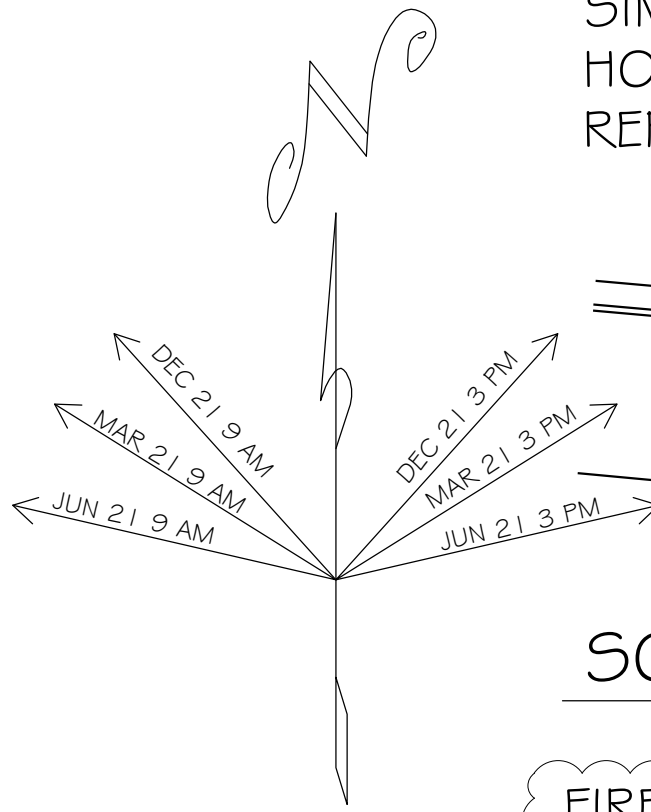


NOTE: SHADOWS ARE
SIMILAR TO (E) 2-STORY
HOUSE THAT IS BEING
REPLACED



SOLAR SHADOW STUDY

1"=16'-0"

FIRE DEPARTMENT NOTES

WILDLAND-URBAN INTERFACE:
THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND-URBAN INTERFACE FIRE AREA. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A. NOTE THAT VEGETATION CLEARANCE SHALL BE IN COMPLIANCE WITH CBC SECTION 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL. CHECK WITH THE PLANNING DEPARTMENT FOR RELATED LANDSCAPE PLAN REQUIREMENTS.

FIRE SPRINKLERS REQUIRED:
AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS AS FOLLOWS: IN ALL NEW ONE- AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE- AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,600 SQUARE FEET.
EXCEPTION: ANY ONE-TIME ADDITION TO AN EXISTING BUILDING THAT DOES NOT TOTAL MORE THAN 1,000 SQUARE FEET OF BUILDING AREA.
NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. NOTE: COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETE PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AN APPROVAL PRIOR TO BEGINNING THEIR WORK.

CONSTRUCTION SITE FIRE SAFETY
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE

NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT.

ADDRESS IDENTIFICATION:
NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7mm). WHERE ACCESS IS BY MEANS OF PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

WATER SUPPLY REQUIREMENT:
POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THE PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THE FIRE DEPT. OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S).

PROJECT DATA

PROJECT ADDRESS: 18151 OVERLOOK ROAD, LOS GATOS, CA

OWNER: URBAN WEST, LLC

PROJECT DESCRIPTION:
DEMOLISH (E) 2-STORY HOUSE + (E) DETACHED GARAGE AND BUILD NEW 2-STORY HOUSE W/ CELLAR

APN: 510-40-146

HOUSE TO BE FULLY FIRE-SPRINKLED

ZONING: R-1-B

CONSTRUCTION TYPE: V-B

OCCUPANCY GROUP: R-3/U

AVERAGE LOT SLOPE: 7.7%

LOT SIZE: 7,000 SQ. FT.

ALLOWABLE FAR:
[.35 - [(7-5) (.2) / 25]] x 7,000 = 2,338 ± SQ. FT.

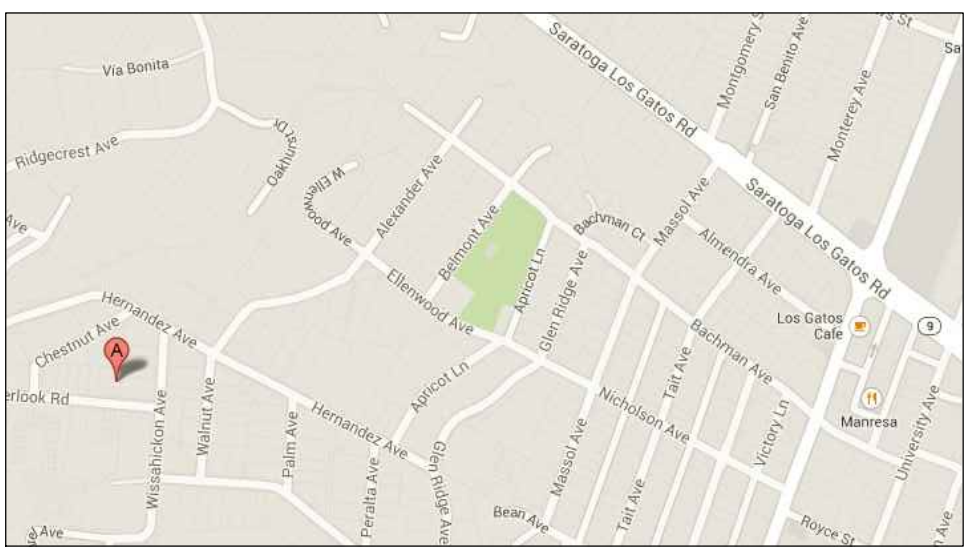
PROPOSED FLOOR AREA	EXISTING HOUSE FLOOR AREA
1ST FLOOR	1,380
2ND FLOOR	946
TOTAL	2,326
CELLAR	819
GARAGE	244
PROPOSED F.A.R.	33.2%

IMPERVIOUS COVERAGE CALC	EXISTING IMPERVIOUS COVERAGE CALC
HOUSE	1,380
GARAGE	244
PORCH	145
LIGHTWELL & LANDING	105
TOTAL	1,874

BUILDING COVERAGE	BUILDING COVERAGE
LIVING AREA	1,380
GARAGE	244
COVERED PORCH	145
TOTAL	1,769 = 25.27%

COVERED PORCH	COVERED PORCH
HOUSE	1,245
TOTAL	1,245 = 17.8%

VICINITY MAP



TREES TO BE REMOVED		
NO.	SPECIES	DIA (IN.)
R1	MAPLE	4, 4, 4
R2	MAPLE	8
R3(2)	MONTEREY PINE	18
R4(3)	WESTERN REDBUD	5, 3
R5(5)	EVERGREEN PEAR	5
R7(15)	PACIFIC WAX MYRTLE	5

*REMOVE BY PERMIT #715-053

EXISTING TREES TO REMAIN		
NO.	SPECIES	DIA (IN.)
1	DEODAR CEDAR	22
4	EUROPEAN BEECH	16
6	COAST LIVE OAK	23
7	COAST LIVE OAK	17
8	MONTEREY PINE	15
9	GLOSSY PRIVIT	11
10	GLOSSY PRIVIT	9
12	MONTEREY PINE	36
13	GLOSSY PRIVIT	8, 6, 5, 4
14	COAST LIVE OAK	35

LINE TYPE LEGEND

.....	DEMOLITION LINE
----	UTILITY LINE
----	SETBACK LINE
----	TREE PROTECTION FENCE
----	PROPERTY LINE
----	CONTOUR LINE
	ROOT ZONE BUFFER, FOOT TRAFFIC ONLY ON 6'-8" LAYER OF COURSE WOOD CHIPS

TREE PROTECTION FENCING NOTES:

TREE PROTECTION FENCING SHALL BE A MIN. OF 5' HIGH CHAIN LINK MOUNTED ON 2"X9 GALVANIZED STEEL POSTS DRIVEN 2' MIN. INTO THE GROUND AT A 10' MAX. SPACING

TREE PROTECTION FENCING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL APPROVED BY ARBORIST OR RECORD.

GRADING & DRAINAGE NOTES

REFER TO GRADING AND DRAINAGE PLANS PREPARED BY HANNA BRUNETTI CIVIL ENGINEERS, JOB NO. 15025, DATED MAY 2015

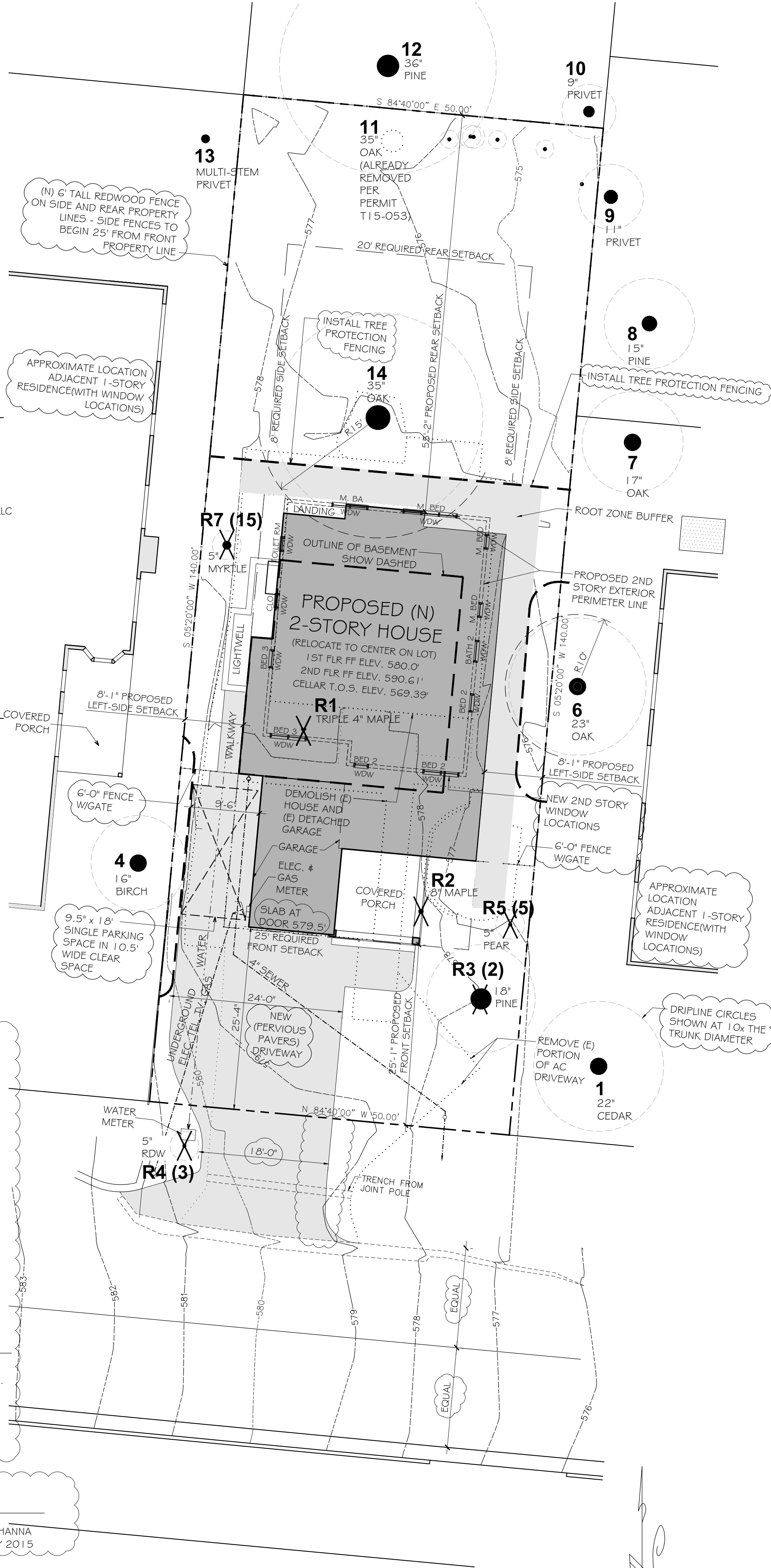
NOTE

REFER TO LANDSCAPE PLANS FOR REQUIRED NEW TREES (3-36" TREES LOCATIONS

SITE

PLOTTED ON SURVEY BY ALPHA LAND SURVEYS, INC.
DATED 3/11/14, JOB# 2014-021 (831-438.4453)

1"=10'-0"



DRAWINGS PREPARED BY

CHRIS SPAULDING
ARCHITECT

801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
9-22-14	db
6-25-15	
9-24-15	
12-8-15	
12-22-15	
1-26-16	

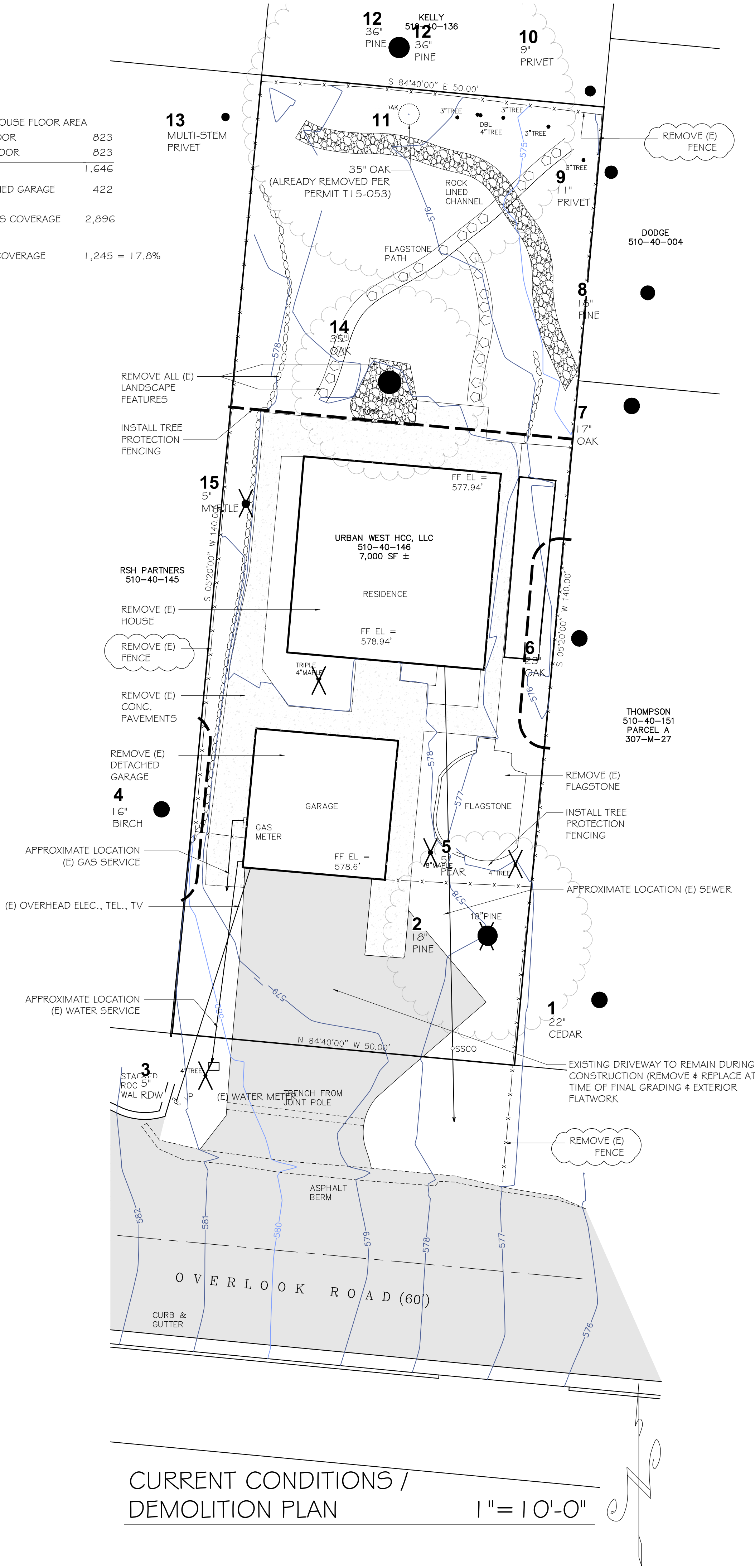
PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW HOME
18151 OVERLOOK ROAD
LOS GATOS CALIFORNIA

DATE:	6-10-14
SCALE:	AS NOTED
DRAWN:	ELCS/DB/KD
JOB:	TATE - OVERLOOK
SHEET	

A1
OF 7 SHEETS

EXISTING HOUSE FLOOR AREA	
1ST FLOOR	823
2ND FLOOR	823
TOTAL	1,646
DETACHED GARAGE	
	422
IMPERVIOUS COVERAGE	
	2,896
BUILDING COVERAGE	
	1,245 = 17.8%



CURRENT CONDITIONS /
DEMOLITION PLAN

1" = 10'-0"

DRAWINGS PREPARED BY

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ARCHITECT

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(510) 527-5997 FAX (510) 527-5999

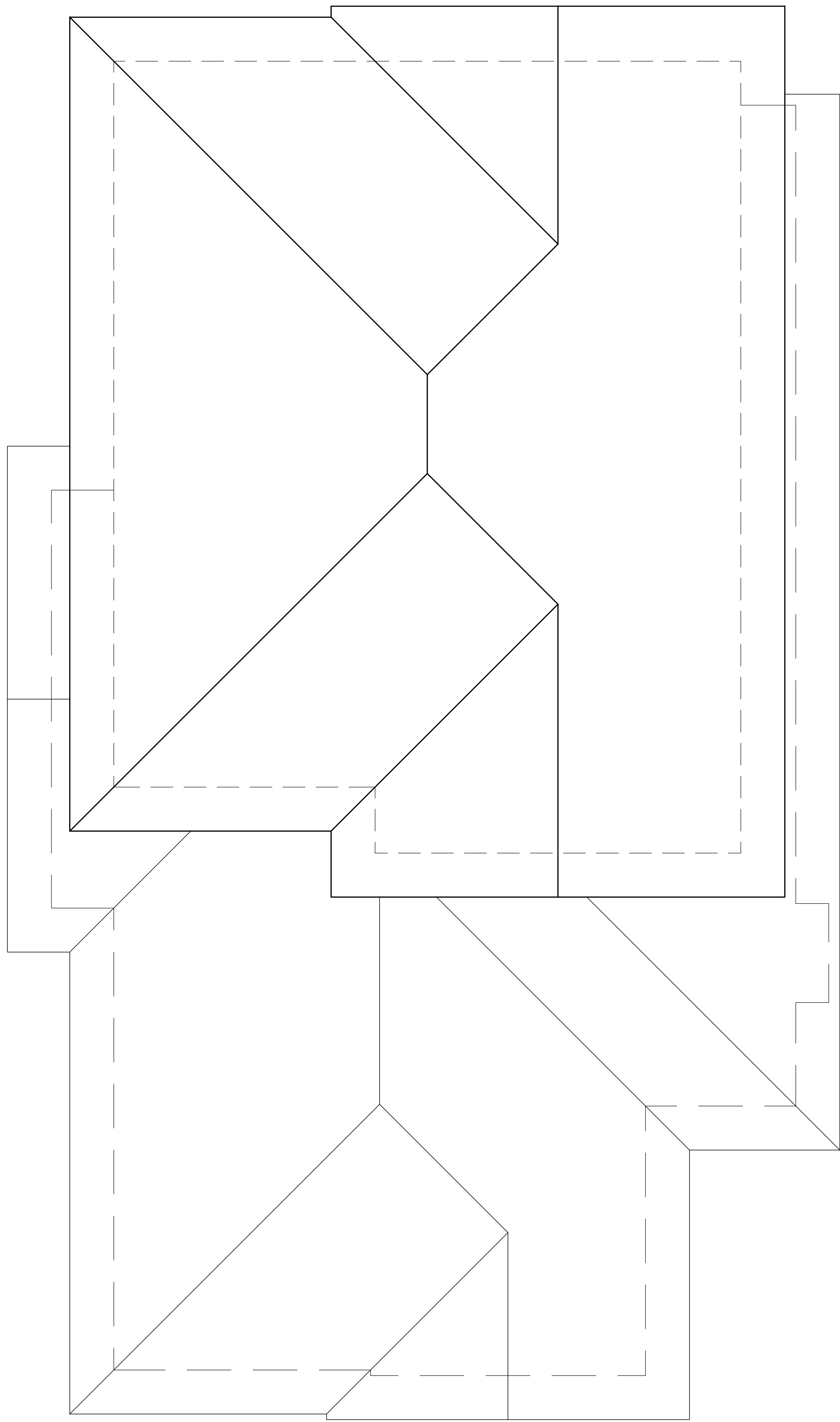
REVISIONS	BY
9-22-14	db
6-25-15	
9-24-15	
12-8-15	
12-22-15	
1-26-16	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

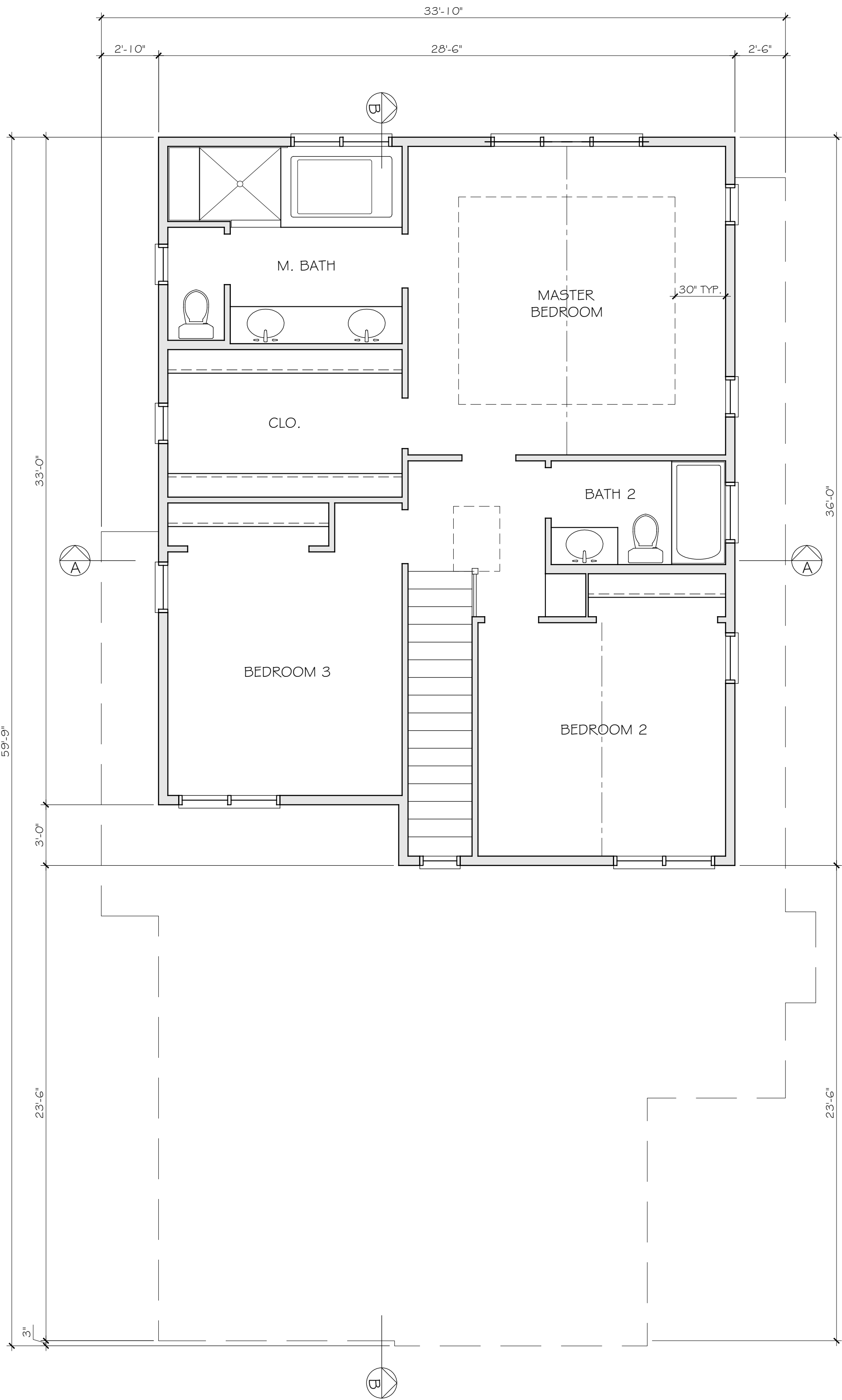
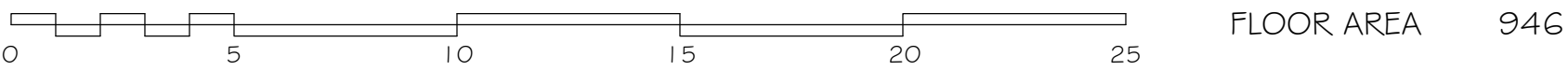
A PROPOSED NEW HOME
18151 OVERLOOK ROAD
LOS GATOS CALIFORNIA

DATE:	6-10-14
SCALE:	AS NOTED
DRAWN:	EL/CS/DB/KD
JOB:	TATE - OVERLOOK
SHEET	

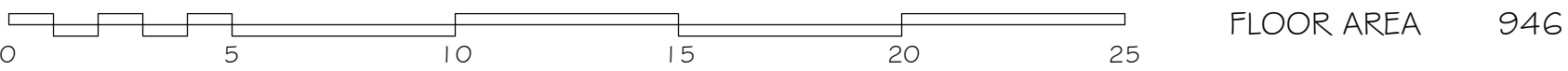
A1.1
OF 7 SHEETS



ROOF PLAN 1/4"= 1'-0"



SECOND FLOOR PLAN 1/4"= 1'-0"



DRAWINGS PREPARED BY

CHRIS SPAULDING
ARCHITECT

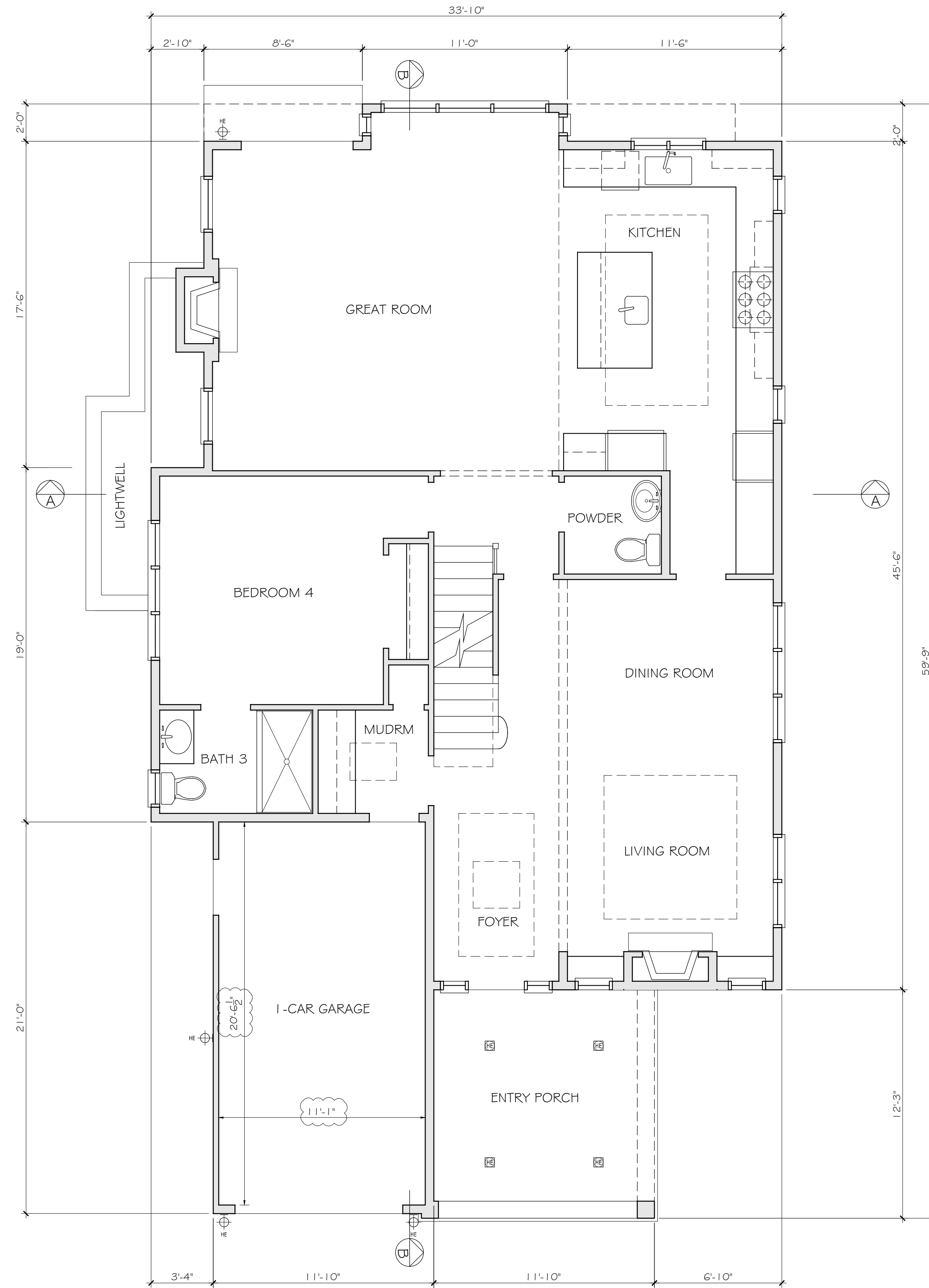
801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
9-22-14	db
6-25-15	
9-24-15	
12-8-15	
12-22-15	
1-26-16	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW HOME
18151 OVERLOOK ROAD
LOS GATOS CALIFORNIA

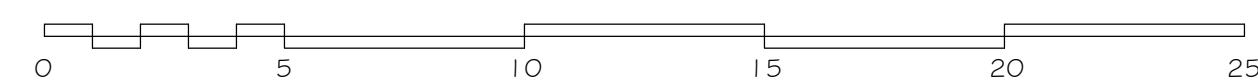
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SCALE:	AS NOTED
DRAWN:	EL/CS/DB/KD
JOB:	TATE - OVERLOOK
SHEET	



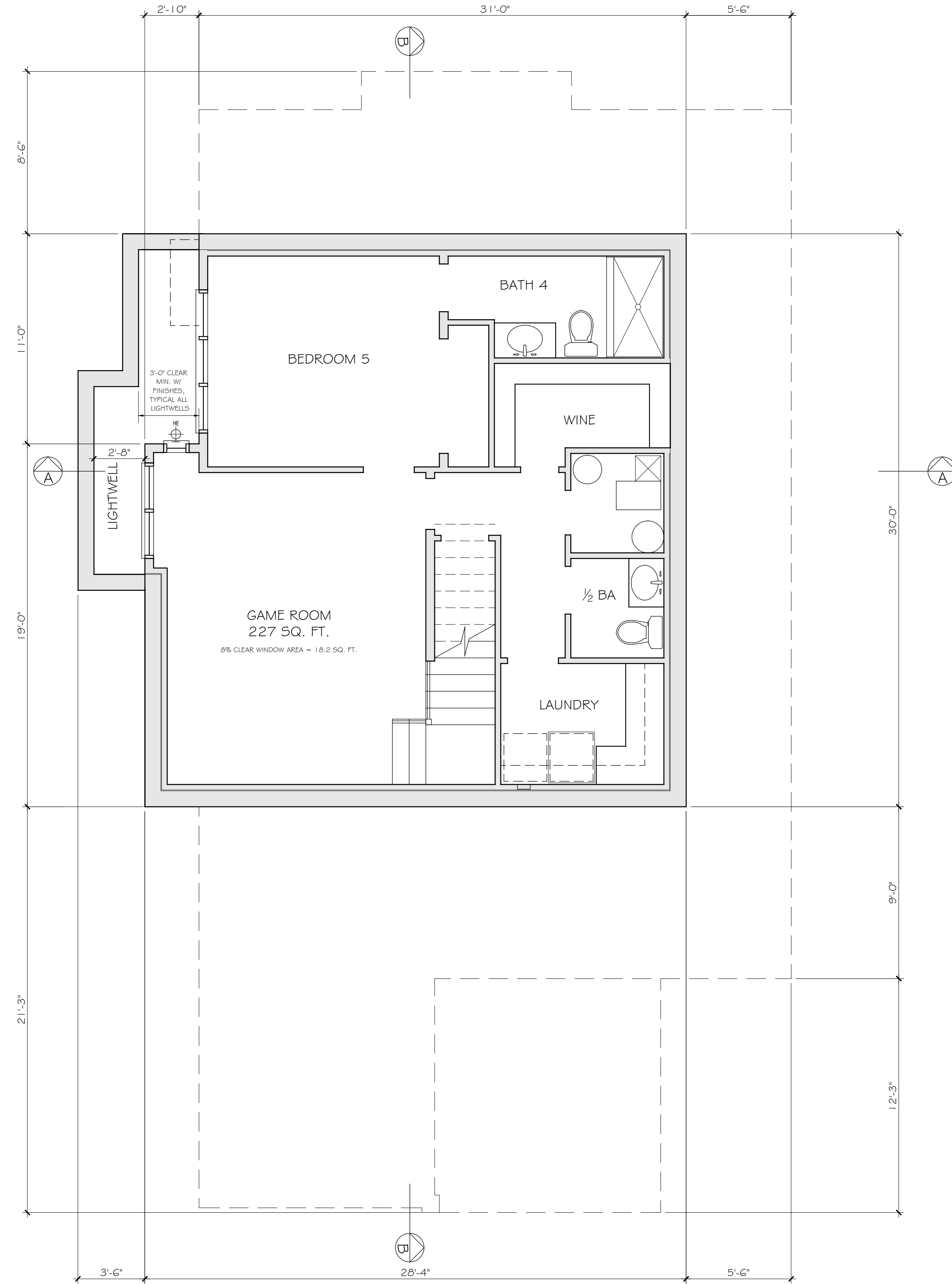
FIRST FLOOR PLAN

1/4" = 1'-0"

FLOOR AREA 1,380
GARAGE 255



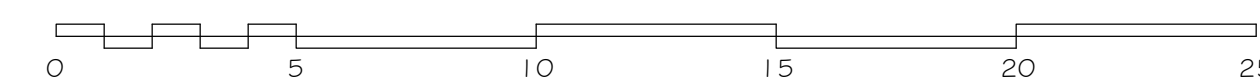
LIGHTING SCHEDULE	
	HIGH EFFACACY WALL-MOUNTED DOWN-LIGHT
	HIGH EFFACACY RECESSED DOWN-LIGHT (DARK SKY)



CELLAR PLAN

1/4" = 1'-0"

FLOOR AREA 1,063



DRAWINGS PREPARED BY

CHRIS SPAULDING

ARCHITECT

801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
9-22-14	db
6-25-15	
9-24-15	
12-8-15	
12-22-15	
1-26-16	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW HOME
18151 OVERLOOK ROAD
LOS GATOS CALIFORNIA

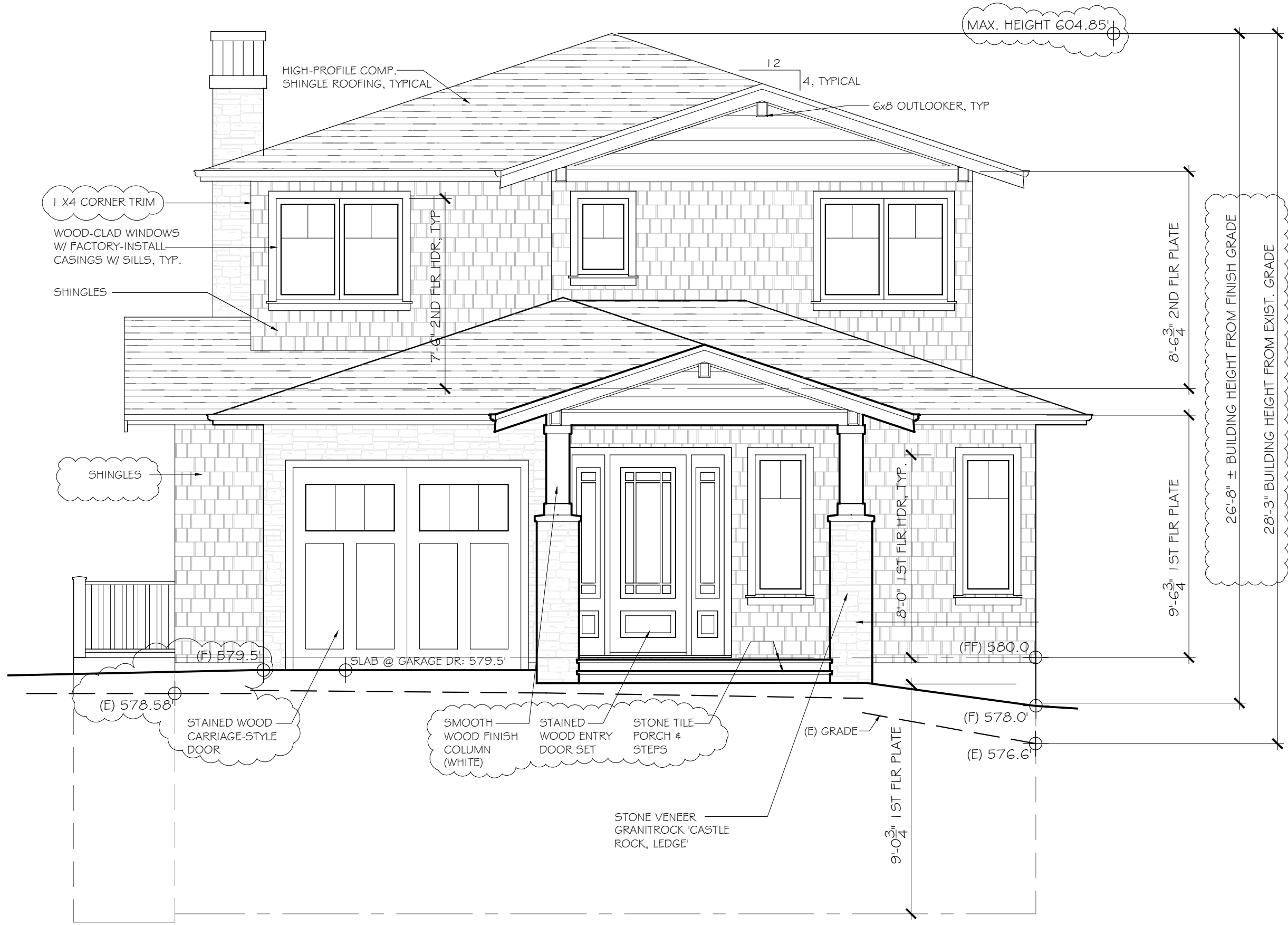
DATE:	6-10-14
SCALE:	AS NOTED
DRAWN:	EL/CS/DB/KD
JOB:	TATE - OVERLOOK
SHEET	

A2
OF 7 SHEETS



RIGHT-SIDE ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"



LEFT-SIDE ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

DRAWINGS PREPARED BY

CHRIS SPAULDING
ARCHITECT

801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

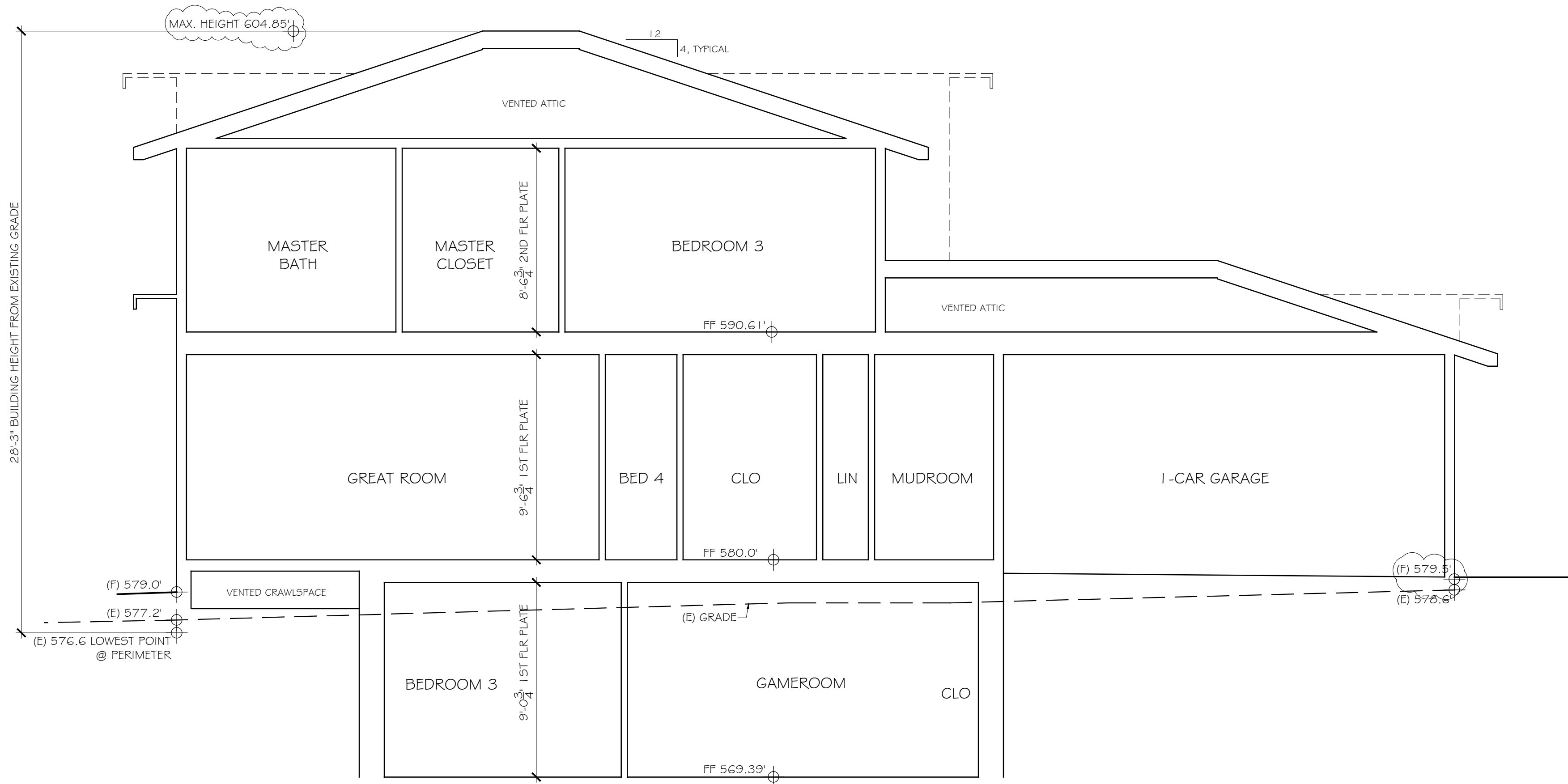
REVISIONS	BY
9-22-14	db
6-25-15	
9-24-15	
12-8-15	
12-22-15	
1-26-16	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW HOME
18151 OVERLOOK ROAD
LOS GATOS CALIFORNIA

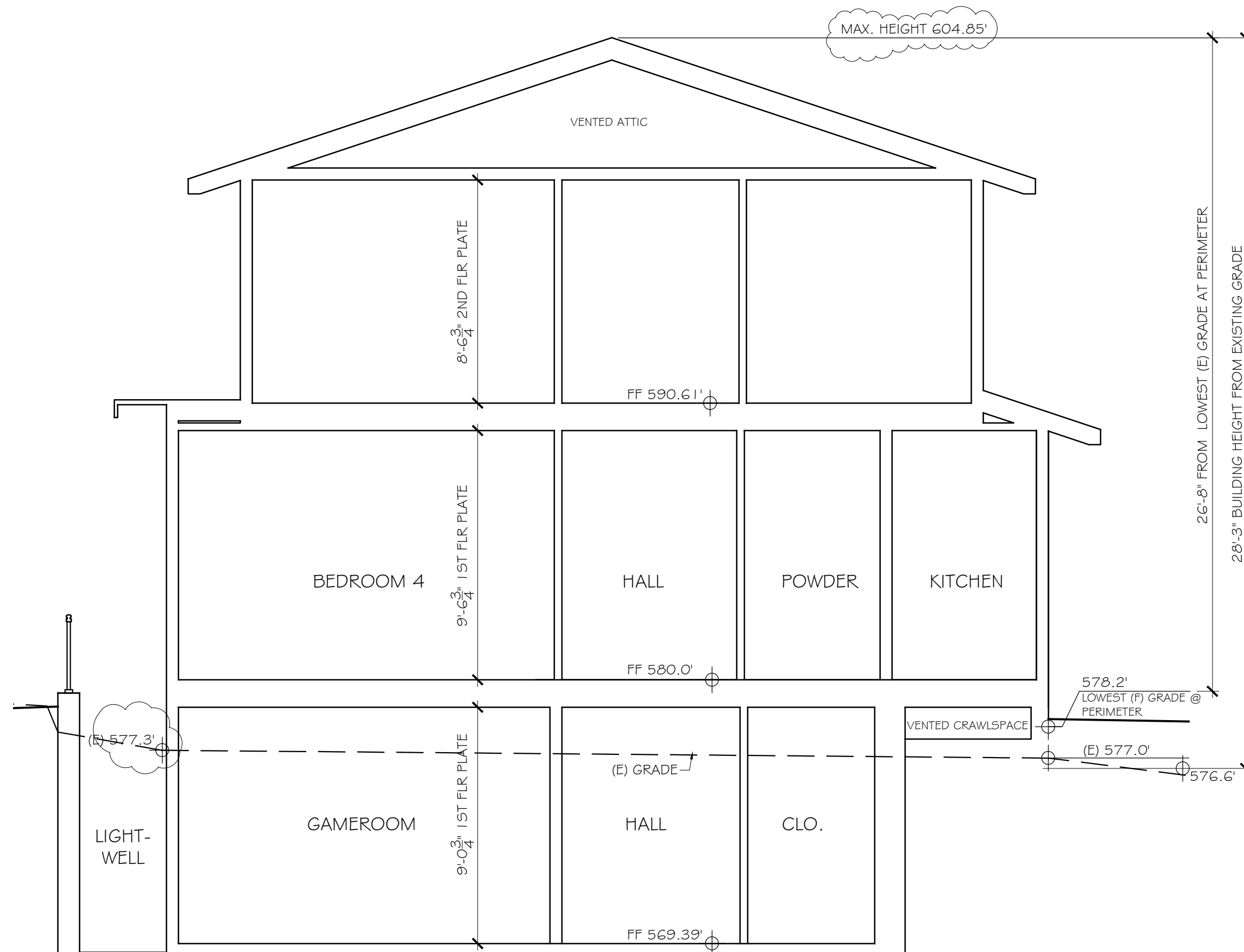
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DRAWN: EL/CS/DB/KD
JOB: TATE - OVERLOOK
SHEET

A4
OF 7 SHEETS



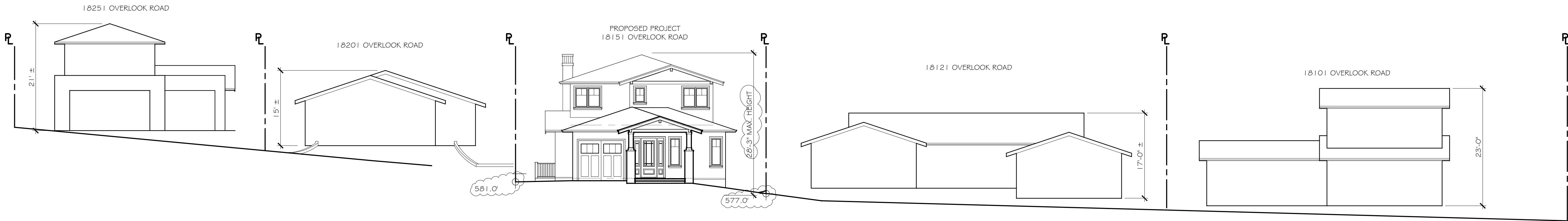
SECTION B-B

1/4"= 1'-0"



SECTION A-A

1/4"= 1'-0"



OVERLOOK ROAD STREET VIEW TOWARDS PROPOSED PROJECT

3/32"= 1'-0"

DRAWINGS PREPARED BY
CHRIS SPAULDING
ARCHITECT

801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
9-22-14	db
6-25-15	
9-24-15	
1-2-8-15	
12-22-15	
1-26-16	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW HOME
18151 OVERLOOK ROAD
LOS GATOS CA

DATE: 6-10-14
SCALE: AS NOTED
DRAWN: EUCS/DB/KD
JOB: TATE - OVERLOOK
SHEET

A5
OF 7 SHEETS

UPDATED ARBORIST REPORT

18151 OVERLOOK ROAD
LOS GATOS, CALIFORNIA

PROPERTY OWNER: Ronald M. Tate
APPLICANT: Nicole King of Urban West, LLC
ARCHITECTURE & SITE APPLICATION S-14-056
APN 610-40-148

Submitted to:
Erin Walters
Community Development Department
Town of Los Gatos
110 East Main Street
Los Gatos, CA 95031

Prepared by:
David L. Babby
Registered Consulting Arborist® #399
Board-Certified Master Arborist® #WE-40018

TABLE OF CONTENTS

SECTION	TITLE	PAGE
1.0	INTRODUCTION	1
2.0	TREE COUNT AND COMPOSITION	2
3.0	SUITABILITY FOR PRESERVATION	4
4.0	REVIEW OF POTENTIAL IMPACTS	5
5.0	TREE PROTECTION MEASURES	6
5.1	Design Guidelines	6
5.2	Before Demolition, Grading and Construction	9
5.3	During Demolition, Grading and Construction	10
6.0	ASSUMPTIONS AND LIMITING CONDITIONS	13

EXHIBITS

EXHIBIT	TITLE
A	TREE INVENTORY TABLE (three sheets)
B	SITE MAP (one sheet)
C	PHOTOGRAPHS (four sheets)

1.0 INTRODUCTION

The Town of Los Gatos Community Development Department has retained me to review the current set of plans and update my prior 5/29/15 report in connection with the proposed new residence, with basement, at **18151 Overlook Road**, Los Gatos. Specific tasks conducted for this and the prior report are as follows:

- Review the current set of plans, stamp dated 8/5/15 by the Town.
- Visit the site, performed on 5/21/15, to assess potential impacts by identify 15 trees situated either within the project site, along the street frontage, or on neighboring properties and having trunks immediately adjacent to and/or canopies overhanging the site. A subsequent visit was performed on 9/16/15 to assess potential impacts by implementing the current set of plans.
- Determine each tree's trunk diameter at 54 inches above grade. Diameters are rounded to the nearest inch, and trees listed with more than one diameter are formed by multiple trunks.
- Estimate average canopy spreads (rounded to the nearest fifth).
- Ascertain each tree's health and structural integrity, and assign an overall condition rating (e.g. good, fair, poor or dead).
- Rate each tree's suitability for preservation (e.g. high, moderate or low).
- Obtain photographs; see Exhibit C.
- Assign tree numbers in a sequential pattern, and plot those numbers and roughly approximate locations on the site map in Exhibit B (base map being Sheet A1, the *Site & Drainage Plan*, dated 9/22/14, by Chris Spaulding Architect).
- Affix round-metal tags with corresponding, engraved numbers to the trunks or limbs of accessible trees. For inaccessible trees on neighboring properties, tags were affixed to wood fences adjacent to their respective tree trunks.
- Provide measures to help avoid or mitigate impacts to retained or removed trees.
- Prepare a written report containing the above information, and submit via email as a PDF document.

2.0 TREE COUNT AND COMPOSITION

Fifteen (15) trees of eight various species were inventoried for this report. They are sequentially numbered as **#1 thru 15**, and the table below identifies their names, assigned numbers, counts and percentages.

NAME	TREE NUMBER(S)	COUNT	% OF TOTAL
Coast live oak	6, 7, 11, 14	4	27%
Deodar cedar	1	1	7%
European beech	4	1	7%
Evergreen pear	5	1	7%
Glossy privet	9, 10, 13	3	20%
Monterey pine	2, 8, 12	3	20%
Pacific wax myrtle	3	1	7%
Western redbud	3	1	7%
Total		16	100%

As illustrated in the above table, the tree landscape on and surrounding the site is populated predominantly by coast live oak, privet and Monterey pine.

Specific information regarding each tree is presented within the table in **Exhibit A**. The trees' corresponding **numbers** and approximate **locations** can be viewed on the site map in **Exhibit B**, and **photographs** are presented in **Exhibit C**.

Tree #3, a small redbud, is situated within the public right-of-way along Overlook Road and is regarded as a **street tree**.

Nine (9) trees have trunks originating on **neighboring properties**, and were inventoried due to their proximity to the project site; they include **#1, 4, 6-10, 12 and 13**.

Of the 15 inventoried trees, the following **12 are regulated** and defined as **protected trees**¹ **#1-8, 11, 12, 14 and 15**.

The other three trees, **#9, 10 and 13**, are **exempt** from regulation, pursuant to Section 29.10.0970 of the Town Code, due to being privets with trunk diameters less than 24 inches (all are situated on neighboring properties).

Ten (10) trees were not shown on the prior plans reviewed, and their locations shown on the map in Exhibit B are only *roughly* approximate and should not be construed as being surveyed; they include **#1, 4, 6-10, 12, 13 and 15** (accounts for all those on neighboring properties plus #15).

Other trees located throughout the site were not inventoried due to having trunks with diameters less than four inches.

¹ Pursuant to Section 29.10.0960 of the Town's Municipal Code, a "protected tree" has a trunk with a diameter ≥4" at three feet above grade. Fruit- or nut-bearing trees with trunk diameters less than 18" are exempt (Section 29.10.0970).

3.0 SUITABILITY FOR TREE PRESERVATION

Each tree has been assigned either a "high," "moderate" or "low" suitability for preservation rating as a means to cumulatively measure its existing health, structural integrity, anticipated life span, location, size, particular species, tolerance to construction impacts, growing space, and safety to property and persons within striking distance. Descriptions of these ratings are presented below; the high category is comprised of **no trees**, the moderate category **six** (or 40%), and the low category **nine** (or 60%).

High: Applies to **none**.
These trees appear relatively healthy and structurally stable; have no apparent, significant health issues or structural defects; present a good potential for contributing long-term to the site; and require only periodic or regular care and monitoring to maintain their longevity and structural integrity. They are typically the most suitable for retaining and incorporating into the future landscape.

Moderate: Applies to trees **#1, 4, 6, 8, 11 and 14**.
These trees contribute to the site, but at levels less than those assigned a good suitability; may have health and/or structural issues that can potentially be reasonably addressed and properly mitigated; and frequent care is typically required for their remaining lifespan. They might be worth retaining, if provided proper care, but not seemingly at significant expense or major design revisions.

Low: Applies to trees **#2, 3, 5, 7, 9, 10, 12, 13 and 15**.
These trees have serious or significantly weakened health and/or structural defects that are expected to worsen regardless of tree care measures employed (i.e. beyond likely recovery). Removal of those located within the site is recommended to improve the tree landscape and/or site safety.

4.0 REVIEW OF POTENTIAL IMPACTS

Based on my review of project plans, in conjunction with a specific tree's condition and tolerance to impact, the following disposition is anticipated:

- Removals** (four in total): **#2, 3, 5 and 15**.
- Retained** (eleven in total): **#1, 4 and 6-14**.

Regarding removals, **tree #2** is a Monterey pine intolerant of root loss, and its decline and ultimate demise is anticipated within one or more years following site development. **Tree #3** is a small redbud with poor structure, and excavation for constructing the new driveway will extend up to its trunk and result in severe impacts. **Tree #5** is a small evergreen pear also with a poor structure. **Tree #15** can be considered a tall shrub, and is anticipated to be removed during excavation for the basement.

To my understanding, an application has been submitted to the Town regarding **removing tree #11**, the rearmost oak on the property; specific reasons for removal are unrelated to future site construction.

Tree #4 is specified for retention, but would sustain substantial root impacts during construction of the proposed future curb and parking space/driveway within the existing planter and six inches from existing fence; when considering overexcavation is needed to form and pour the curb/parking space, ground disturbance will occur up to the fence.

Based on **#4's** size, its protection zone should be a minimum of eight feet from the trunk's base to back of rock wall (i.e. where dirt of the planter and rocks meet), where all overexcavation, compaction, trenching and other ground disturbance should be avoided. Tree **#4's** base of trunk is roughly four feet from the fence, and the existing planter is 18 inches wide between the fence to back of rock wall (the planter is anticipated to contain significant roots). When considering this information, design revisions are needed for adhering to the TPZ, and achieving a reasonable assurance of **#4's** survival.

5.0 TREE PROTECTION MEASURES

This section presents recommendations for achieving the protection of retained trees throughout construction. They should be carefully followed, are subject to revision upon reviewing revised or additional project plans, and I should be consulted in the event any measure cannot be feasibly implemented. Please note all referenced distances from trunks are intended to be from the closest edge (face of) of their outermost perimeter at soil grade.

5.1 Design Guidelines

1. Designate a **Tree Protection Zone (TPZ)** to be the section of existing unpaved ground beneath or beyond a tree's entire canopy; for **#4**, it should be as specified in Section 4.0 of this report, and for **#6**, a minimum distance of nine feet west of its trunk, and from this point north and south, up to 15 feet from the trunk.

A TPZ is where the following activities shall be avoided: trenching, soil scraping, compaction, mass grading, finish-grading, overexcavation, subexcavation, tilling, ripping, swales, bioswales, storm drains, dissipaters, dry equipment cleaning, stockpiling and dumping of materials, equipment/vehicle operation, and shoring piers/excavation. In the event an impact encroaches slightly within a setback, it can be reviewed on a case-by-case basis to determine whether measures can sufficiently mitigate the impacts to less-than-significant levels.

2. Where beneath the canopies of **trees #6 and 14**, limit overexcavation, compaction, trenching and other **soil disturbance** to within **12 to 24 inches** beyond the first foundation. For **tree #4**, the same limitations are needed beyond the basement and lightwell walls, as well as the first floor foundation.

3. If **shoring** is used for constructing the basement, the layout should not require the loss or large limbs or branches during operation of a pile driver or drill rig for **shoring** (and soil nailing and shotcrete utilized should be a conflict exist).

4. For **tree #4**, implement the design recommendations provided in Section 4.0.

5. The proposed **retaining wall** adjacent to **tree #6** shall require no excavation, trenching or compaction within its TPZ (e.g. utilize a drystack wall with no footings). Should footings be required for the desired wood wall, the post locations shall be installed as discussed in Section 5.3 of this report.

6. The permanent and temporary **drainage design**, including downspouts, should not require water being discharged towards a tree's trunk.

7. The **assigned numbers** should be added to Sheet 3 (excluding exempt trees **#9, 10 and 13**). Additionally, **#4's** location should be updated on Sheets A1 and 3 to reflect what is identified in Exhibit A.

8. Update Sheets A1, A1.1 and C3 to illustrate **protection fencing** as shown in red on the map in Exhibit B. Other fencing locations can be omitted from the plans.

9. On the demolition plan, specify that all below ground **existing and unused pipes, vaults and lighting** shall be **abandoned** and cut off at existing soil grade where within a TPZ (rather than being dug up and causing root damage).

10. **Swales** should be established well-beyond tree canopies. Where necessary within, they should be as far from the trunks as possible, require no more than a two- to three-inch deep cut or fill, avoid severing roots >two inches in diameter, and not be compacted (foot-tamping is acceptable).

11. The **erosion control** design should consider that any straw wattle or fiber rolls require a maximum vertical soil cut of two inches for their embedment, and are established as close to canopy edges as possible (and not against a tree trunk).

12. Per Section 29.10.1000(C.1) of the Ordinance, a copy of this report (or updated one) must be incorporated into the final set of project plans; titled **Sheets T-1, T-2, etc.** ("Tree Protection Instructions"); and referenced on all site-related project plans.

13. The **landscape design** should conform to the following additional guidelines:
- Plant material** installed beneath the canopies of the oaks should be drought-tolerant, limited in amount, and planted at least five or more feet from their trunks. Plant material installed beneath the canopies of all other trees should be at least 24 to 36 inches from their trunks.
 - Irrigation** beneath the oak canopies should not be applied within a distance of five times their trunk diameters. Irrigation for new plant material beneath their canopies should be low-volume, applied irregularly (such as only once or twice per week), and temporary (such as no more than three years).
 - Irrigation and lighting features** (e.g. main line, lateral lines, valve boxes, wiring and controllers) should be established beyond TPZs. In the event this is not feasible, they may require being installed in a radial direction to a tree's trunk, and terminate a specific distance from a trunk (versus crossing past it).
 - Ground cover** should be comprised (partially or entirely) of a three- to four-inch depth of coarse wood chips or other high-quality mulch (gorilla hair, bark or rock, stone, cobble, gravel, black plastic or other synthetic ground cover should be avoided). Mulch should remain six inches from the trees' trunks.
 - Tilling, ripping and compaction** within TPZs should be avoided.
 - Blender board or other **edging material** proposed beneath the canopies should be established on top of existing soil grade (such as by using vertical stakes).

14. **Mitigation** is necessary to compensate for the removal of **protected trees**, and Section 29.10.0985 can be used as the framework for determining amounts and sizes. The trees shall be planted prior to final inspection, double-staked with rubber tree ties (may not be necessary for trees of 36-inch box size and larger), and all forms of irrigation be of an automatic drip or soaker hose system placed on the soil surface and not in a sleeve. Additionally, to achieve the greatest assurance of proper installation, all new trees shall be installed, including necessary irrigation, by an experienced California State-licensed landscape contractor or tree-service company.

5.2 Before Demolition, Grading and Construction

15. **Manually restore** the soil grade at the rear of the site; the ground should be "smoothed" and leveled out, being careful not to excavate soil and roots.

16. **Spread** a four- to five-inch layer of **coarse wood chips** (1½- to ¾-inch in size) from a tree-service company over the ground within the property's rear section.

17. A **root zone buffer**, for foot-traffic only, should be established for **tree #6** between protection fencing and first-floor foundation. It shall comprise a six- to eight-inch layer of coarse wood chips manually spread on unpaved ground, and to create a sturdy walking surface, can be covered by plywood sheets of at least ¾-inch thick and secured together.

18. The **root collars** of trees **#11 and 14** must be fully **cleared of rock and soil** on all sides (360°), and the work performed by a professional and state-licensed tree service either through hand-digging or the use of an Airspade (not applicable for **#11** if its removal is authorized by the Town).

19. Establish **tree protection fencing** to restrict access into TPZs, and where along future foundations, no farther than five feet from the basement wall and/or first-floor foundation; locations are identified on the map in Exhibit B. This fencing shall remain throughout construction, and consist of five- to six-foot high chain link mounted on eight-foot tall, two-inch diameter galvanized steel posts that are driven into the ground.

20. Pursuant to Section 29.10.1005(a)(4) of the Town Code, 8.5- by 11-inch **warning signs** shall be affixed and prominently displayed on each side of fencing opposite the trees' trunks: "WARNING - Tree Protection Zone - this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." These signs should be intact prior to commencing demolition.

5.3 During Demolition, Grading and Construction

21. **Supply water** to the root zones of **#4, 6 and 14** every three to four weeks throughout the entire construction process, at an amount of five to ten gallons per inch of trunk diameter. Various application methods include either flooding the inside of a 12-inch tall berm formed around or near a canopy's perimeter, using soaker hoses, or through deep-root injection. For **#4 and 6**, watering only on the project site is sufficient.

22. A **root zone buffer**, for foot-traffic only, should be established for **#4** immediately following removal of the rear patio. It should be established between protection fencing and the basement/lightwell wall, and comprise a six- to eight-inch layer of coarse wood chips manually spread on unpaved ground; to create a sturdy walking surface, the chips can be covered by plywood sheets of at least ¾-inch thick and secured together.

23. Avoid using **tree trunks** as winch supports for moving or lifting heavy loads.

24. The **staging area and route(s) of access** should be established beyond TPZs.

25. Excavation for section of drive (parking space location) beneath **#4's canopy** should first be performed by a **one-foot wide trench** being **manually dug** along the perimeter of where soil excavation will occur closest to the tree's trunk, and down to the required subgrade depth (to avoid roots breaking and being damaged closer to the trunk than otherwise needed). Roots encountered with diameters of >two inches shall be cleanly severed by hand (at 90° to the direction of root growth) against the tree side of the trench. All soil beyond the trench (i.e. away from the tree) can then be mechanically excavated using heavy equipment, and remaining outside the fenced area(s). Alternatively, the use of a **stump grinder** could be utilized precisely where a curb gutter and any overcut (12" max) will be established.

26. Any approved **digging or trenching** within a TPZ, shall be **manually performed** without the use of heavy equipment or tractors operating on unpaved ground beneath canopies.

27. Avoid damaging or cutting **roots** with diameters ≥two inches. Should roots of this size be encountered, within one hour of exposure, they should either be covered by burlap that remains continually moist until covered by soil. If they are approved for cutting, cleanly severe at 90° to the angle of root growth against the cut line (using loppers or a sharp hand saw), and then immediately after, the cut end either buried with soil or covered by a plastic sandwich bag (and secured using a rubber band, and removed just before backfilling).

28. **Tree pruning** shall only be performed in accordance with ANSI A300-2001 standards, by a California licensed tree-service contractor (D-49) that has an ISA certified arborist in a supervisory role, carries General Liability and Worker's Compensation insurance, and abides by ANSI Z133.1-2006 (Safety Operations).

29. Removing **existing hardscape and home** within and near a TPZ, such as for **tree #14**, must be carefully performed to avoid excavating roots and soil during the process (and above-ground portion of a tree). The section of existing hardscape within the designed-fenced area for **#14** should be manually performed.

30. The **root zone buffer** for **tree #14** shall be installed immediately following demolition of the existing rear patio (completed prior to basement excavation).

31. Any **fence posts** to be established within a TPZ, must be carefully designed to avoid potential significant impacts. In doing so, I recommend they are planned to be at least two to three feet from a trunk, minimized in diameter, and spaced as far apart as possible (e.g. at least five plus feet apart). The design should specify that the post holes are manually dug using a post hole digger or shovel, and roots two inches and greater in diameter retained and protected during the process (in the event a root of this size is encountered during digging, the hole should be shifted over 12 inches and the process repeated).

32. **Spills** created during digging shall not be piled or spread on unpaved ground within a TPZ. If essential, spills can be temporarily piled on plywood or a tarp.

33. **Dust** accumulating on trunks and canopies during dry weather periods should be periodically **washed** away (e.g. every two to three months).

34. **Avoid disposing** harmful products (such as cement, paint, chemicals, oil and gasoline) beneath canopies or anywhere on site that allows drainage within or near TPZs. **Herbicides** should not be used with a TPZ; where used on site, they should be labeled for safe use near trees. **Liming** shall not occur within 50 feet from a trunk.

35. Great care must be taken by **equipment operators** to position their equipment to avoid the trunks and branches of trees, including the scorching of foliage (including along the road).

36. **Fertilization** may benefit the trees' health, vigor and appearance. If applied, however, soil samples should first be obtained to identify the pH levels and nutrient levels so a proper fertilization program can be established. I further recommend any fertilization is performed under the direction and supervision of a certified arborist, and in accordance with ANSI A300 (Part 2) - 2004 Fertilization standards.

6.0 ASSUMPTIONS AND LIMITING CONDITIONS

- All information presented herein covers only the inventoried trees, and reflects their size, condition, and areas viewed within the project site and from the ground on May 21, 2015.
- Documented condition, suitability ratings and species of dormant trees are subject to change once they can be observed following the growth of new leaves.
- My observations were performed visually without probing, coring, dissecting or excavating. I cannot, in any way, assume responsibility for any defects that could only have been discovered by performing the mentioned services in the specific area(s) where a defect was located.
- The assignment pertains solely to trees listed in Exhibit A. I hold no opinion towards other trees on or surrounding the project area.
- I cannot provide a guarantee or warranty, expressed or implied, that deficiencies or problems of any tree or property in question may not arise in the future.
- No assurance can be offered that if all my recommendations and precautionary measures (verbal or in writing) are accepted and followed, that the desired results may be achieved.
- I cannot guarantee or be responsible for the accuracy of information provided by others.
- I assume no responsibility for the means and methods used by any person or company implementing the recommendations provided in this report.
- The information provided herein represents my opinion. Accordingly, my fee is in no way contingent upon the reporting of a specified finding, conclusion or value.
- The numbers shown on the site map in Exhibit B are intended to only roughly approximate a tree's location, or group location, and shall not be considered surveyed points.
- This report is proprietary to me and may not be copied or reproduced in whole or part without prior written consent. It has been prepared for the sole and exclusive use of the parties to who submitted for the purpose of contracting services provided by David L. Babby.
- If any part of this report or copy thereof be lost or altered, the entire evaluation shall be invalid.

Prepared By: 
David L. Babby
Registered Consulting Arborist® #399
Board-Certified Master Arborist® #WE-40018

Date: September 21, 2015



DRAWINGS PREPARED BY

CHRIS SPAULDING
ARCHITECT

801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
9-22-14	db
6-25-15	
9-24-15	
12-8-15	
12-22-15	
1-26-16	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW HOME
18151 OVERLOOK ROAD
LOS GATOS CALIFORNIA

DATE:	6-10-14
SCALE:	AS NOTED
DRAWN:	ELCS/DB/KD
JOB:	TATE - OVERLOOK
SHEET	

A6
OF 7 SHEETS

EXHIBIT A:
TREE INVENTORY TABLE
(three sheets)

18151 Overlook Road, Los Gatos
Town of Los Gatos Community Development Department

TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE		CONDITION			
		Trunk Diameter (in.)	Canopy Spread (ft.)	Health Condition (Poor-Best, Overall)	Structural Integrity (Poor-Best, Overall)	Special Condition (Good/Fair/Poor/Best)	Stability for Preservation (High/Moderate/Low)
1	Dead tree (<i>Cedrus deodora</i>)	22	55	60%	70%	Poor	Moderate
Comments: Offsite, center of trunk about 10' from fence and 17' from street. Added to map. Very sparse canopy, marginal or lesser condition. Ivy throughout most of decline.							
2	Monterey pine (<i>Pinus radiata</i>)	18	35	60%	30%	Poor	Low
Comments: Asymmetrical, poor form and a stunted trunk. Dead branches overhanging driveway. Numerous large cuts along lower trunk and crown. Excessive limb weight.							
3	Western redbud (<i>Cercis occidentalis</i>)	5.3	20	60%	30%	Poor	Low
Comments: First pruning relegated to elevating crown. Remaining canopy is dense with poor form. Street tree.							
4	European beech (<i>Fagus sylvatica</i>)	16	45	60%	70%	Fair	Moderate
Comments: Offsite, center of trunk about 5' north of gate and 5' west of shared fence. Added to map. Excessive limb weight. The entire lower trunk is not visible.							
5	Evergreen pine (<i>Pinus lawsoniana</i>)	5	10	50%	30%	Poor	Low
Comments: Highly asymmetrical, one-sided canopy away from #2. Stunted, very poor form.							
6	Coast live oak (<i>Quercus agrifolia</i>)	23	35	90%	80%	Fair	Moderate
Comments: Offsite, center of trunk about 4' from fence. Added to map. Asymmetrical away from site. Multi-leader structure and narrow form.							

Site: 18151 Overlook Road, Los Gatos
Prepared for: Town of Los Gatos
Prepared by: David L. Babby
1 of 3 September 21, 2015

TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE		CONDITION			
		Trunk Diameter (in.)	Canopy Spread (ft.)	Health Condition (Poor-Best, Overall)	Structural Integrity (Poor-Best, Overall)	Special Condition (Good/Fair/Poor/Best)	Stability for Preservation (High/Moderate/Low)
7	Coast live oak (<i>Quercus agrifolia</i>)	17	30	60%	30%	Poor	Low
Comments: Offsite, center of trunk about 8' from fence. Added to map. Stunted form. Asymmetrical, one-sided canopy entirely away from site. Multi-leader structure. Partial buried root collar.							
8	Monterey pine (<i>Pinus radiata</i>)	15	25	50%	50%	Fair	Moderate
Comments: Offsite, center of trunk about 7' from fence. Narrow form. Added to map.							
9	Glossy privet (<i>Ligustrum lucidum</i>)	11	25	90%	40%	Poor	Low
Comments: Offsite, trunk base abuts fence. Added to map. Crowded conditions beneath #8 and #11.							
10	Glossy privet (<i>Ligustrum lucidum</i>)	9	10	60%	30%	Poor	Low
Comments: Offsite, center of trunk about 13' from fence. Added to map. Trunk grows thru fence from neighbor's side, then upright. Stems/dense growth of vegetation in canopy.							
11	Coast live oak (<i>Quercus agrifolia</i>)	35	45	80%	60%	Poor	Moderate
Comments: Moderate to low suitability. Significant soil disturbance beneath canopy - compaction and soil displaced from a small tractor (recent operation, likely during wet soil conditions). Partial root collar. Small, recent scar along lower trunk. Sparse canopy. Asymmetrical, mostly one-sided canopy that is dominant towards south side (due to crowded conditions). Very high canopy and excessively pruned in past. Trunk bifurcates into codominant leaders at 6' above grade, the central leader has a multi limb structure.							

Site: 18151 Overlook Road, Los Gatos
Prepared for: Town of Los Gatos
Prepared by: David L. Babby
2 of 3 September 21, 2015

TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE		CONDITION			
		Trunk Diameter (in.)	Canopy Spread (ft.)	Health Condition (Poor-Best, Overall)	Structural Integrity (Poor-Best, Overall)	Special Condition (Good/Fair/Poor/Best)	Stability for Preservation (High/Moderate/Low)
12	Monterey pine (<i>Pinus radiata</i>)	36	60	60%	40%	Poor	Low
Comments: Offsite, center of trunk about 10' from fence. Added to map. Visibility of trunk and canopy is highly inhibited, what is seen of canopy indicates health is poor (further examination is needed if more accurate assessment is necessary). Very high canopy and excessive limb weight. Large deadwood within lower canopy.							
13	Glossy privet (<i>Ligustrum lucidum</i>)	8, 6, 5, 4	20	50%	30%	Poor	Low
Comments: Offsite, center of trunk about 3' from fence. Added to map. Topped before. Excessive limb weight.							
14	Coast live oak (<i>Quercus agrifolia</i>)	35	65	60%	40%	Fair	Moderate
Comments: Asymmetrical, one-sided canopy towards south. Root collar is buried by river rock and possibly worse still. Low limb towards west, and its removal back to trunk is anticipated (a severe impact). A large 1.5' tall by 1.4' wide wound along the trunk's south side is filled with foam, and as such, the extent of decay is unknown. Significant soil disturbance beneath canopy (see tree #11 for further discussion).							
15	Pacific wax myrtle (<i>Myrica californica</i>)	5	10	50%	40%	Poor	Low
Comments: Crowded growing conditions. Could also be regarded as a tall shrub. Added to map.							

Site: 18151 Overlook Road, Los Gatos
Prepared for: Town of Los Gatos
Prepared by: David L. Babby
3 of 3 September 21, 2015

DRAWINGS PREPARED BY
CHRIS SPAULDING
ARCHITECT

801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
9-22-14	db
6-25-15	
9-24-15	
12-8-15	
12-22-15	
1-26-16	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW HOME
18151 OVERLOOK ROAD
LOS GATOS CALIFORNIA

EXHIBIT B:
SITE MAP
(one sheet)

18151 Overlook Road, Los Gatos
Town of Los Gatos Community Development Department

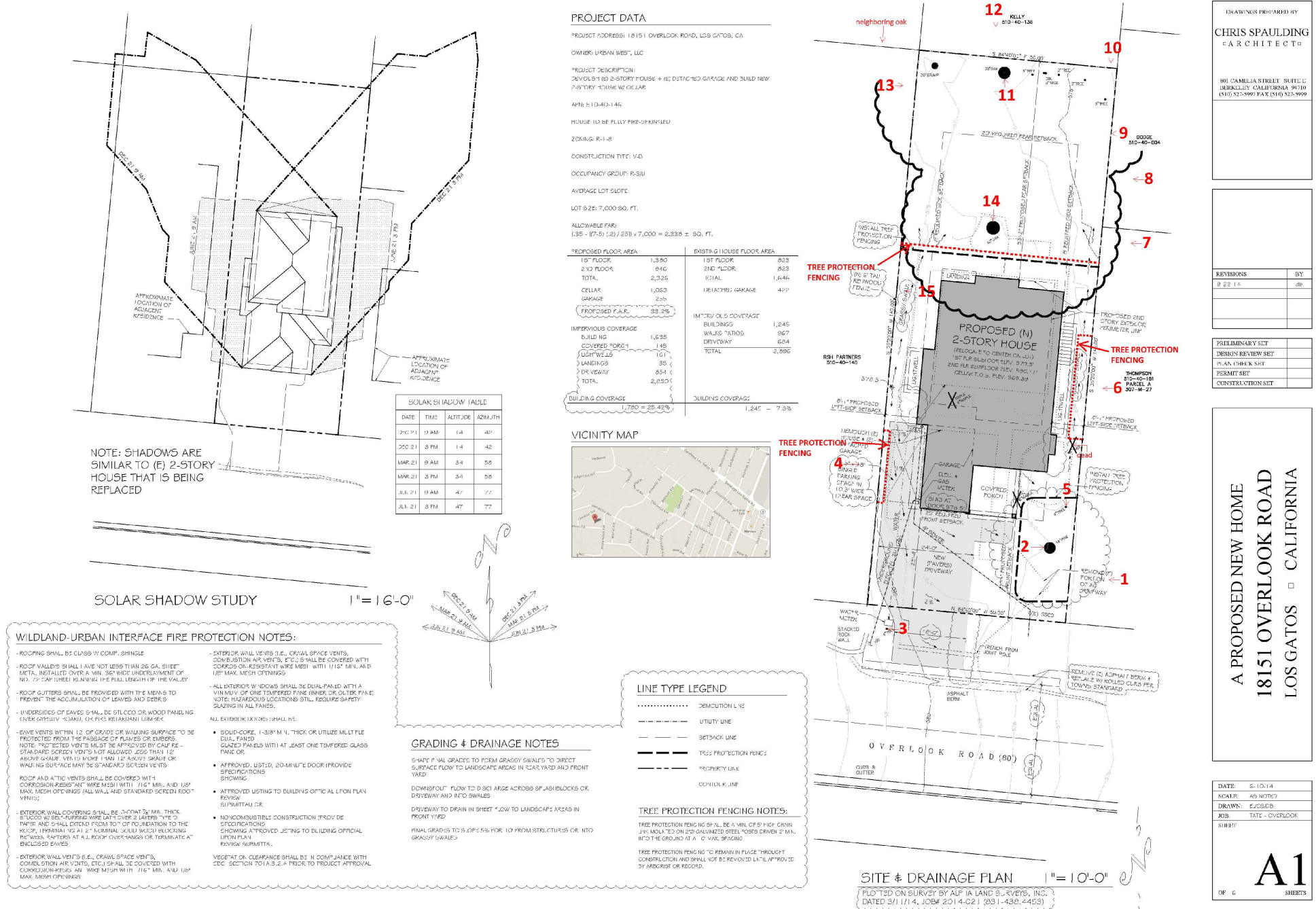


EXHIBIT C:
PHOTOGRAPHS
(four sheets)

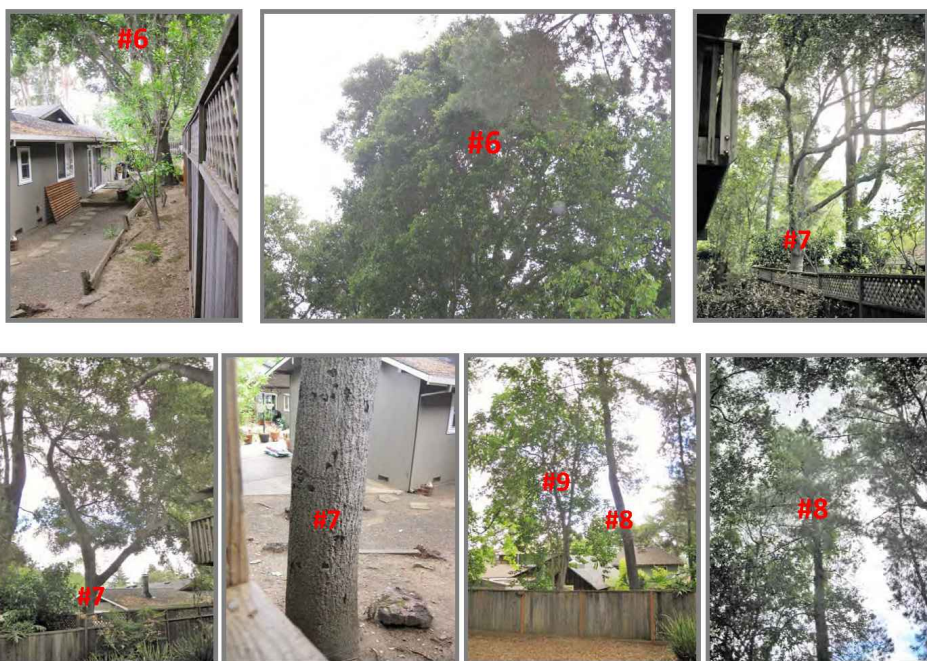
Photo Index

Page C-1: Trees #1 thru 6
Page C-2: Trees #6 thru 9
Page C-3: Trees #10 thru 13
Page C-4: Trees #14 and 15

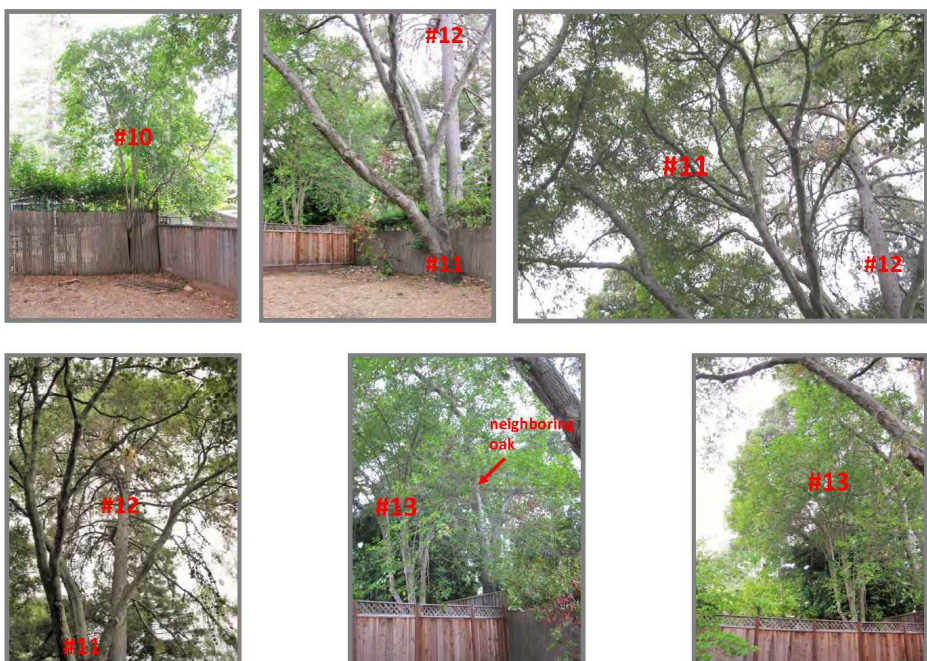
18151 Overlook Road, Los Gatos
Town of Los Gatos Community Development Department



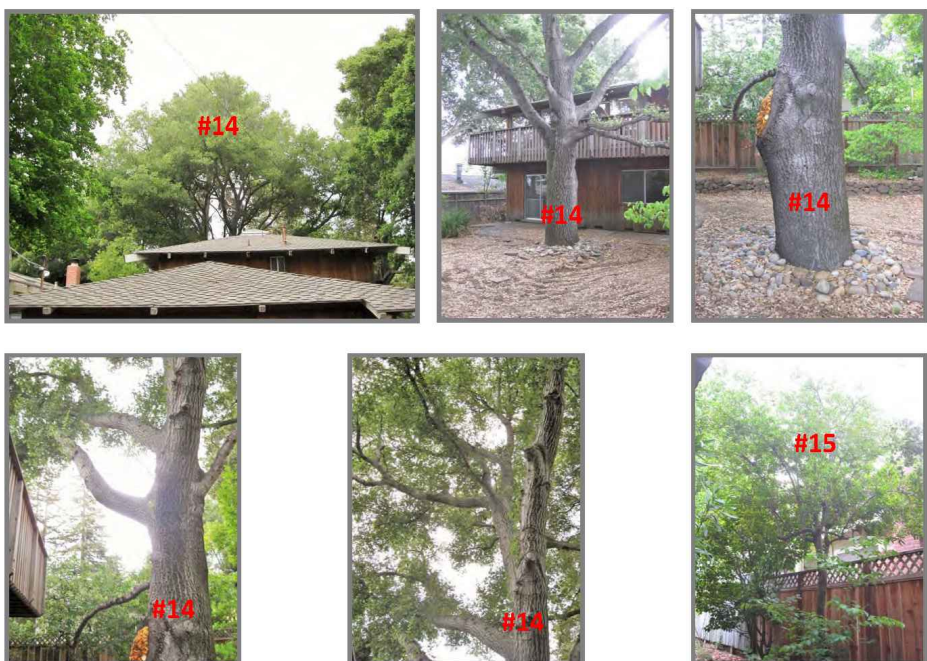
18151 Overlook Road, Los Gatos
Town of Los Gatos Community Development Department
Page C-1



18151 Overlook Road, Los Gatos
Town of Los Gatos Community Development Department
Page C-2



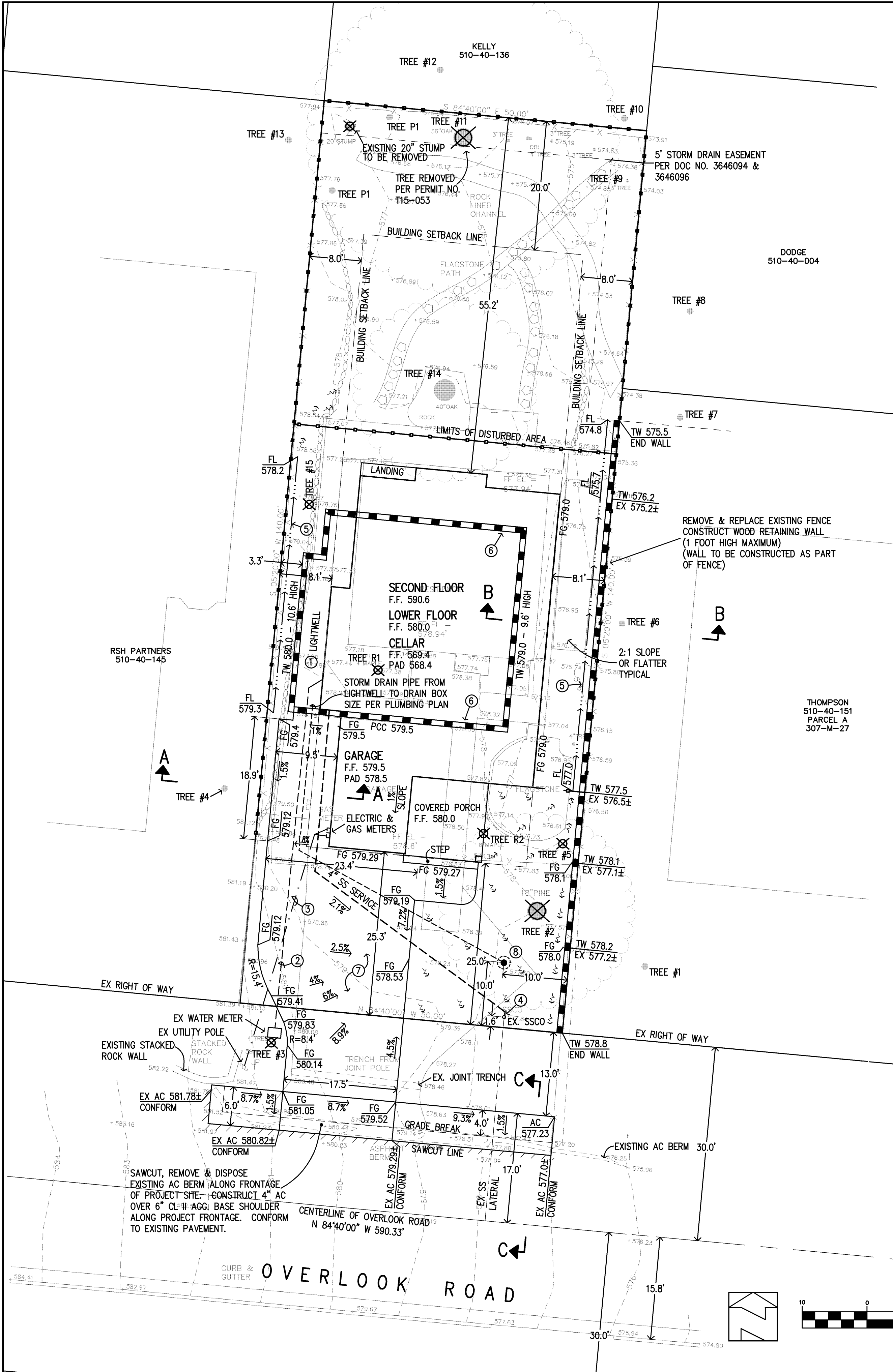
18151 Overlook Road, Los Gatos
Town of Los Gatos Community Development Department
Page C-3



18151 Overlook Road, Los Gatos
Town of Los Gatos Community Development Department
Page C-4

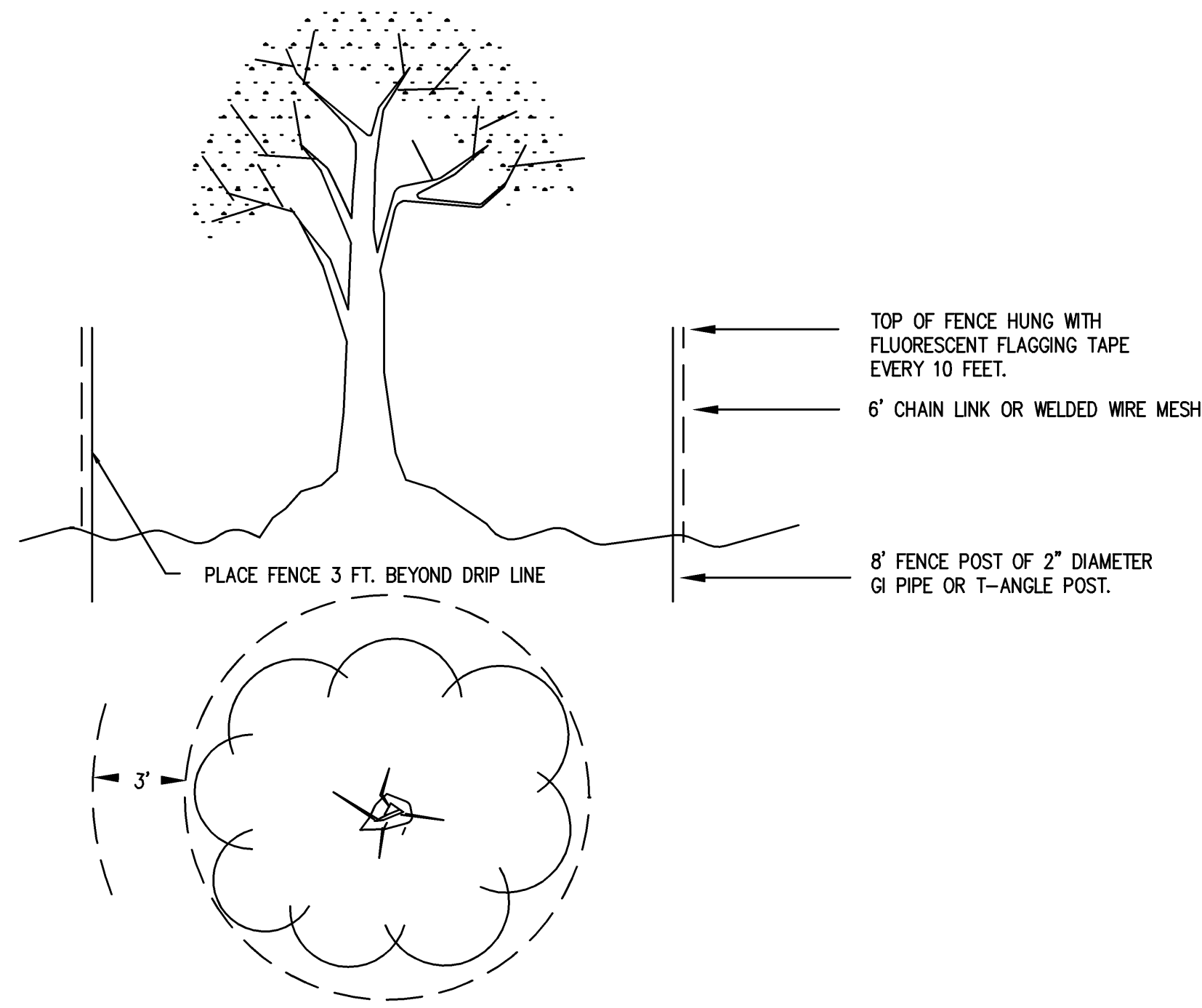
DATE:	6-10-14
SCALE:	AS NOTED
DRAWN:	EL/CS/DB/K/D
JOB:	TATE - OVERLOOK
SHEET	

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



TREE REMOVAL TABLE		
TREE	DIAMETER	REMOVE?
1	22"	NO
2	18"	YES
3	5"	YES
4	16"	NO
5	5"	YES
6	23"	NO
7	17"	NO
8	15"	NO
9	11"	NO
10	9"	NO
11	36"	YES
12	36"	NO
13	5", 6", & 4"	NO
14	35"	NO
15	5"	YES
R1	4"	YES
R2	8"	YES

TREE PLANTING TABLE		
TREE	DIAMETER	PLANT?
P1	36"	YES



TYPICAL TREE PROTECTION DETAIL

TREE PROTECTION NOTES

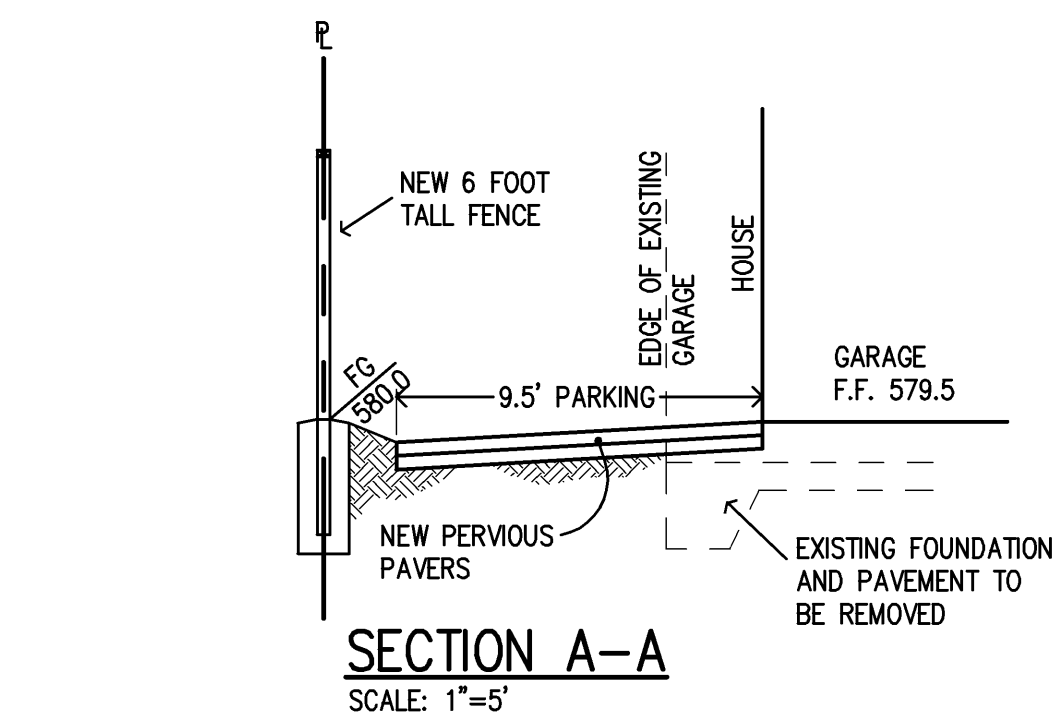
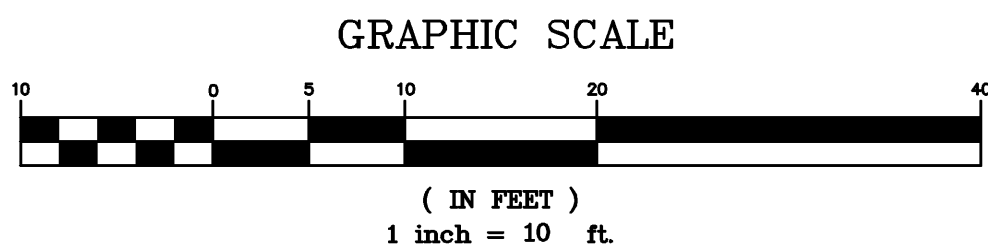
1. THE DEVELOPER SHALL INSTALL THE "TREE PROTECTION" DEVICES PRIOR TO THE START OF GRADING OR CLEARING WORK.
2. THE COUNTY RESERVES THE RIGHT TO ISSUE A "STOP WORK" NOTICE IF THE "TREE PROTECTION" DEVICES ARE NOT MAINTAINED PROPERLY.
3. SEE THE PROJECT GRADING PLAN FOR SPECIFIC TREES THAT REQUIRE PROTECTION. ALL SPECIMEN TREES REQUIRE PROTECTION UNLESS OTHERWISE NOTED.
4. NO EXCAVATIONS WITHIN "THE TREE PROTECTION AREA" ARE ALLOWED UNLESS UNDER THE SUPERVISION OF A TREE SERVICE COMPANY.
5. ANY FILLING WITHIN THE "TREE PROTECTION AREA" SHALL BE DONE IN ACCORDANCE WITH A DETAILED IMPROVEMENT PLAN APPROVED BY THE COUNTY.
6. NO TRIMMING, CUTTING NOR PRUNING OF DESIGNATED TREES CAN OCCUR WITHOUT A REGISTERED TREE SERVICE COMPANY.
7. APPROVED WOOD CONSTRUCTION IS AN ACCEPTABLE SUBSTITUTE FOR THE CHAIN LINK FENCING.

CONSTRUCTION NOTES:

- ① DRAINAGE FROM LIGHTWELLS WILL BE PUMPED AND DIRECTED TO DRAIN BOX.
- ② DOMESTIC WATER SERVICE; SEE PLUMBING PLANS FOR SIZE
- ③ UNDERGROUND DRY UTILITIES TO HOUSE (CATV, TELE, GAS, ELECTRIC) SEE ARCHITECTURAL PLANS FOR CONNECTION POINT INTO HOUSE
- ④ CONNECT NEW SANITARY SEWER SERVICE TO EXISTING SEWER CLEANOUT
- ⑤ PROVIDE EARTHEN DITCH PER DETAIL; THIS SHEET
- ⑥ CONSTRUCT FOUNDATION/RETAINING WALL SEE STRUCTURAL PLANS FOR DIMENSIONS AND DETAILS
- ⑦ PROVIDE PERVIOUS PAVEMENT SURFACE SEE ARCHITECTURAL PLANS FOR DETAILS
- ⑧ DRAIN BOX PER DETAIL; THIS SHEET

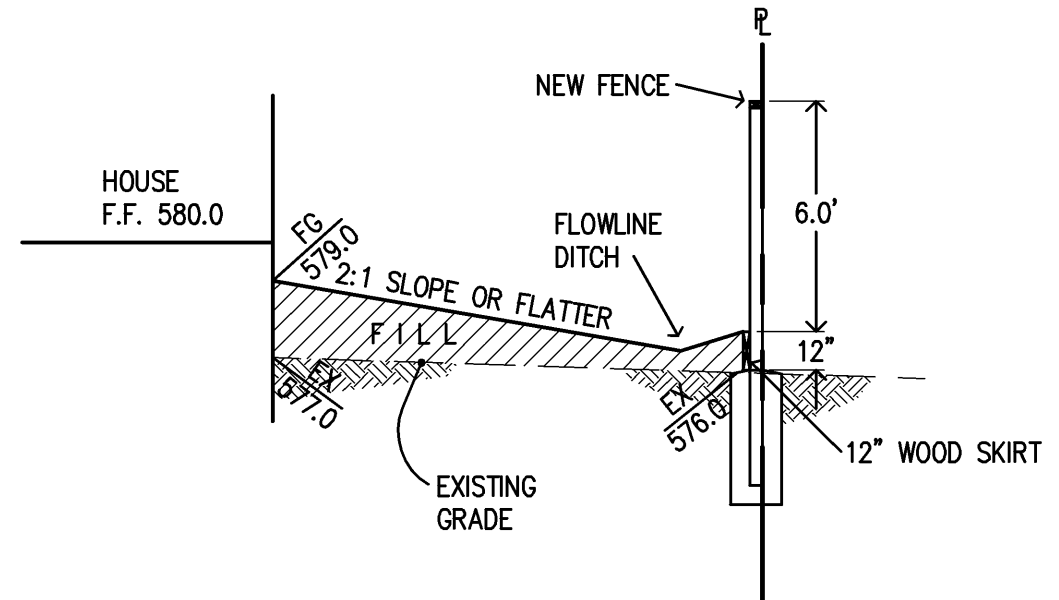
NOTES:

1. CONTRACTOR TO HAND DIG AREA AROUND TREE NO. 4 PER ARBORIST RECOMMENDATIONS
2. CONTRACTOR TO PROVIDE TREE PROTECTION AROUND EXISTING TREES DURING CONSTRUCTION. SEE "TREE PROTECTION" DETAIL THIS SHEET.
3. EXISTING FENCING ALONG PROPERTY LINE TO BE REMOVED AND REPLACED SEE ARCHITECTURAL PLANS FOR DETAILS



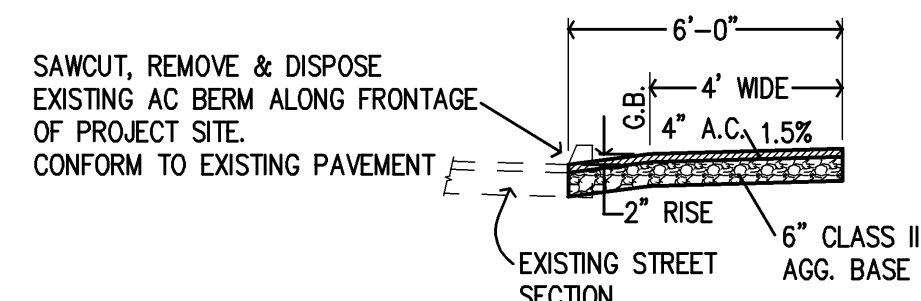
SECTION A-A

SCALE: 1"=5'



SECTION B-B

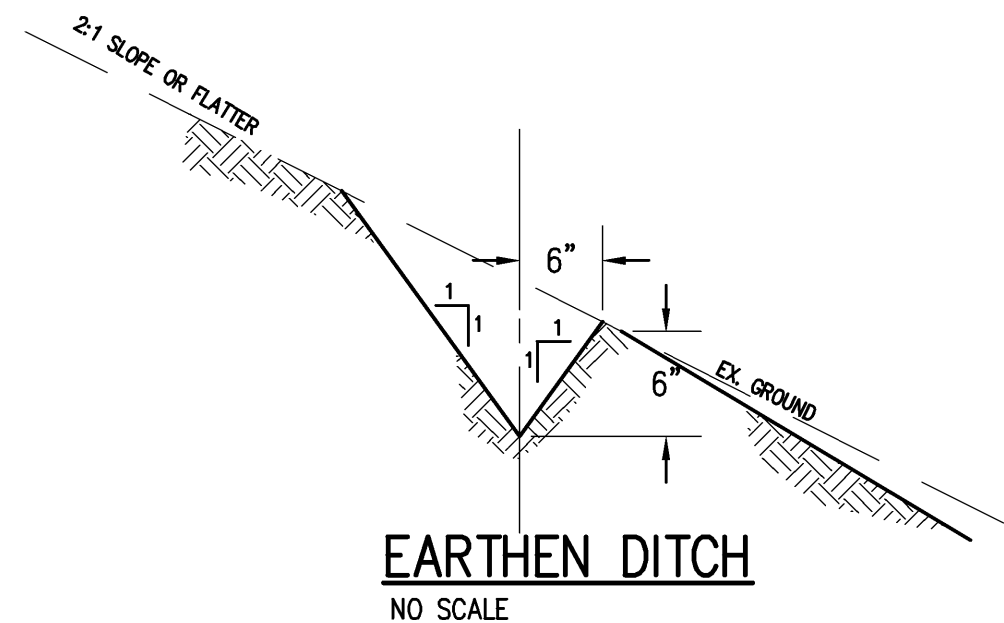
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SECTION C-C

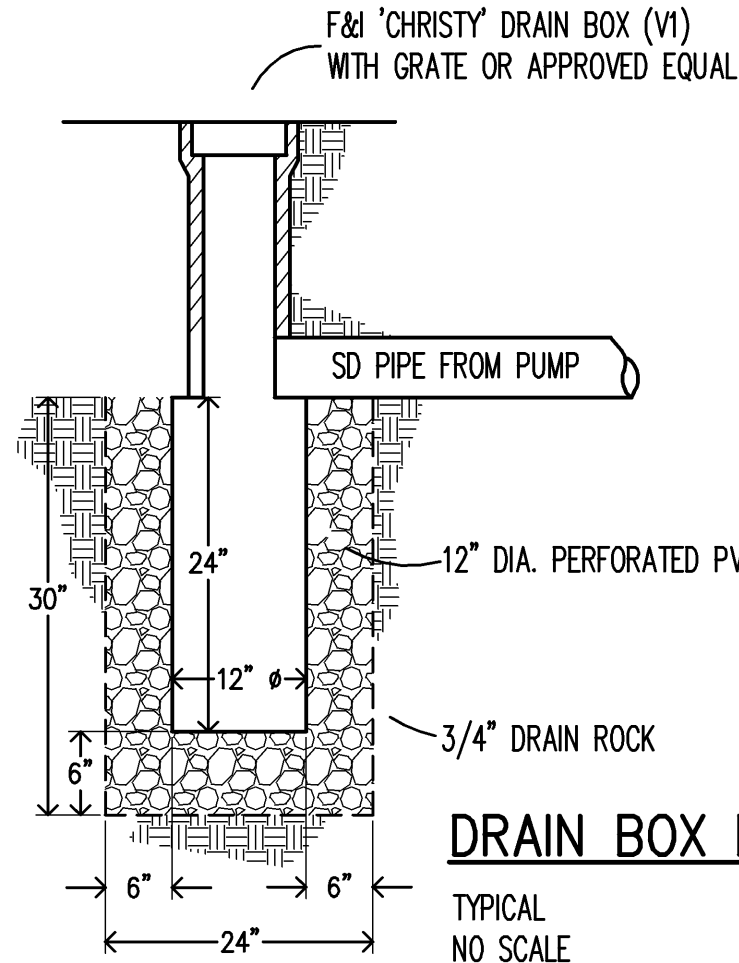
TYPICAL AC SHOULDER

SCALE: 1"=4'



EARTHEN DITCH

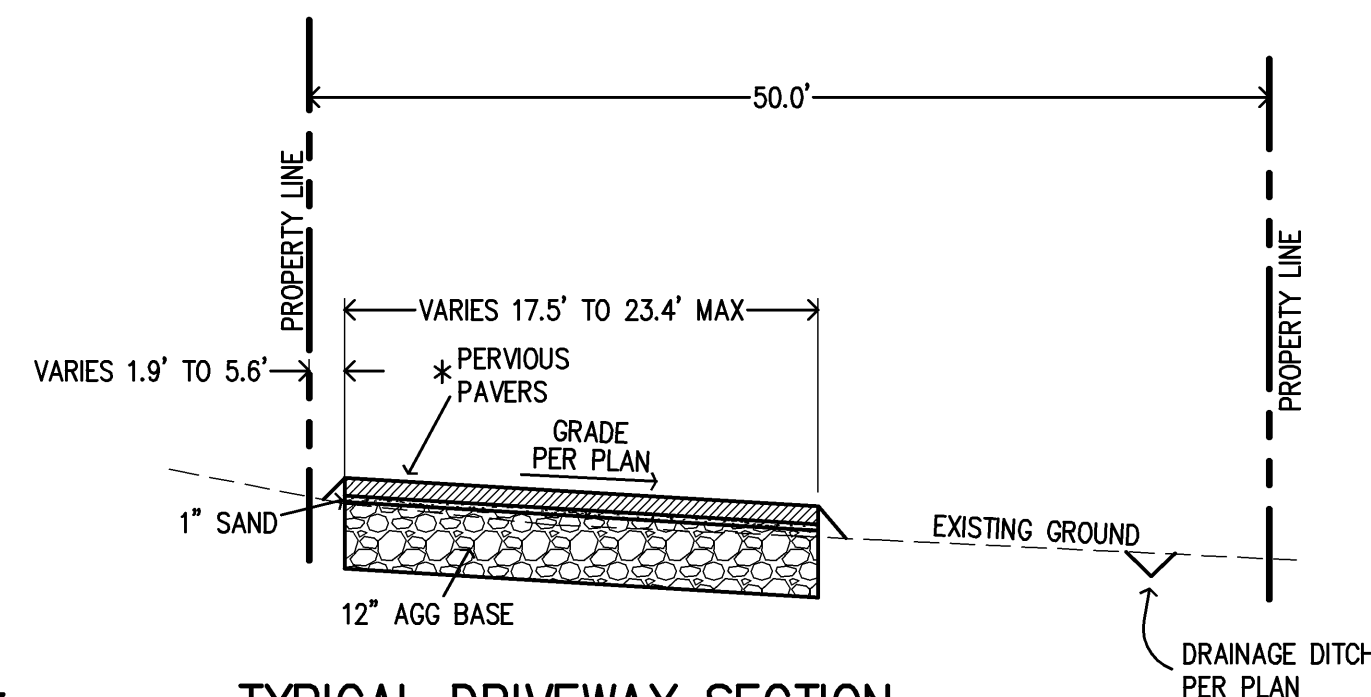
NO SCALE



DRAIN BOX DETAIL

TYPICAL

NO SCALE



TYPICAL DRIVEWAY SECTION

NOT TO SCALE

*USE MANUFACTURER'S RECOMMENDATION FOR PERVIOUS PAVERS

REVISIONS:		
DATE	DESCRIPTION	BY:

Hanna Brunetti
• Civil Engineers • Land Surveyors •
• Construction Managers •
Gilroy California (408) 842-2173

DATE: JANUARY 2016

HORIZ. SCALE: 1"=10'

VERT. SCALE: NONE

DESIGNED BY: JS

CHECKED BY:

DRAWN BY:

REFERENCES

Preliminary Grading & Drainage Plan

18151 Overlook Road - APN 510-40-146

TOWN OF LOS GATOS
JANUARY 2016

SANTA CLARA COUNTY
CALIFORNIA

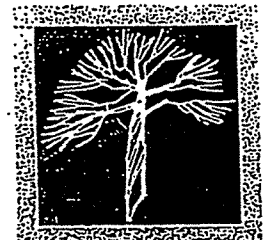
SHEET

3

OF 3

JOB NO.

15025



THOMAS SCHERER
ASSOCIATES
Landscape Architecture

P.O. Box 68, Aptos, CA 95001
Tel (831) 688-8913
Fax (831) 688-3135

sheet title

Planting Plan Details & Notes

RESIDENCE
18151 OVERLOOK ROAD
LOS GATOS, CA

APN 510-40-146

project

revisions

1-27-2016 TJS

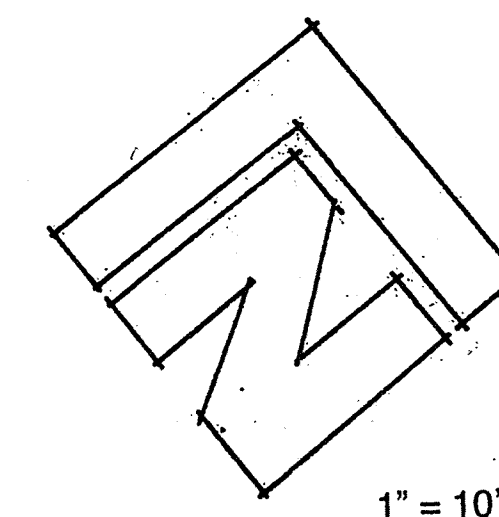
date 11-16-2015

drawn TJS

sheet no

L-1

of 1



1" = 10' - 0"

Plant Schedule:

Symbol	Botanical Name	Common Name	Size	Water Rating	Quantity
△ Trees:					
A	Quercus kelloggii	California Black Oak	36" Box	L	1
B	Cercis occidentalis	Western Redbud	36" Box	VL	1
C	Quercus agrifolia	Coast Live Oak	36" Box	VL	1
△ Shrubs:					
1	Arctostaphylos d. 'H. McMin'	Manzanita	5 g.c.	L	5
2	Westringia f. 'Morning Light'	Coast Rosemary	5 g.c.	L	7
3	Rhododendron m. 'Chinoides'	Rhododendron	5 g.c.	M	3
4	Polystichum munitum	Western Sword Fern	5 g.c.	M	6

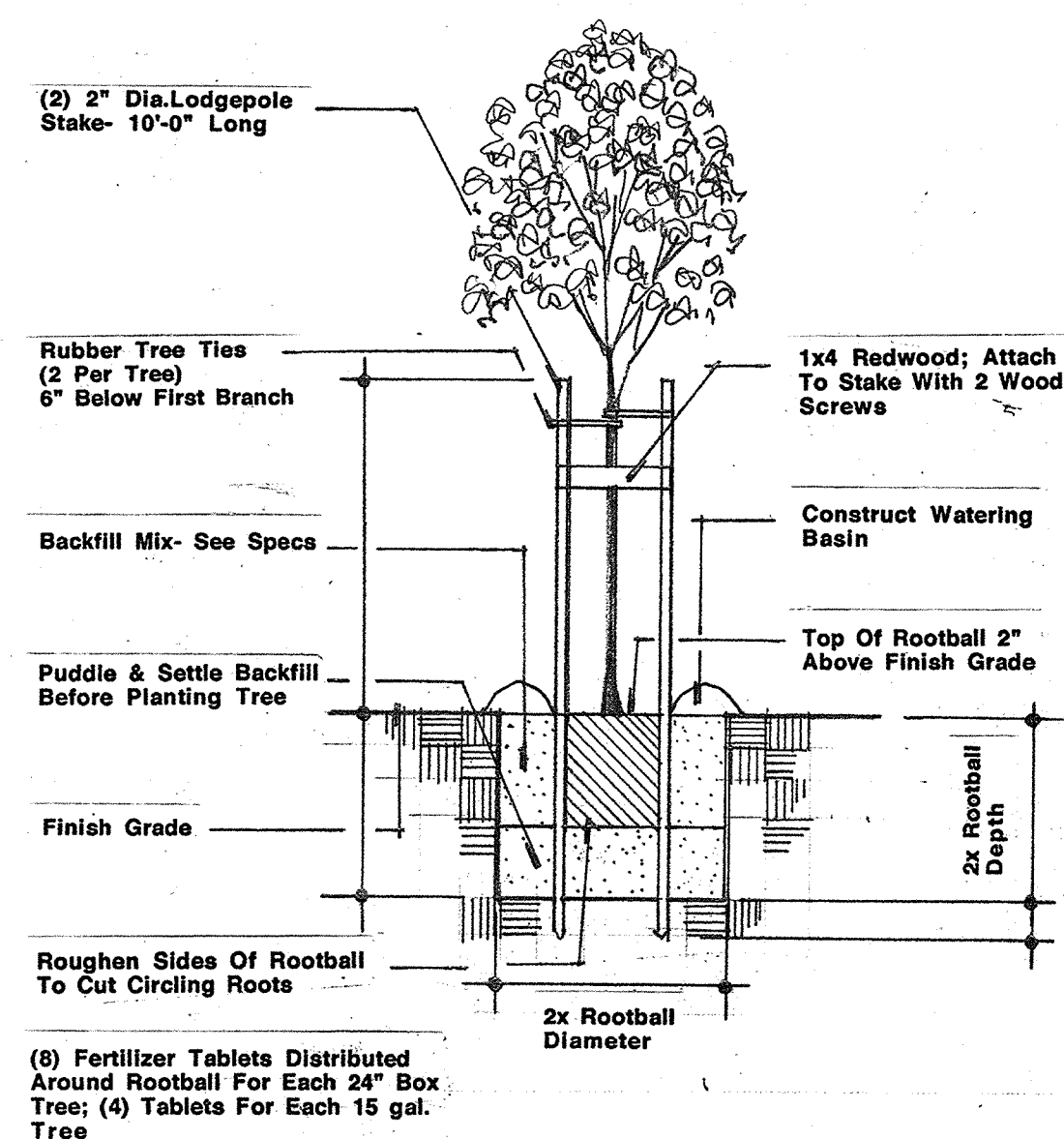
Ground covers:

△		Premium Arbor Mulch By Lyngso Or Equal 6" - 8" Layer	VL		Carex divulsa M Berkeley Sedge Plant 1 g.c. @ 24" o.c.
		Arctostaphylos 'Emerald Carpet' Dwarf Manzanita Plant 1 g.c. @ 36" o.c.	VL		Fragaria vesca M Beach Strawberry Plant From Flats @ 12" o.c.

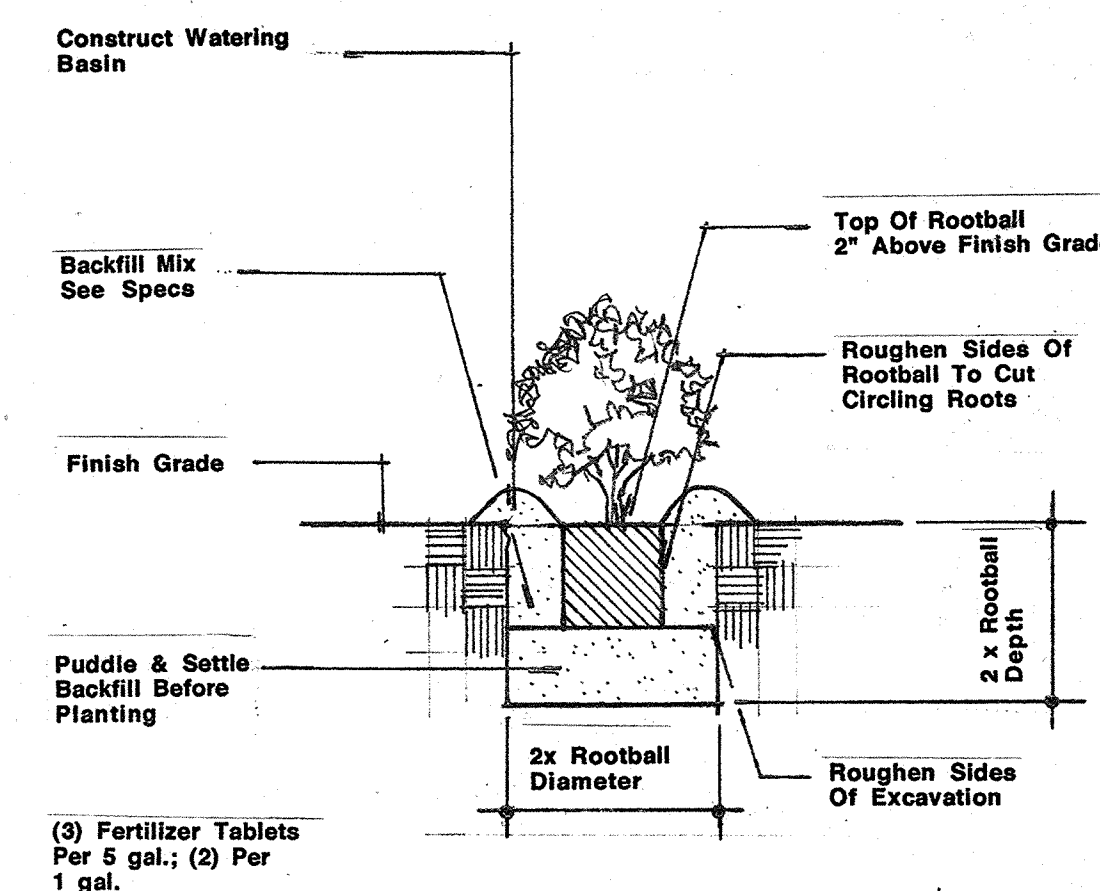
Planting Notes:

- Circles shown indicate approximate mature size of plant material.
- Contractor shall be responsible for adequate erosion control measures during construction.
- No plant shall be planted in a drainage swale regardless of position on plan.
- FINISH GRADING: Till all planter areas to an 8 inch depth. Break up or remove all compacted lumps of soil, rocks larger than 1 inch in diameter, and all deleterious material from planter areas. Finish grade all areas to a smooth, even surface free of abrupt changes in grade. Make minor grading changes as required to insure positive drainage (1% minimum). Slopes 3:1 gradient or greater need not be tilled.
- No plant shall be installed until a fully automatic drip irrigation system, covering all planter areas, is installed, tested and is fully operational.
- PLANTING OF TREES & SHRUBS: Unless otherwise noted,
All trees shall be planted per detail: 1
All shrubs shall be planted per detail: 2
All planter pits shall receive the following back fill mix:
 - 50% soil of the site
 - 30% nitrogen stabilized redwood shavings
 - 20% Nitrohumus or Gro-power or equalAcid loving plants shall receive peat moss
Fertilizer tablets (Agriform 21 gram: 20-10-5) or equal, applied per manufacturer's recommendations.
- Contractor shall guarantee all shrubs, vines & ground covers to live and grow in an acceptable condition for a period of 90 (ninety) days from the date of installation completion.
All trees 24" box or larger and field grown specimen trees shall be similarly guaranteed for a period of 1 (one) year from date of installation.
- Upon completion of planting operations, contractor shall apply an approved pre-emergent herbicide (Bonstar or equal) as weed control per manufacturer's specifications. In addition, a min. 3" inch layer of approved mulch shall be installed over the finish grade of all planter areas.
- MAINTENANCE PERIOD: Contractor shall maintain the site for a period of 90 calendar days after acceptance by owner. Maintenance shall include weeding of all shrub and ground cover areas removal of all trash and debris from planter areas and hardscape areas; pruning and trimming of all plant materials required; replacement of all dead or dying plant material & 2 applications of fertilizer.

Note:
Indicates Existing Oak Already Removed
Per Permit #T-15-053;
Replace With (1) 36" Box Quercus agrifolia
(Coast Live Oak) Per Arborist's recommendation.



1 Tree Staking



2 Shrub Planting

Indicates Existing Trees To Remain
See Arborists Report "Arbor Resources"
David Babby Dated September 21, 2015
For Specifics
All Planting & Irrigation Installation Shall Be
Installed Per Note # 13, Page # 8 Of The Arborists
Report

Note:
Contractor Shall Install A Fully Automatic
Drip Irrigation System For All Proposed
Planting Areas. No Over Head Irrigation
Will Be Allowed.

△ Maintain 6" Distance From
Tree Trunk With Wood Chips-
Typical

OVERLOOK
ROAD