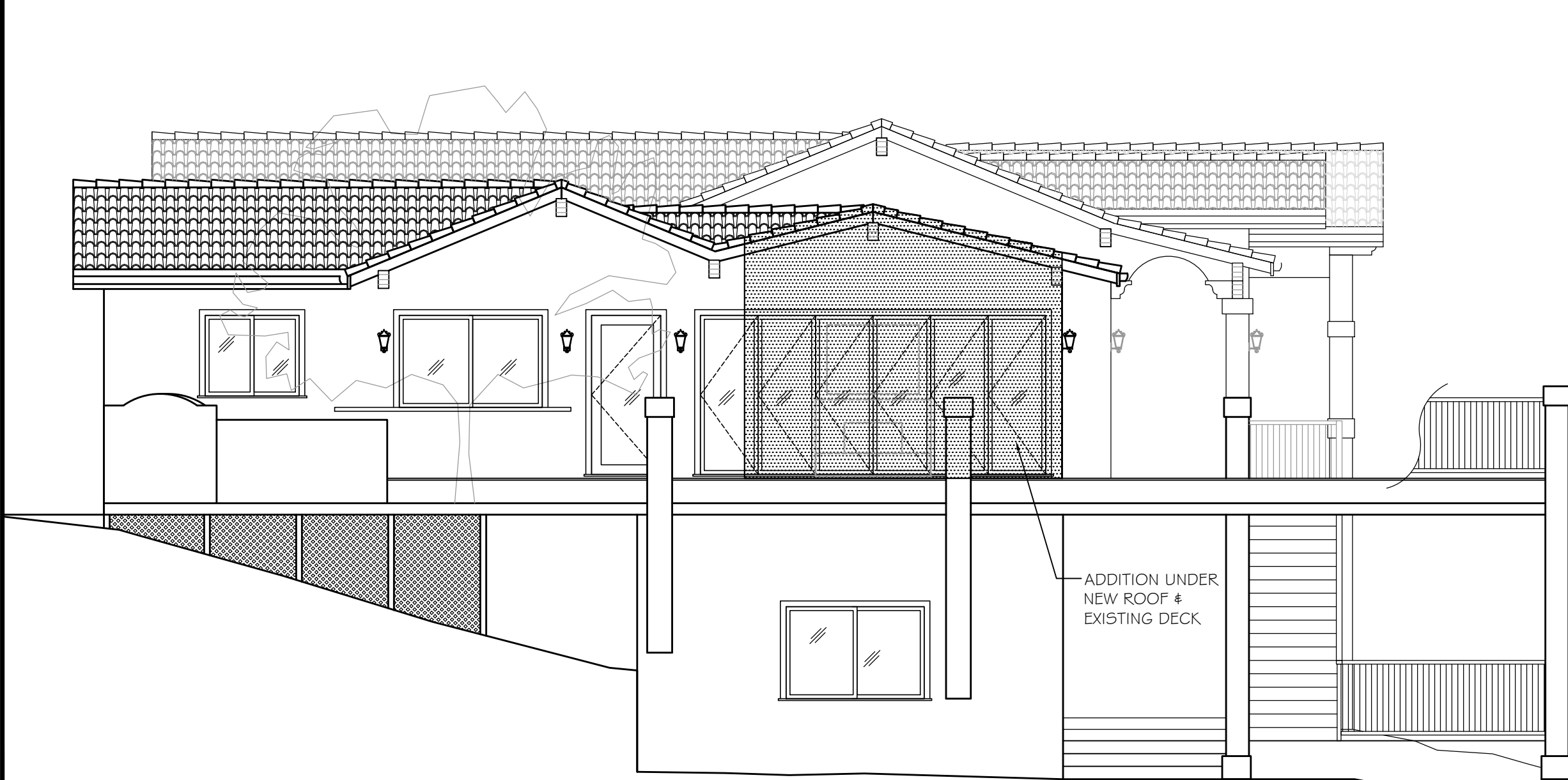


NORTH ELEVATION - WEST SIDE

SCALE: 3/16"=1'-0" 2



WEST ELEVATION



EAST ELEVATION



SCALE: 3/16"=1'-0" 3

IMPROVEMENTS TO  
THE RESIDENCE OF  
SARAFAN & GHORBANI  
16350 BLACKBERRY HILL RD,  
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DESIGN DEVELOPMENT  
ILLUSTRATION OF ADDITION  
ON ELEVATIONS

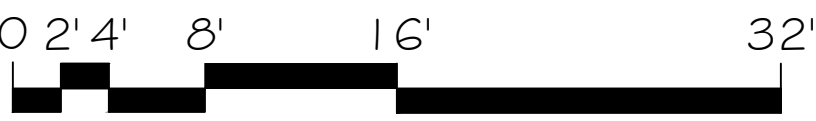
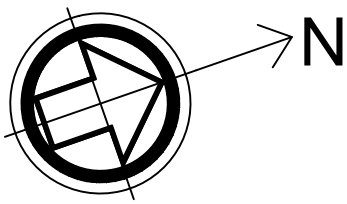
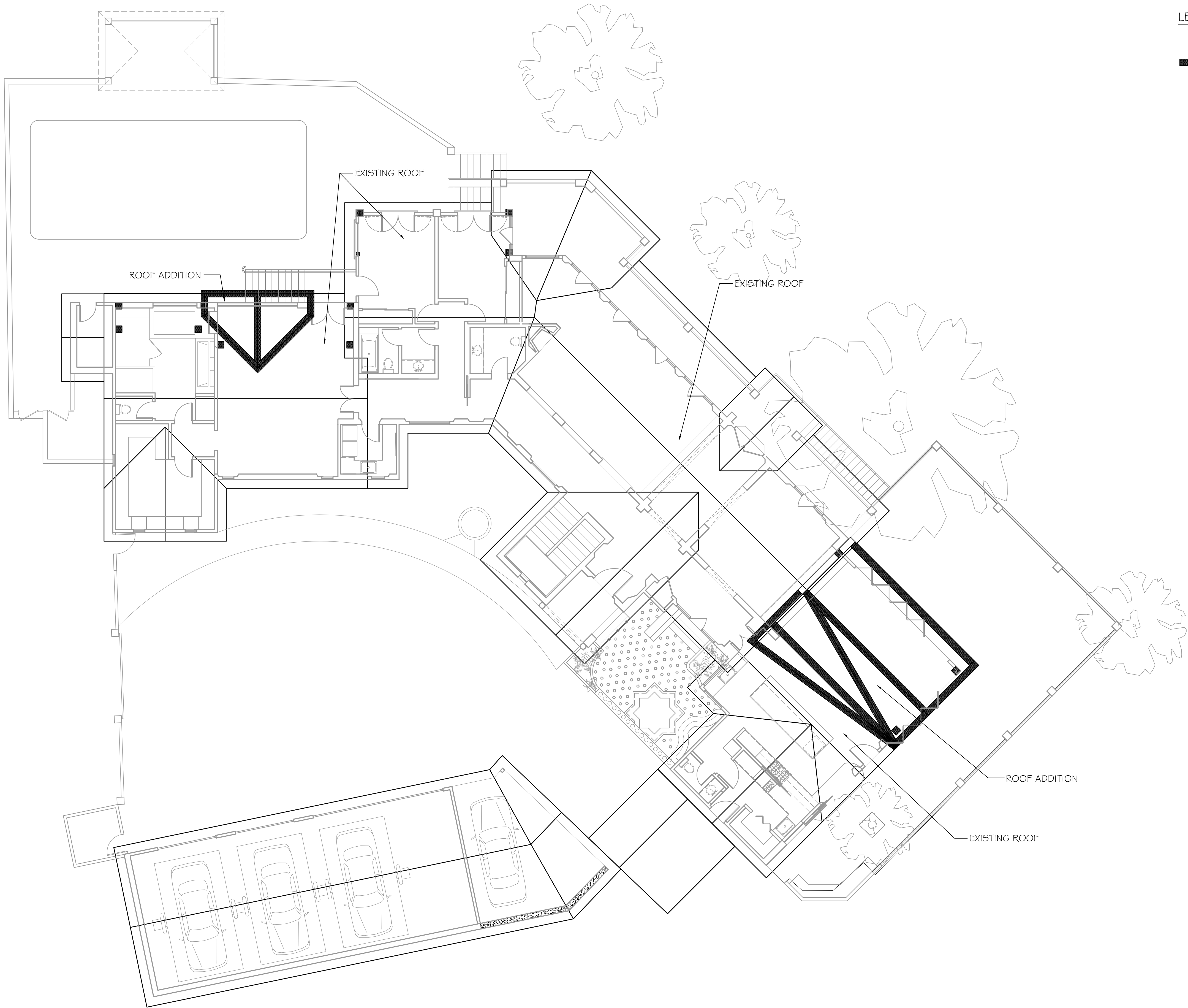
08-24-15

A3.5

NOT FOR CONSTRUCTION  
DRAFT REVIEW ONLY

LEGEND

- POST
- ORANGE NET



SCALE: 1/8"=1'-0"

1

DATE	REVISION
03-16-15	PLANNING RE-SUBMITTAL
04-16-15	PLANNING RE-SUBMITTAL
08-24-15	PLANNING RE-SUBMITTAL

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IMPROVEMENTS TO  
THE RESIDENCE OF  
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LOS GATOS, CA 95030

DESIGN DEVELOPMENT  
STORY POLE LOCATIONS  
ROOF PLAN

08-24-15

SP-1

STORY POLE LOCATIONS - ROOF PLAN



NOT FOR CONSTRUCTION  
DRAFT REVIEW ONLY

NOTE:  
NO ADDITION ON SOUTH ELEVATION

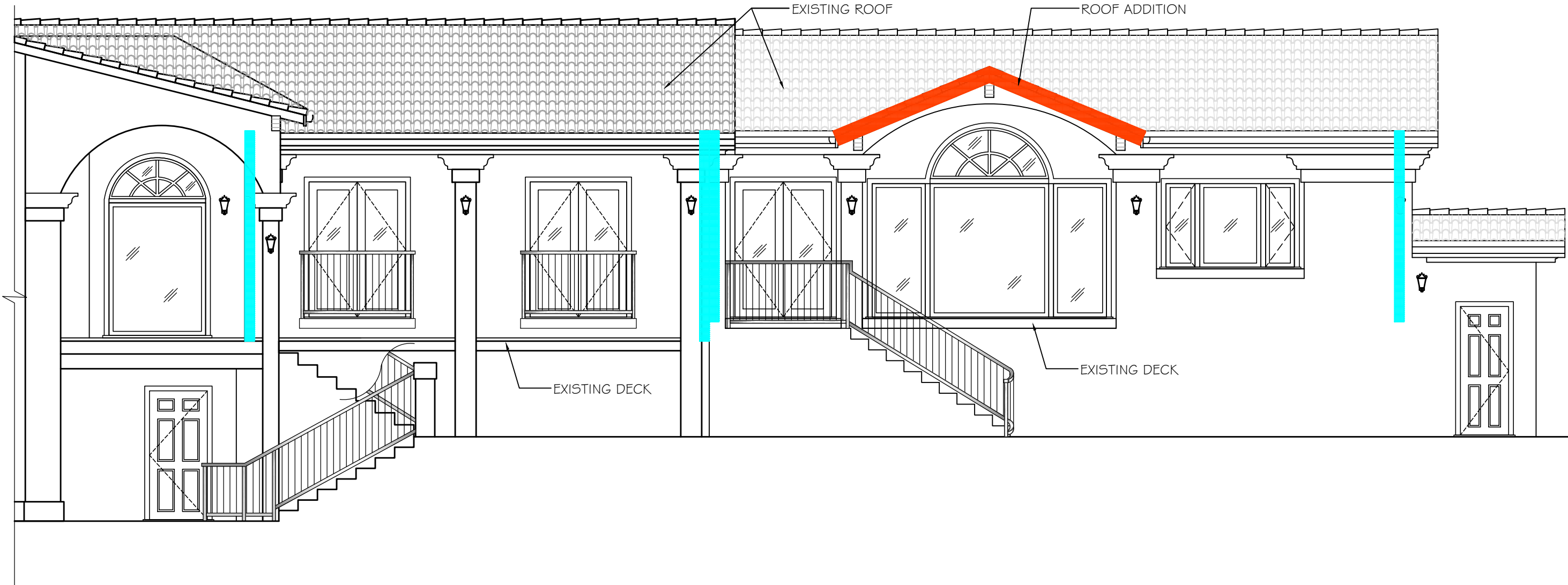
LEGEND  
■ POST  
■ ORANGE NET

DATE	REVISION
03-16-15	PLANNING
04-16-15	RF-SUBMITTAL
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	RF-SUBMITTAL

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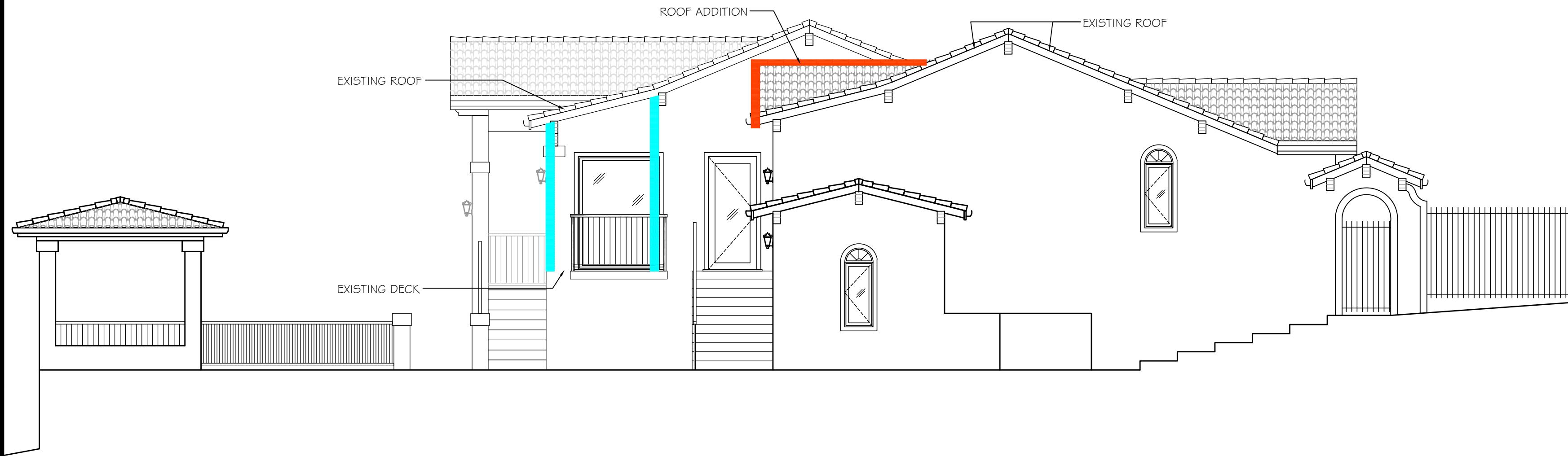
NORTH ELEVATION - EAST SIDE

SCALE: 3/16"=1'-0" 1

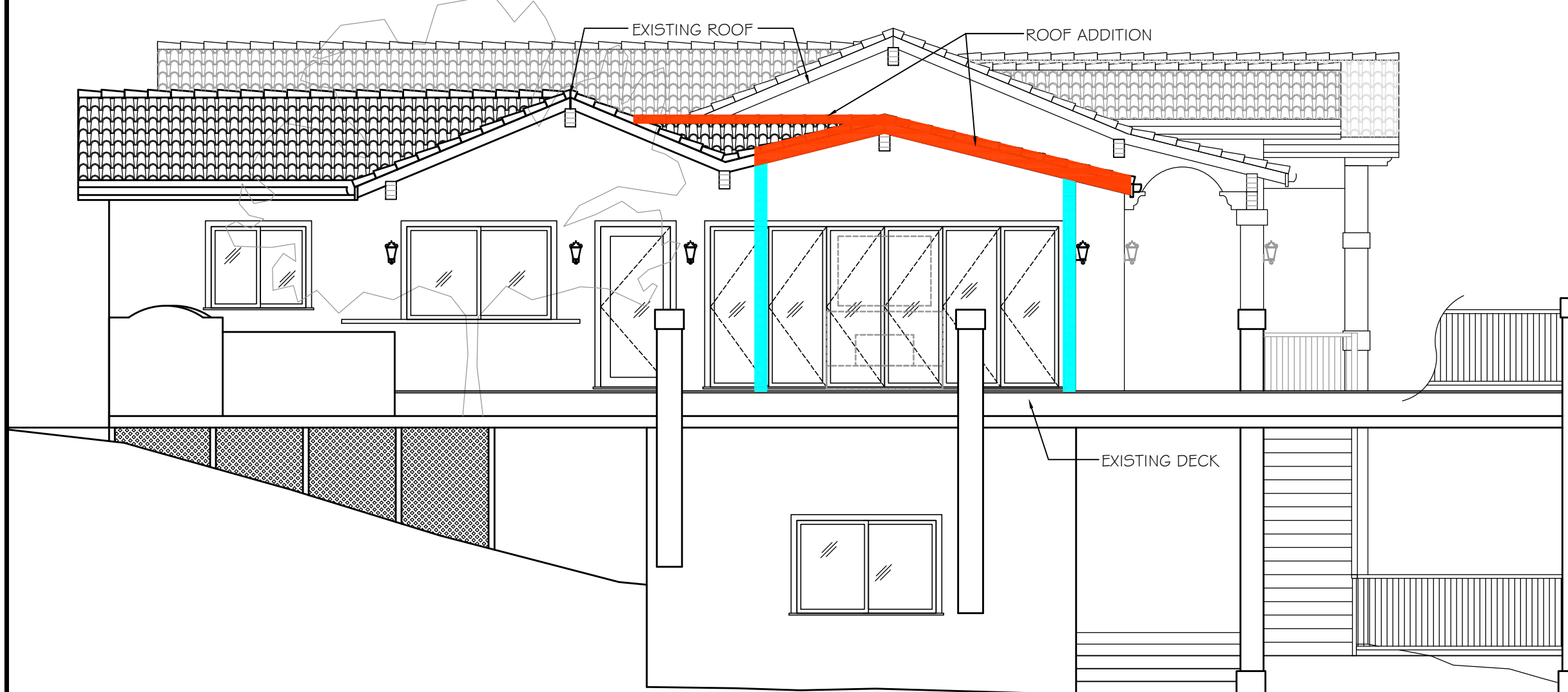


NORTH ELEVATION - WEST SIDE

SCALE: 3/16"=1'-0" 2



WEST ELEVATION



EAST ELEVATION



SCALE: 3/16"=1'-0" 3

IMPROVEMENTS TO  
THE RESIDENCE OF  
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DESIGN DEVELOPMENT  
STORY POLE LOCATIONS  
EXTERIOR ELEVATIONS

08-24-15

ASP.2



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NOTE:  
NO ADDITION ON SOUTH ELEVATION

LEGEND  
 POST  
 ORANGE NET

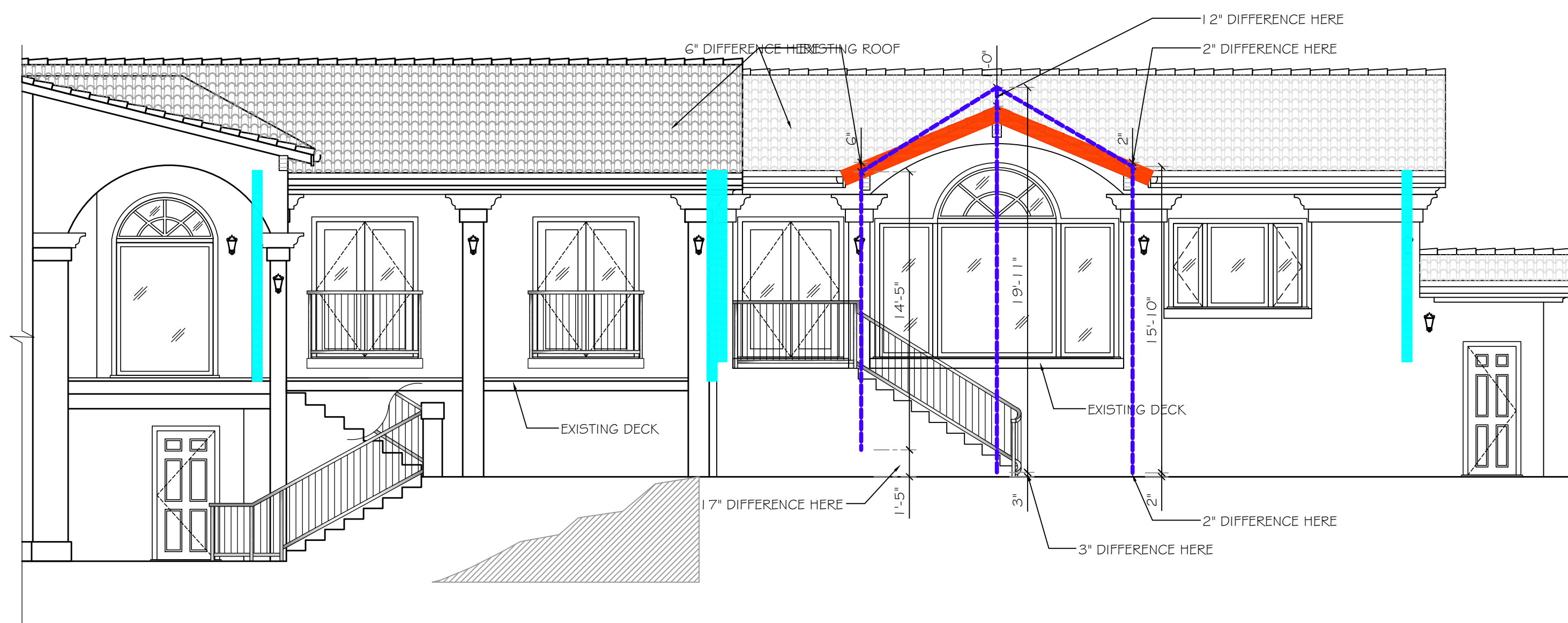
DATE	REVISION
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08-24-15	RF-SUBMITTAL

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NORTH ELEVATION - EAST SIDE

SCALE: 3/16"=1'-0"

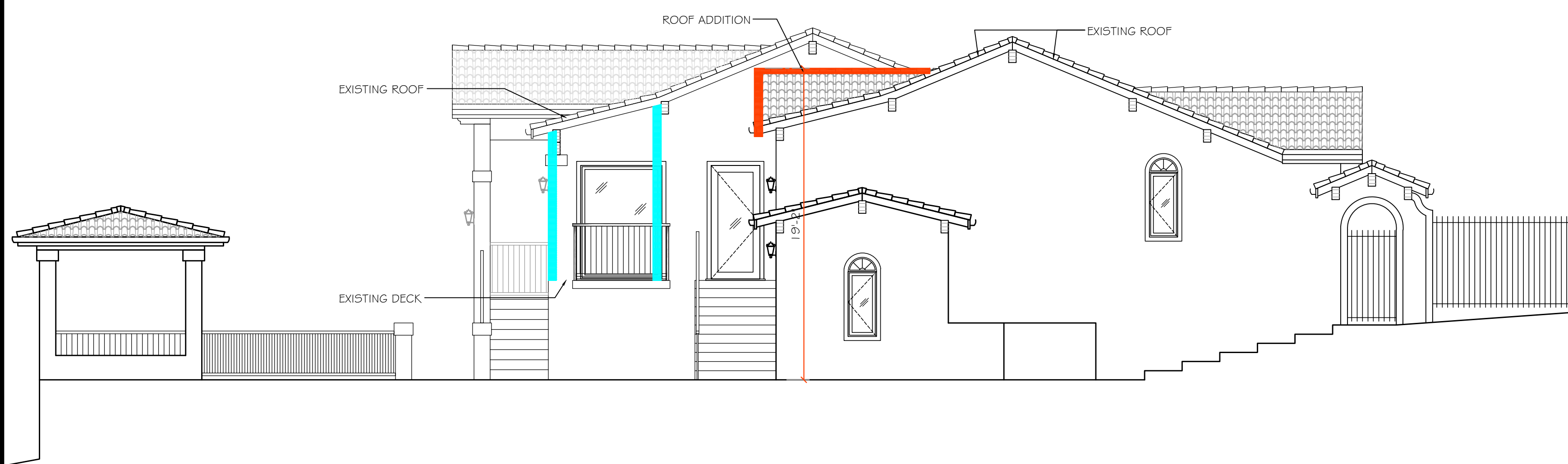
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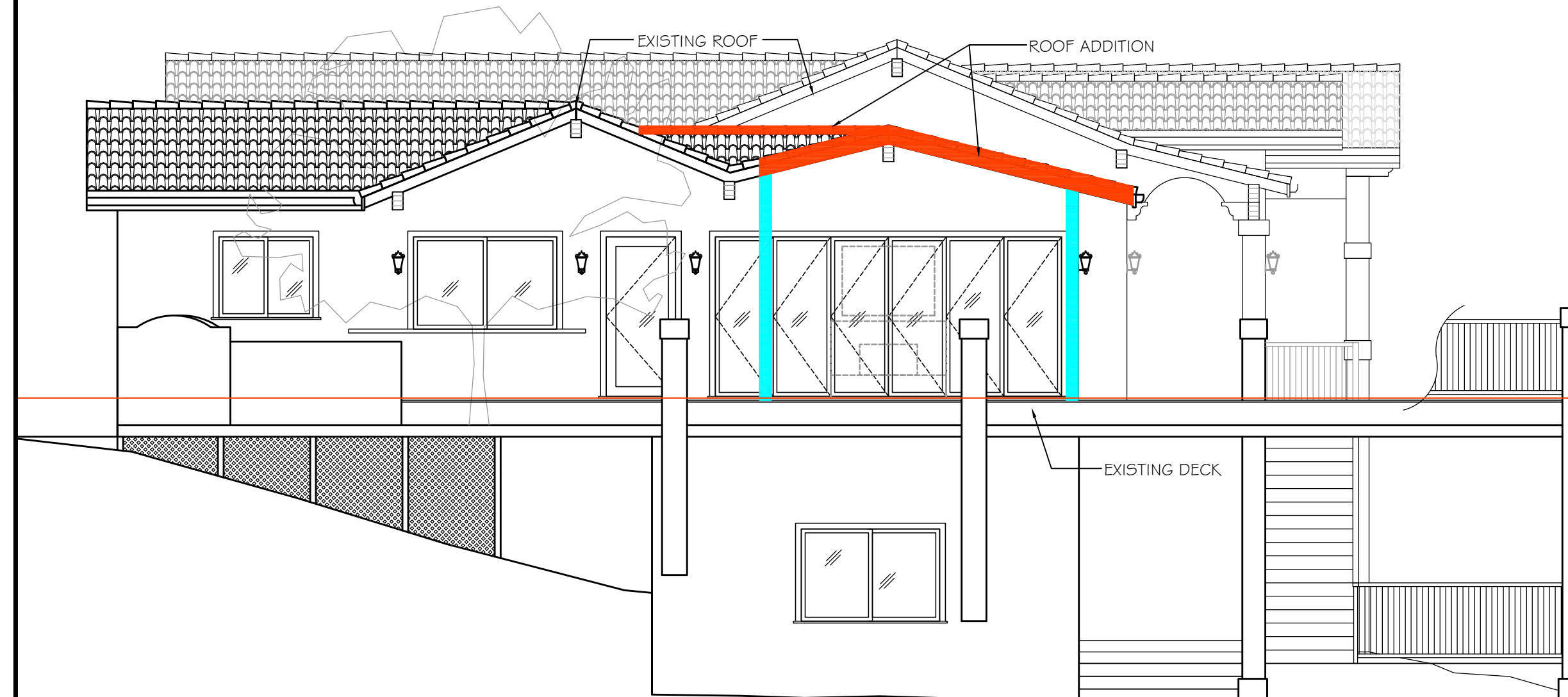
NORTH ELEVATION - WEST SIDE

SCALE: 3/16"=1'-0"

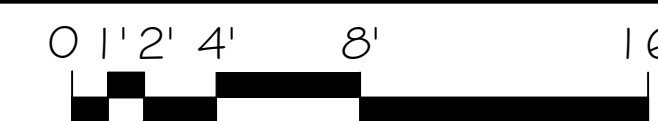
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WEST ELEVATION



EAST ELEVATION



SCALE: 3/16"=1'-0"

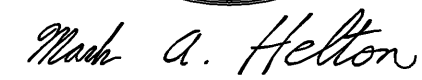
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IMPROVEMENTS TO  
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SARAFAN & GHORBANI  
16350 BLACKBERRY HILL RD,  
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DESIGN DEVELOPMENT  
STORY POLE LOCATIONS  
EXTERIOR ELEVATIONS

08-24-15

ASP.2



SHEET  
**1**

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OF **2**

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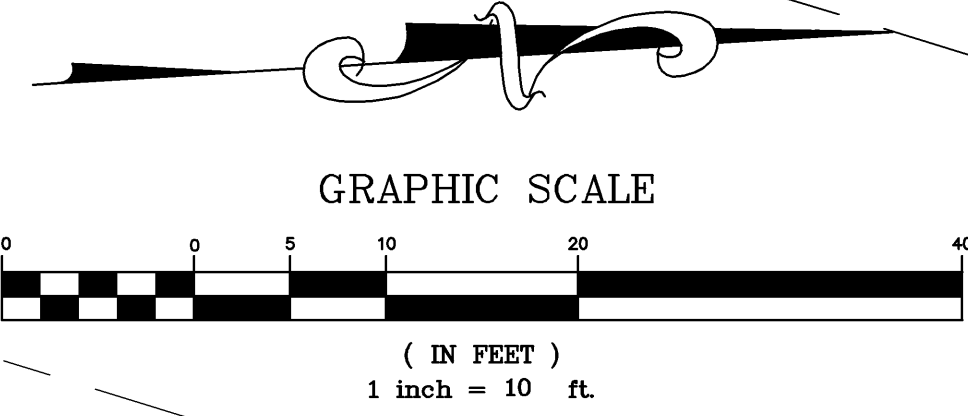
DATE **8/1/14**

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JOB NO.  
**14178**



Mark A. Helton



DATE		8/1/14	JOB NO. 14178		TOPOGRAPHIC SURVEY		16350 BLACKBERRY HILL ROAD PARCEL B (449 M 43 & 606 M 18)  LOS GATOS, CALIFORNIA		 <b>Giuliani &amp; Kull, Inc.</b> <b>Engineers • Planners • Surveyors</b> 4800 Stevens Creek Blvd. Suite 205 San Jose, CA. 95129 (408) 615-4000 Fax (408) 615-4004 Auburn • San Jose • Oakdale		NO.		DATE		REVISIONS		SCALE 1"=10'		DRAWN BY		DESIGNED BY		CHECKED BY		SURVEY	