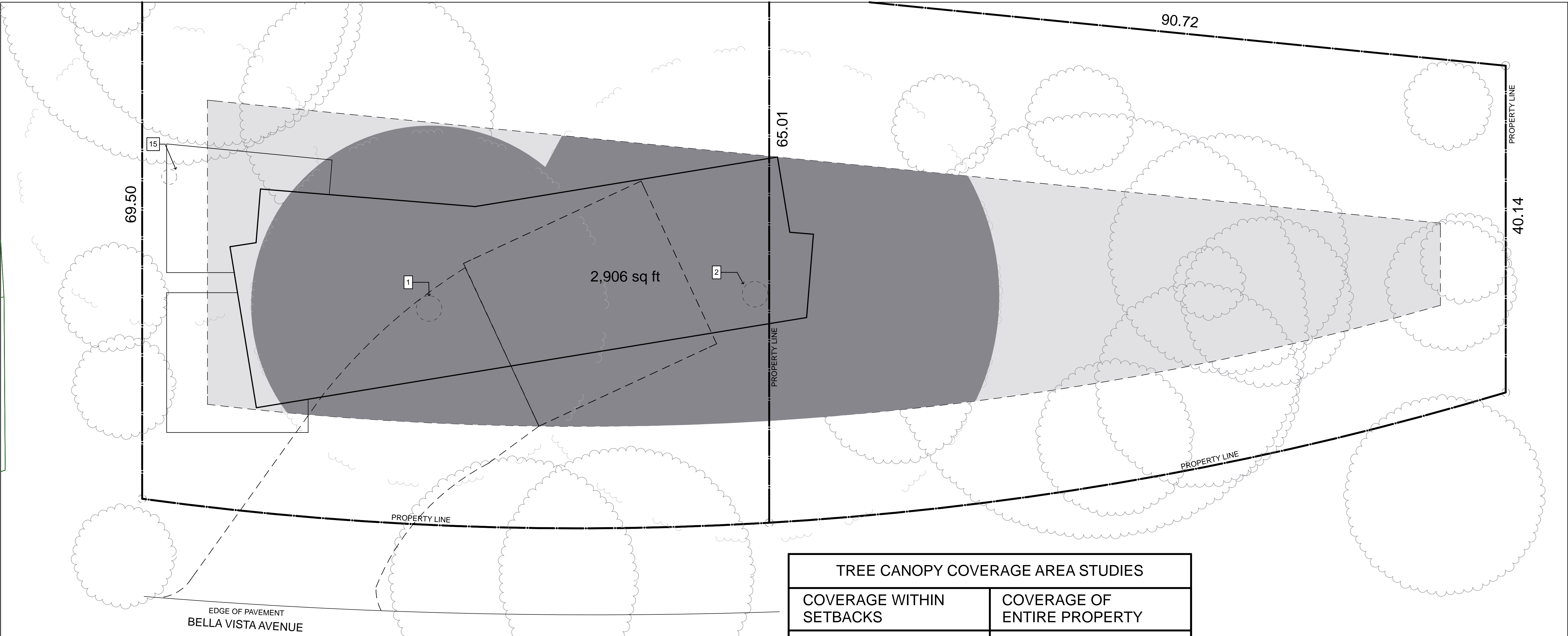


TREES TO BE REMOVED
#1 - COAST LIVE OAK, 45' H X 65' W (DRIP LINE)
#2 - COAST LIVE OAK, 45' H X 65' W (DRIP LINE)
#15 - COAST LIVE OAK, 35' H X 25' W (DRIP LINE)

TREE #2 - COAST LIVE OAK, 45' H X 65' W (DRIP LINE)
ENTIRE CANOPY AREA = 2815± S.F.
BUILDING FOOTPRINT AREA = 1,360 SF
FOOTPRINT COVERAGE PERCENTAGE = 48%

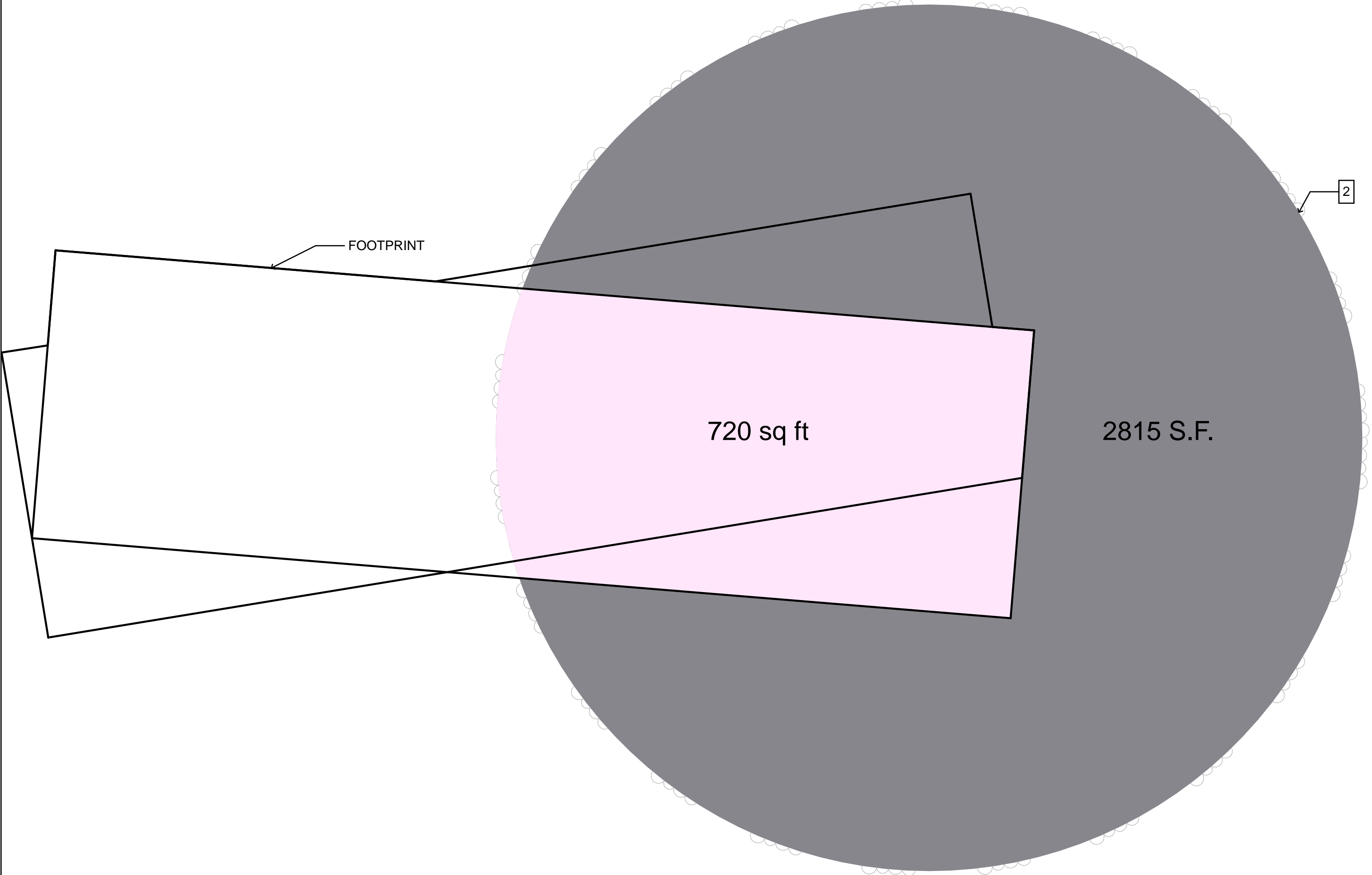
26/15



TREES TO BE REMOVED
#1 - COAST LIVE OAK, 45' H X 65' W (DRIP LINE)
#2 - COAST LIVE OAK, 45' H X 65' W (DRIP LINE)
#15 - COAST LIVE OAK, 35' H X 25' W (DRIP LINE)

TREE CANOPY COVERAGE AREA STUDIES	
COVERAGE WITHIN SETBACKS	COVERAGE OF ENTIRE PROPERTY
4,345 sq ft (SETBACK) LOT AREA	10,182 sq ft (TOTAL) LOT AREA
2,906 sq ft TREE COVERAGE	4,089 sq ft (TOT.) TREE COVERAGE
67% COVERAGE	40% COVERAGE

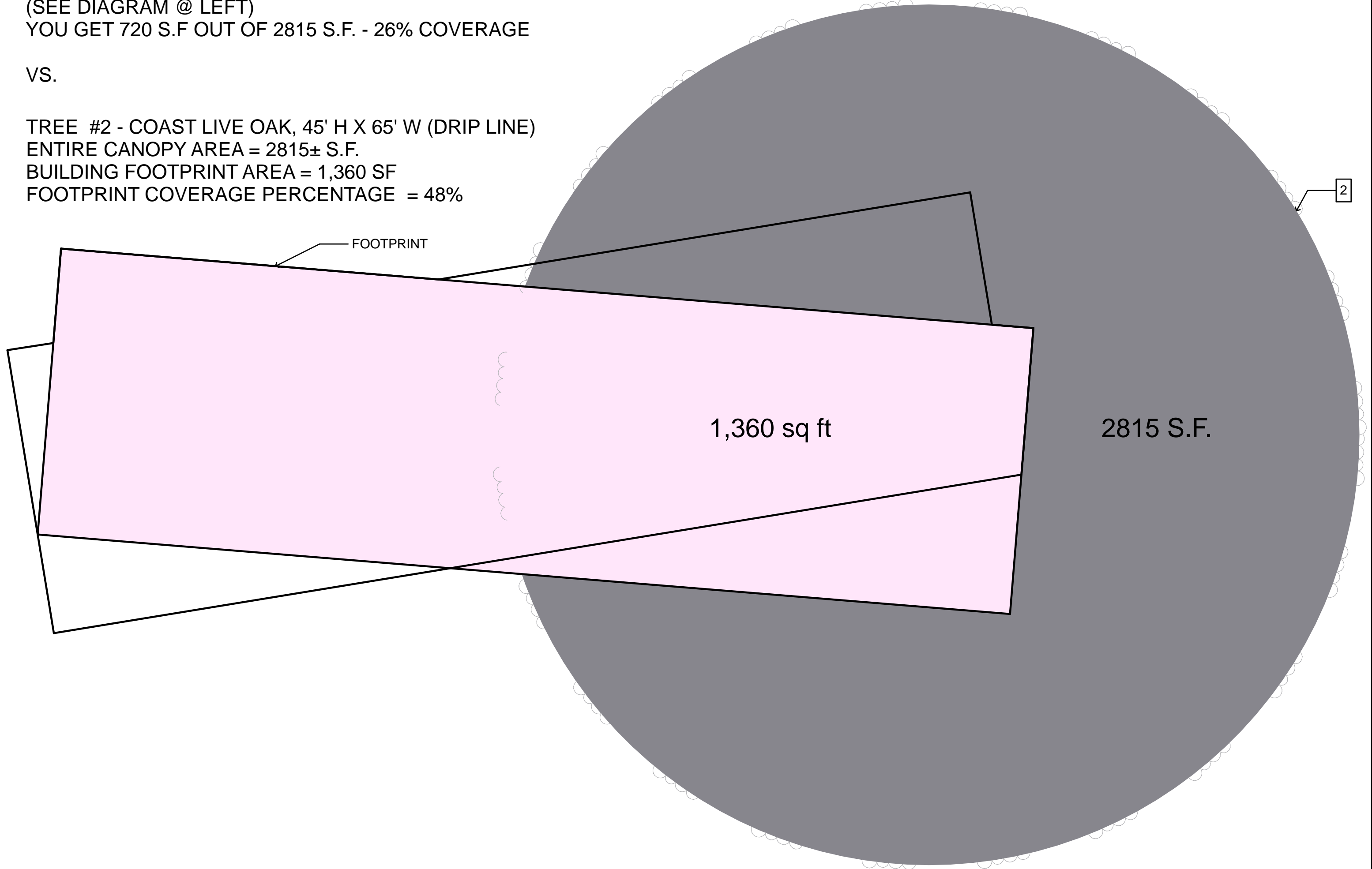
TREE #2 - COAST LIVE OAK, 45' H X 65' W (DRIP LINE)
ENTIRE CANOPY AREA = 2815± S.F.
BUILDING FOOTPRINT AREA = 1,360 SF
FOOTPRINT COVERAGE PERCENTAGE = 48%



NOTE: IF YOU CALCULATE ONLY THE AREA OF THE FOOTPRINT THAT IS UNDER THE CANOPY (SEE DIAGRAM @ LEFT) YOU GET 720 S.F OUT OF 2815 S.F. - 26% COVERAGE

VS.

TREE #2 - COAST LIVE OAK, 45' H X 65' W (DRIP LINE)
ENTIRE CANOPY AREA = 2815± S.F.
BUILDING FOOTPRINT AREA = 1,360 SF
FOOTPRINT COVERAGE PERCENTAGE = 48%



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PROPOSED NEW RESIDENCE FOR:

TREE CANOPY LOT COVERAGE STATISTICS (1)

341 BELLA VISTA AVENUE

LOS GATOS, CALIFORNIA

NOTES:

DRAWING DATE: 10/26/15

A-1.0B



NEIGHBORHOOD COMPARISONS & STREETSCAPE

SCALE: 1/16" = 1'-0"

CONTACT:

341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

NOTES:

DRAWING DATE:

10/26/15

REVISIONS:

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ENGINEERING::

CONTACT::

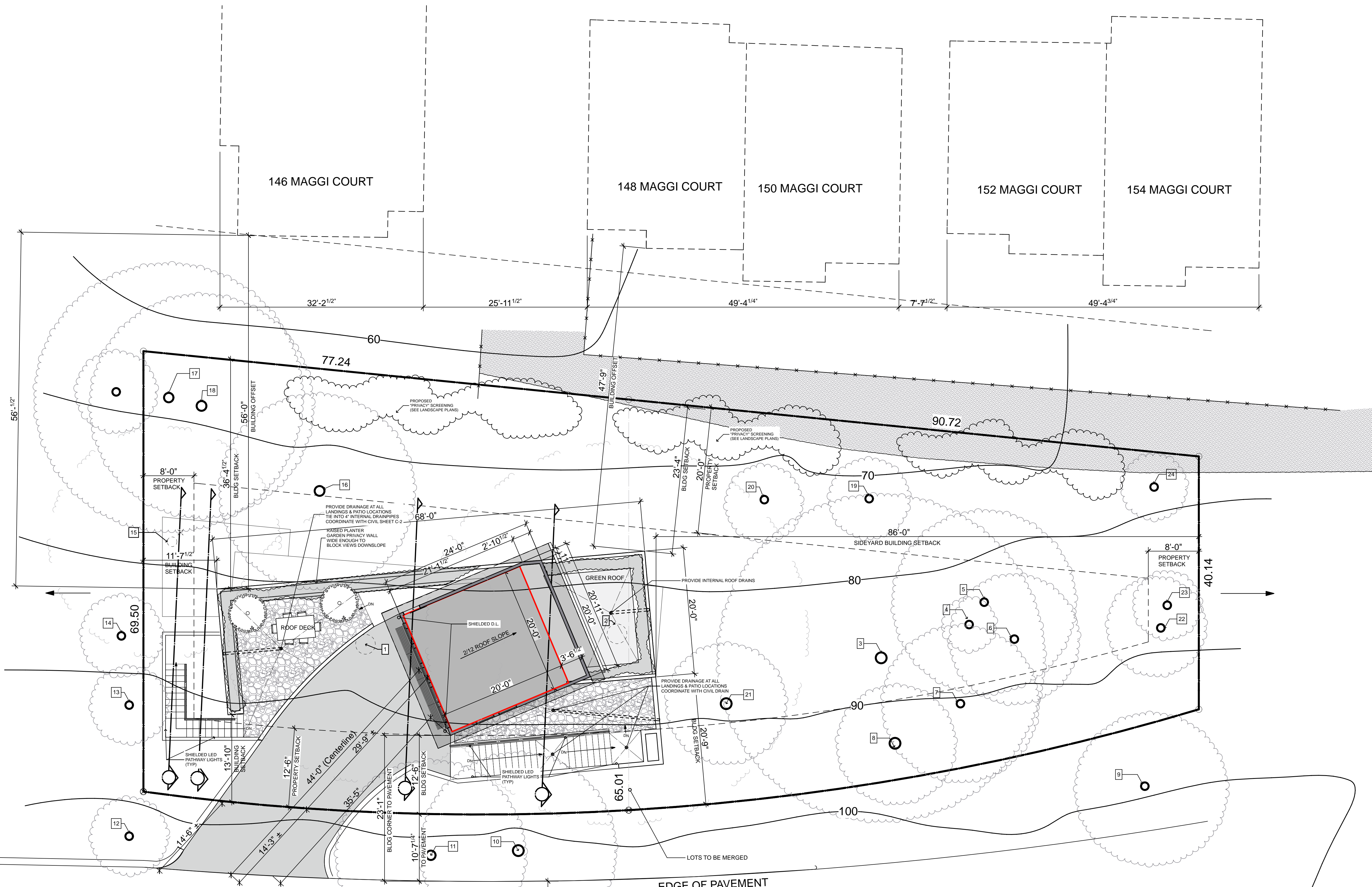
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341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

SHEET
SITE PLAN - ROOF PLAN
NOTES:

DRAWING DATE:
10/26/15

A-1.2

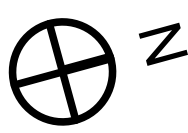


EDGE OF PAVEMENT
BELLA VISTA AVENUE

TREES TO BE REMOVED (SEE A-1.0 FOR MORE INFO)
#1 - COAST LIVE OAK, 45' H X 65' W (DRIP LINE)
#2 - COAST LIVE OAK, 45' H X 65' W (DRIP LINE)
#15 - COAST LIVE OAK, 35' H X 25' W (DRIP LINE)

SITE PLAN

SCALE: 1/8" = 1'-0"

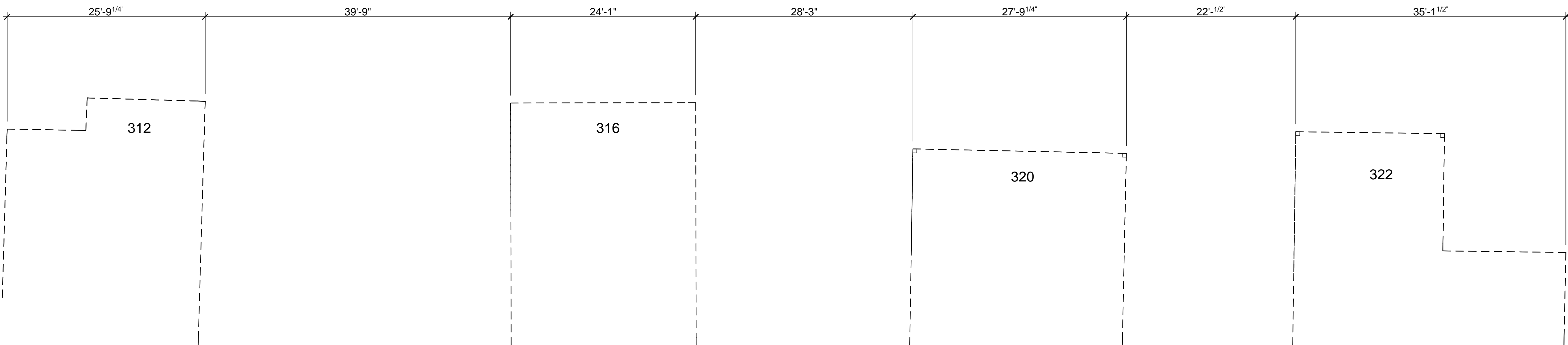


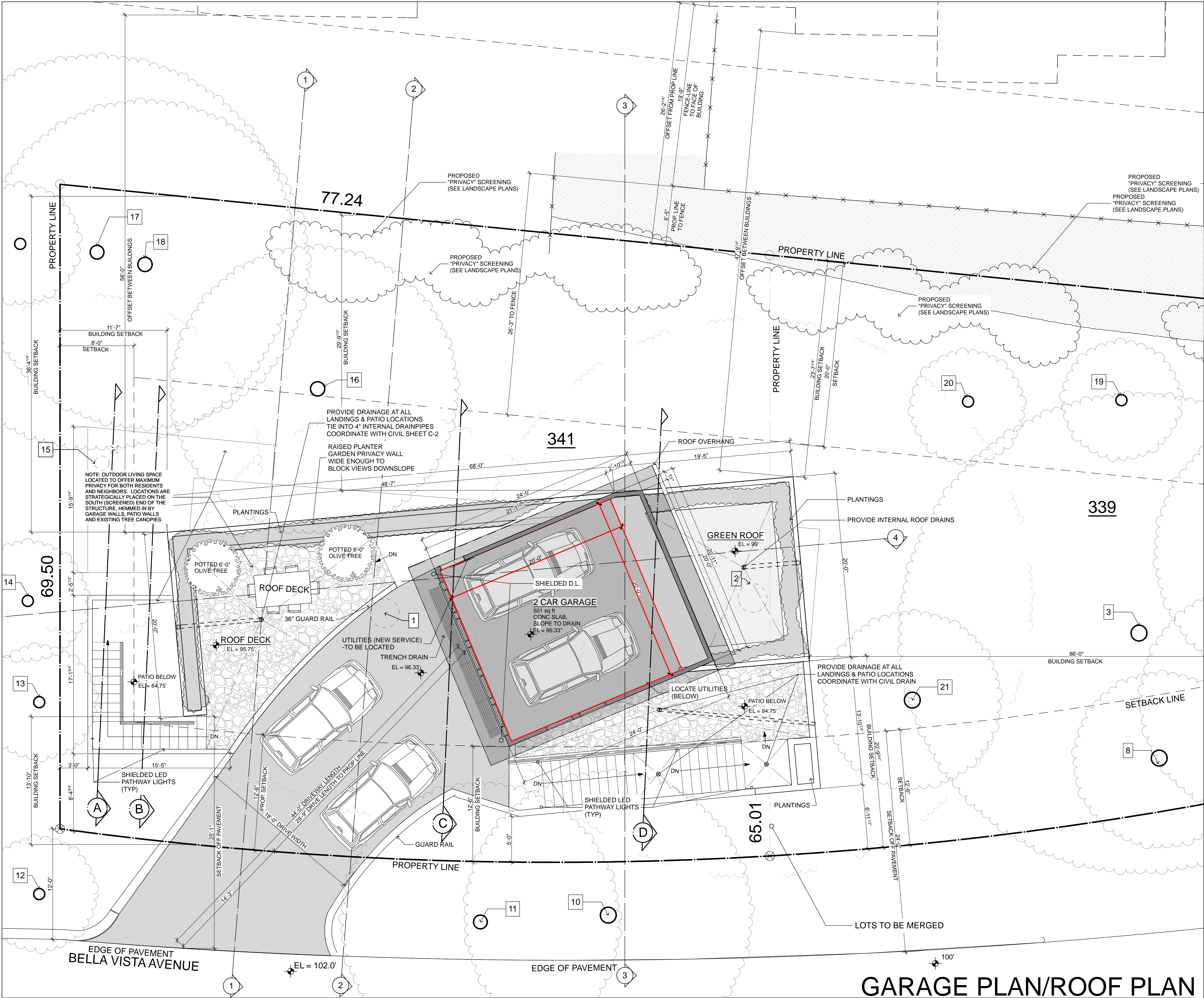
TREE TABLE

TREE LABEL	SCIENTIFIC NAME COMMON NAME	DIA. @ 3" HT. (inches)	HT. X W. (feet)
①	QUERCUS AGRIFFOLIA COAST LIVE OAK	8.3, 16.5, 7.5 18.1 18.5, 17.5, 13.2, 14.6	45 X 65
②	COAST LIVE OAK		44.6 45 X 65
③	COAST LIVE OAK		34.7 40 X 60
④	PRUNUS AMYGDALUS ALMOND		5.3 8 X 4
⑤	COAST LIVE OAK		8.2 22 X 12
⑥	COAST LIVE OAK		7.1 20 X 12
⑦	COAST LIVE OAK		8.2, 9.1 25 X 12
⑧	COAST LIVE OAK		9.3 20 X 15
⑨	COAST LIVE OAK		9.2, 10.7, 8.0 20 X 25
⑩	COAST LIVE OAK		13.0 20 X 18
⑪	ALMOND		4.9, 3.5, 3.0 18 X 6
⑫	COAST LIVE OAK		31.7 30 X 60
⑬	QUERCUS LOBATA VALLEY OAK		11.5 40 X 15
⑭	COAST LIVE OAK		4.7 12 X 10
⑮	COAST LIVE OAK		5.6, 11.0, 8.1, 17.8 35 X 25
⑯	OLEA EUROPAEA EUROPEAN OLIV		8.6, 4.0, 4.2, 4.0 18 X 18
⑰	COAST LIVE OAK		17.3 40 X 30
⑱	COAST LIVE OAK		11.7 25 X 20
⑲	PINUS CANARIENSIS CANARY ISLAND PINE		8.4 40 X 9
⑳	ALMOND		4.2, 3.0 16 X 12
㉑	COAST LIVE OAK		5.1 16 X 12
㉒	COAST LIVE OAK		5.2 X 15
㉓	COAST LIVE OAK		4.6 X 10
㉔	COAST LIVE OAK		5.0 X 10



GREEN ROOF EXAMPLE

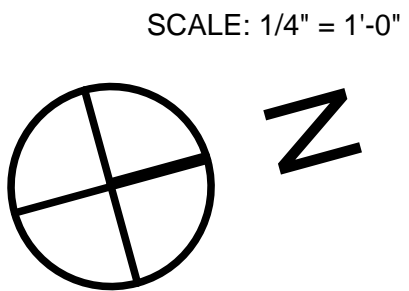




GARAGE PLAN/ROOF PLAN

GARAGE 24' x 21'
(MINUS CLIP) 501 S.F.

MAIN 1,278 sq ft	PROPOSED FAR = 14.4%
2ND LVL 185 sq ft	1,463 sq ft
CELLAR 1,179 sq ft	ALLOWABLE FAR
2642 TOTAL sq ft	1,486 sq ft



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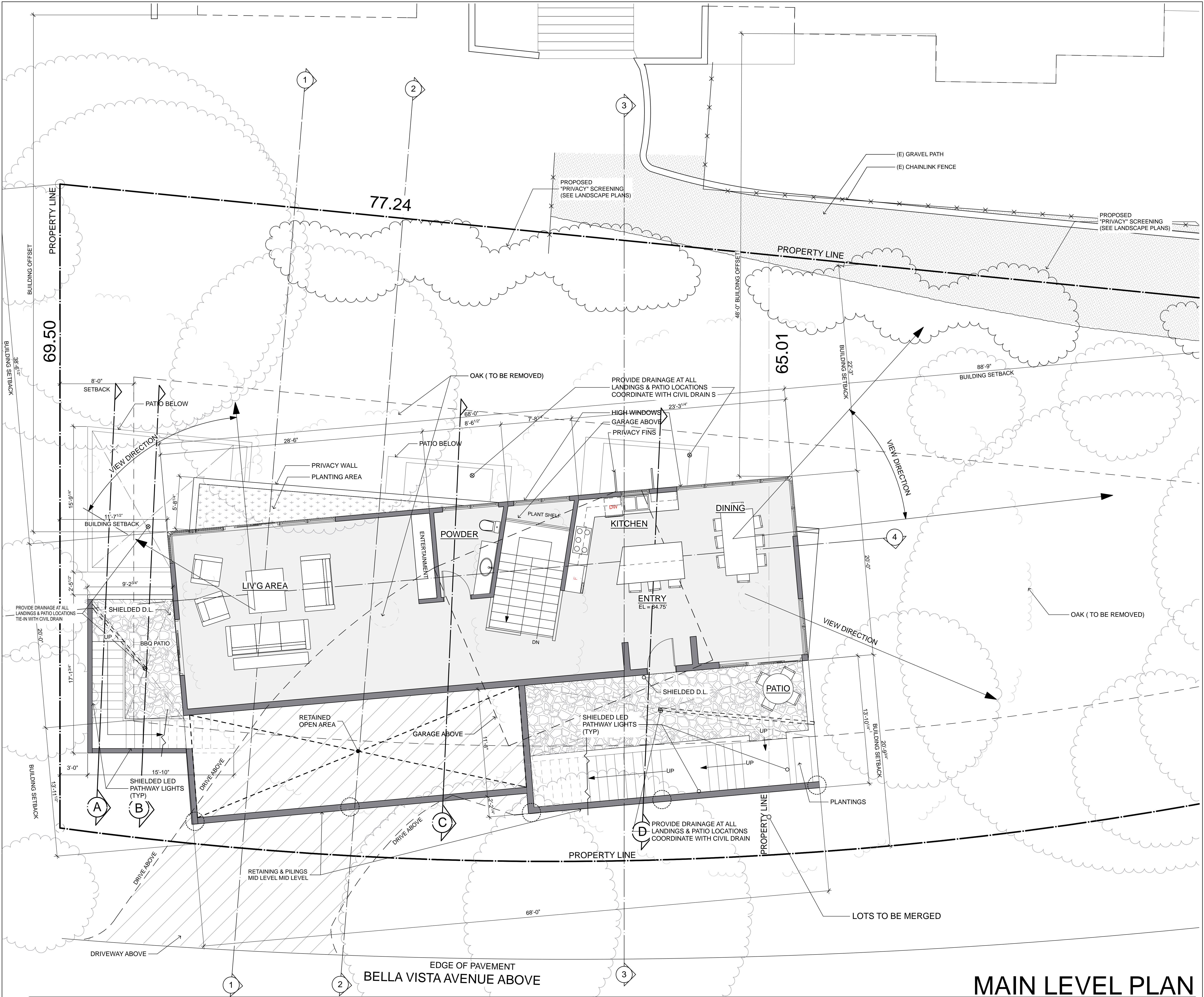
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341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

SHEET
GARAGE PLAN
NOTES:

DRAWING DATE:
10/26/15

A-2.1



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PROPOSED NEW RESIDENCE FOR:

341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

SHEET

MAIN LEVEL FLOOR PLAN

NOTES:

DRAWING DATE:

10/26/15

MAIN 1,278 sq ft
2ND LVL 185 sq ft
CELLAR 1,179 sq ft
2642 TOTAL sq ft

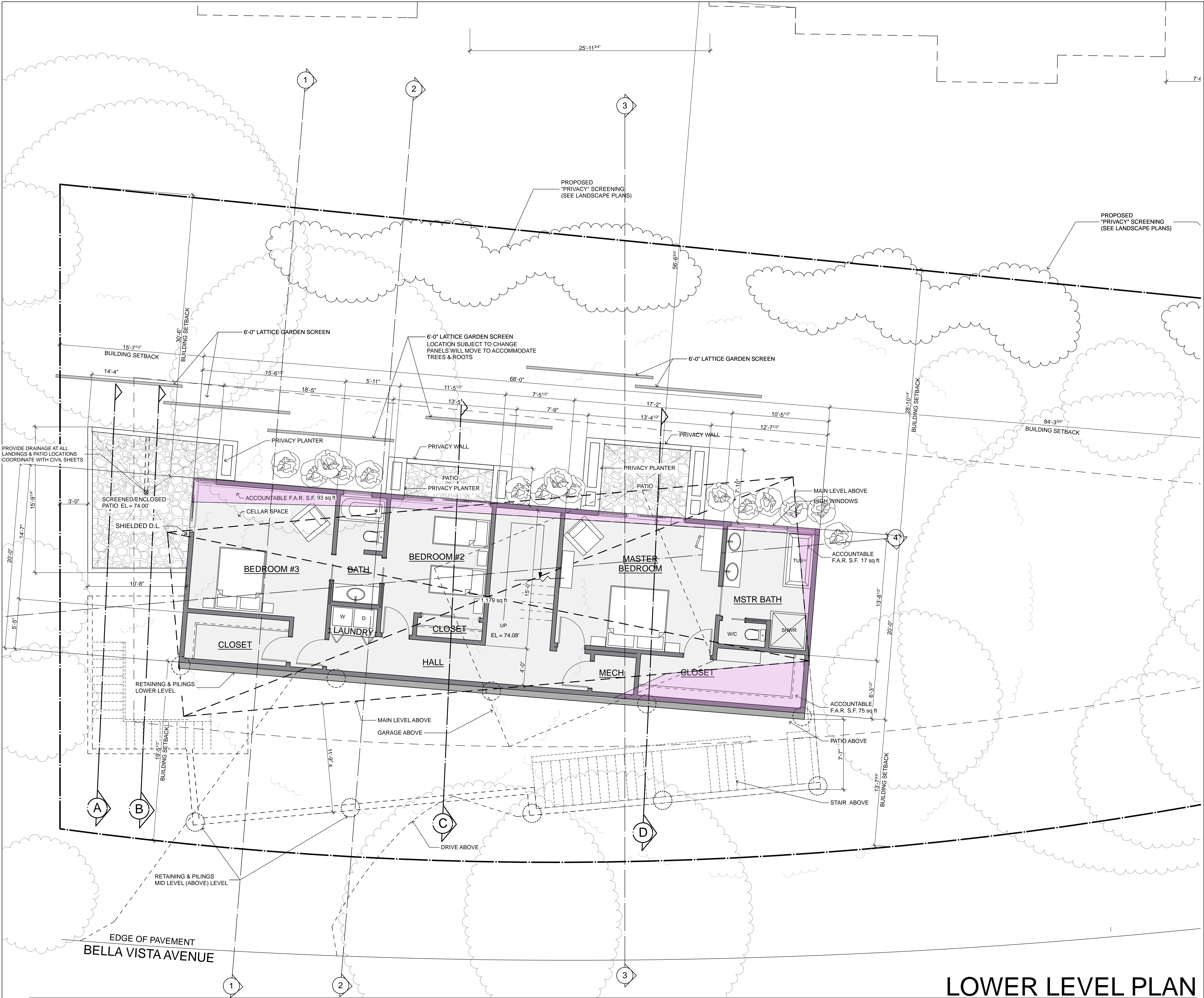
PROPOSED FAR = 14.4%
1,463 sq ft
ALLOWABLE FAR
1,486 sq ft

SCALE: 1/4" = 1'-0"

⊕

z

A-2.2



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PROPOSED NEW RESIDENCE FOR:

341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

SHEET
LOWER LEVEL PLAN

NOTES:

DRAWING DATE:

10/26/15

MAIN 1,278 sq ft
2ND LVL 185 sq ft
CELLAR 1,179 sq ft
2642 TOTAL sq ft

PROPOSED FAR = 14.4%
1,463 sq ft
ALLOWABLE FAR
1,486 sq ft

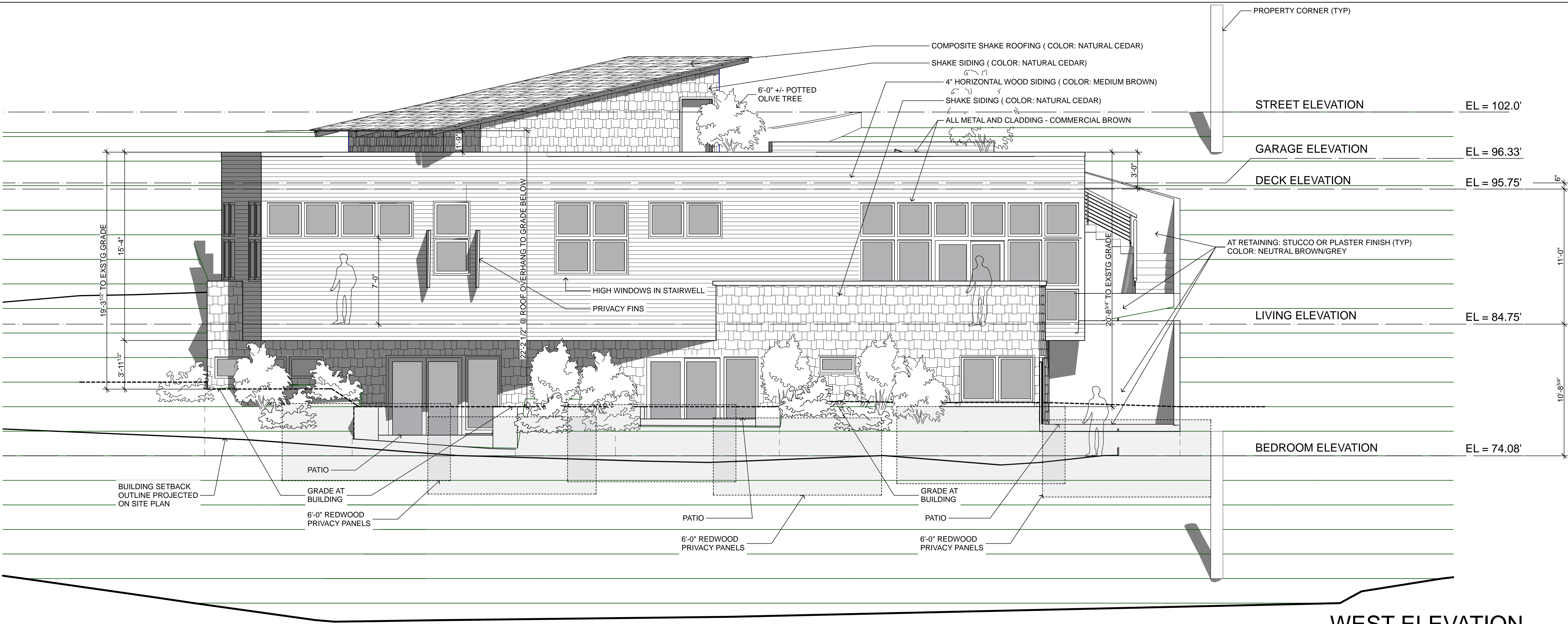
SCALE: 1/4" = 1'-0"

A-2.3

FLOOR AREA KEY:
DAYLIT/BASEMENT AREA S.F. = 185
CELLAR AREA S.F. = 1,175

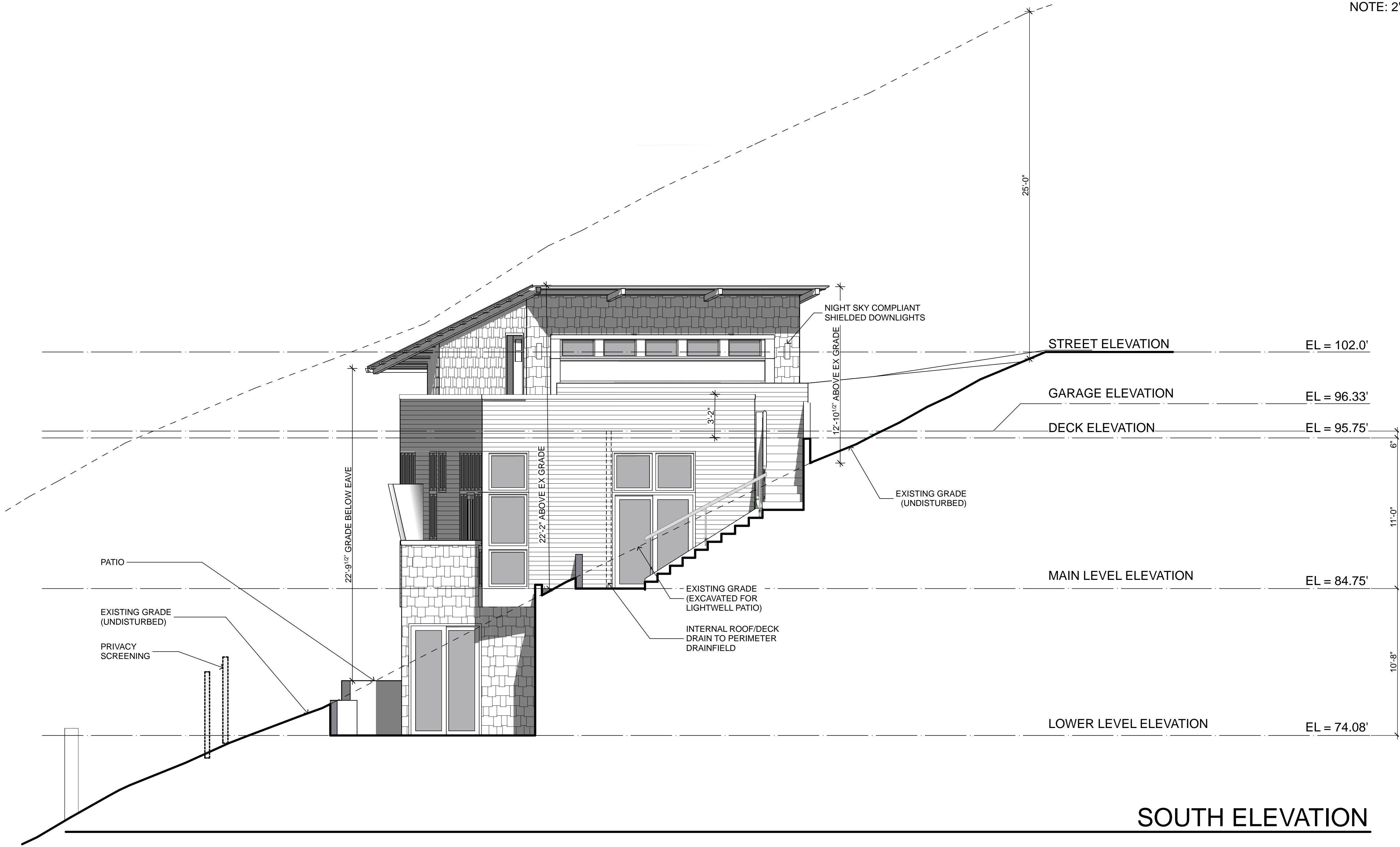
GARAGE 24' x 22'
(MINUS CLIP) 515 S.F.

LOWER LEVEL PLAN



WEST ELEVATION

NOTE: 2'-0" CTRS



SOUTH ELEVATION

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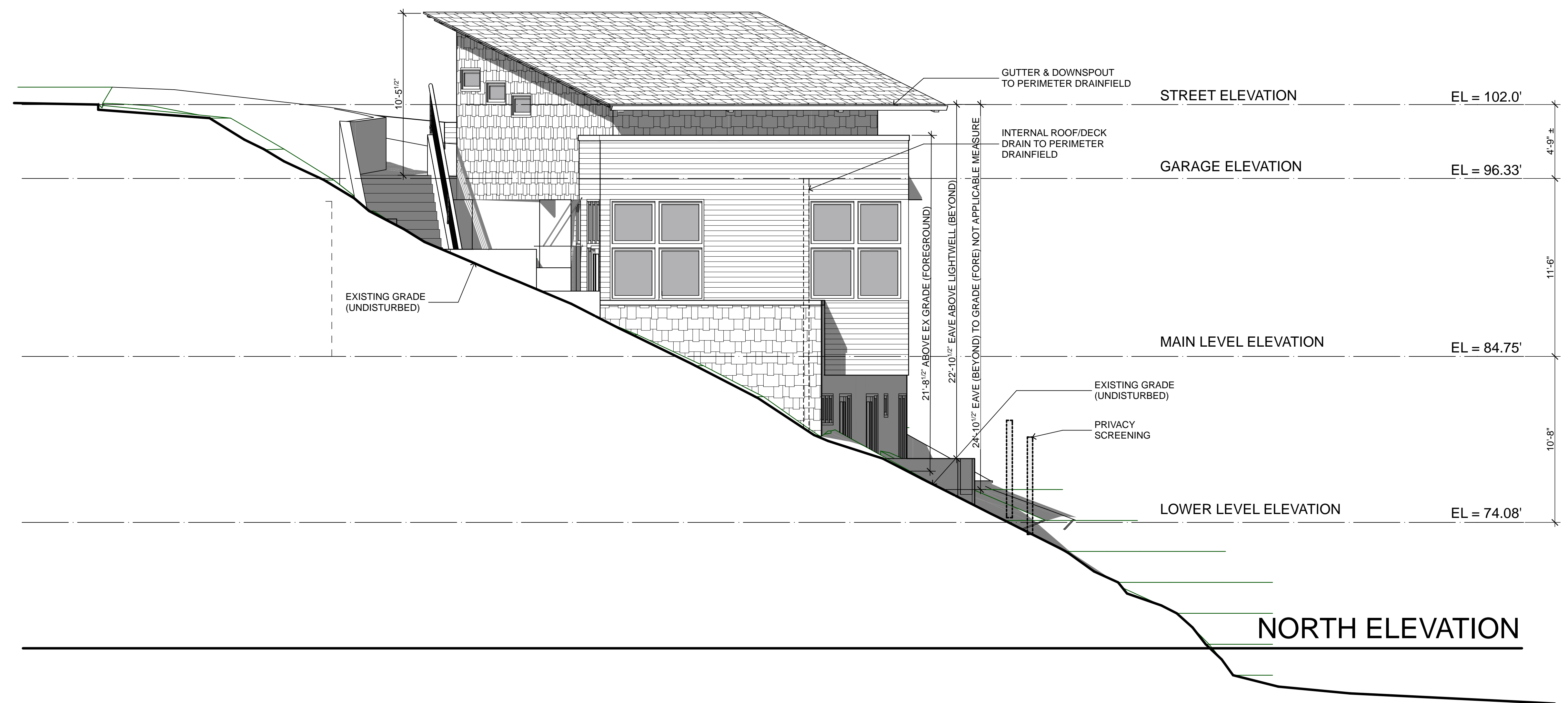
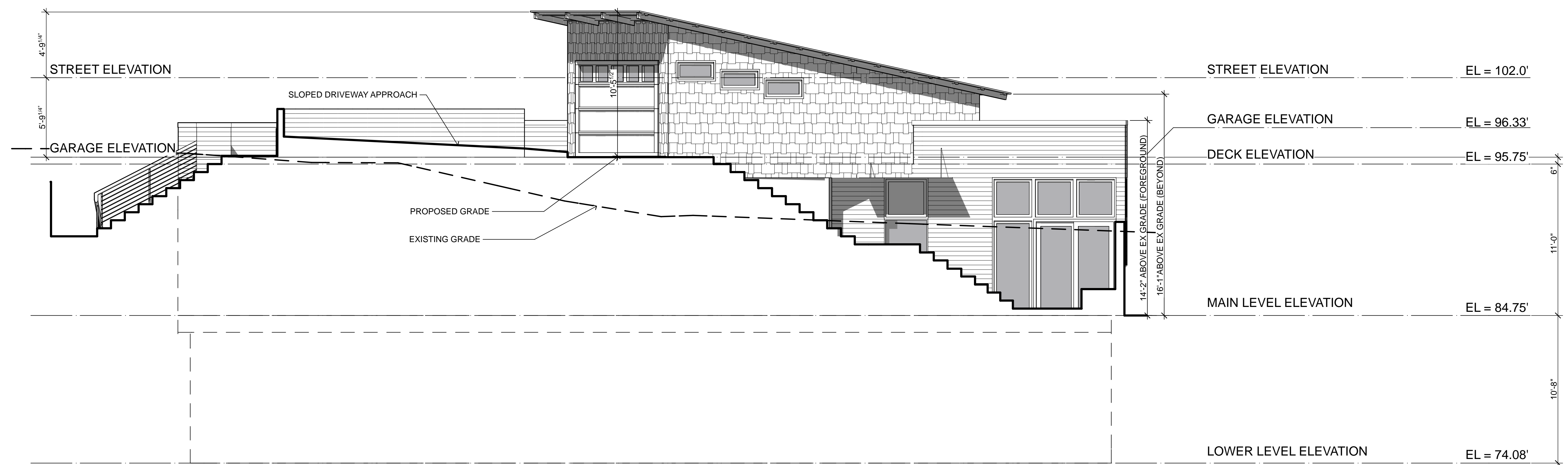
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341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

SHEET
EXTERIOR ELEVATIONS
NOTES:

DRAWING DATE:
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SCALE: 1/4" = 1'-0"

A-3.1



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34 | BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

EXTERIOR ELEVATIONS

DRAWING DATE:

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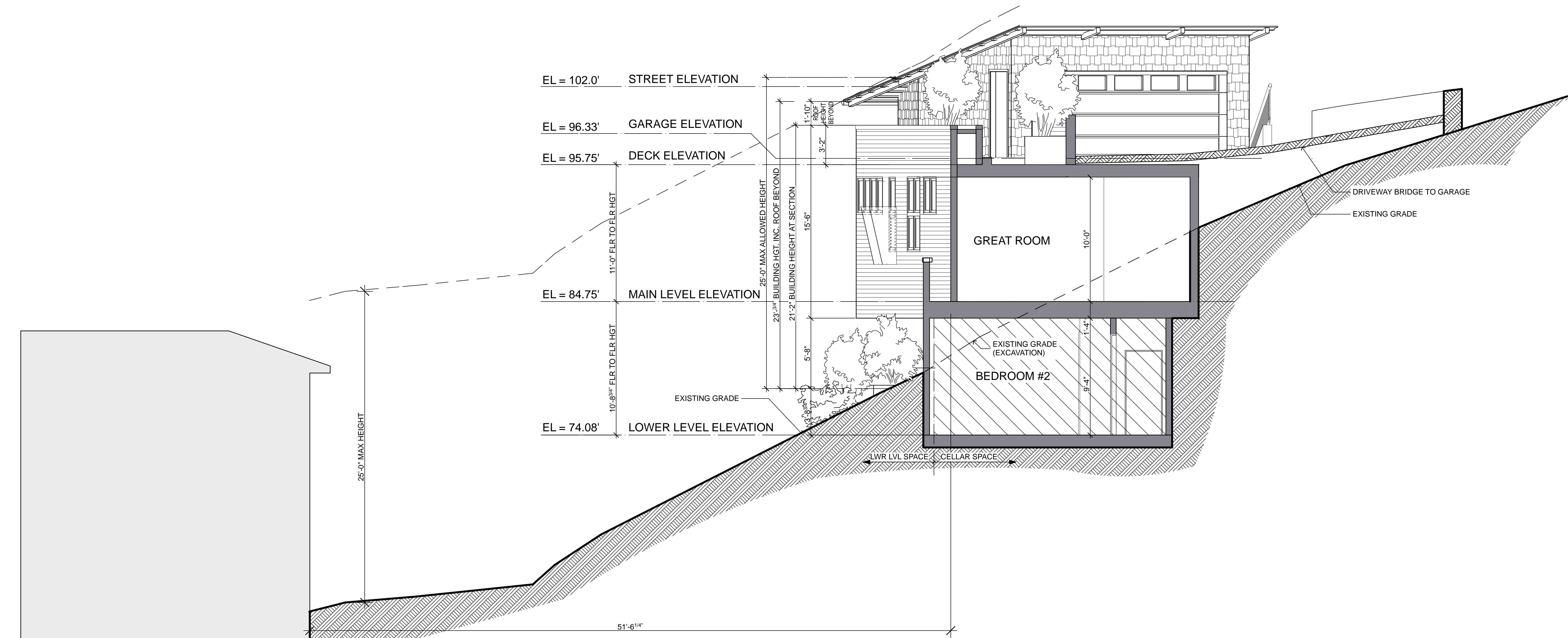
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A-3.2

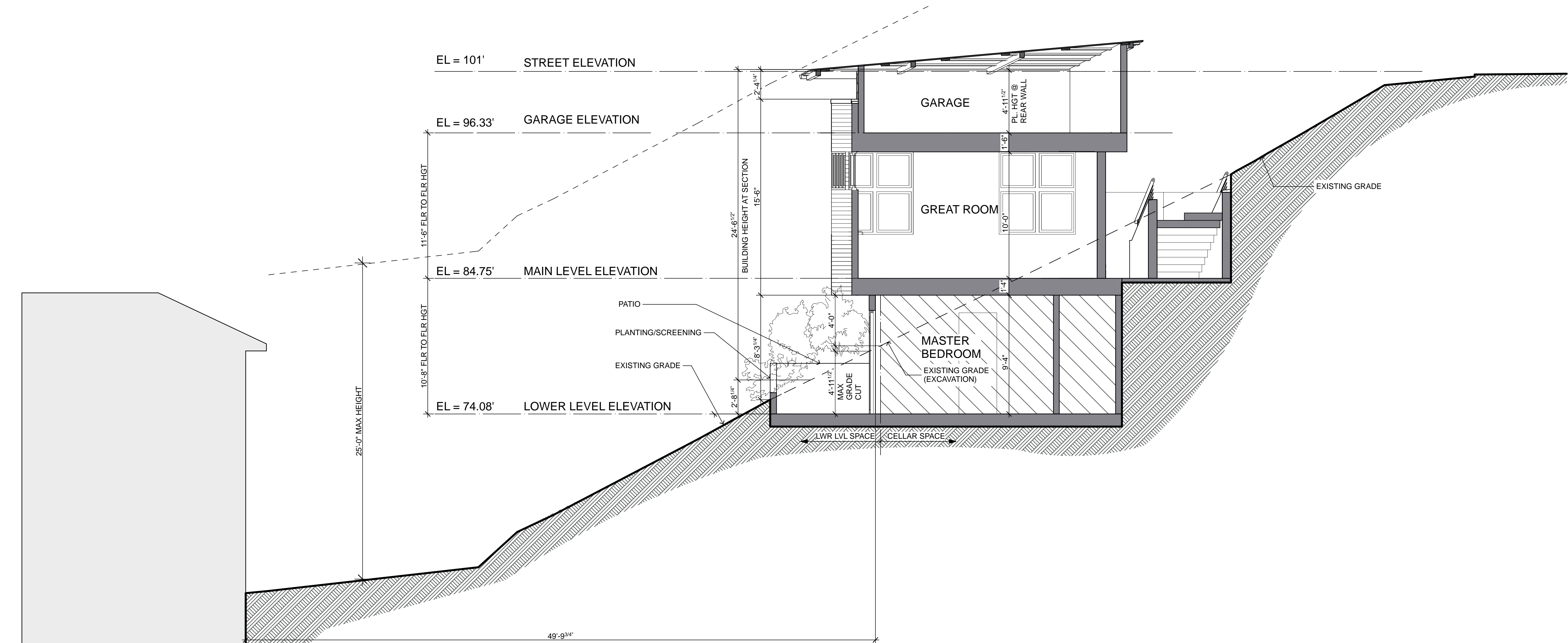


A-4.1

SECTION WITH TREE CANOPY 1



SECTION 2
SCALE: 1/4" = 1'-0"



SECTION 3
SCALE: 1/4" = 1'-0"

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LOS GATOS, CALIFORNIA

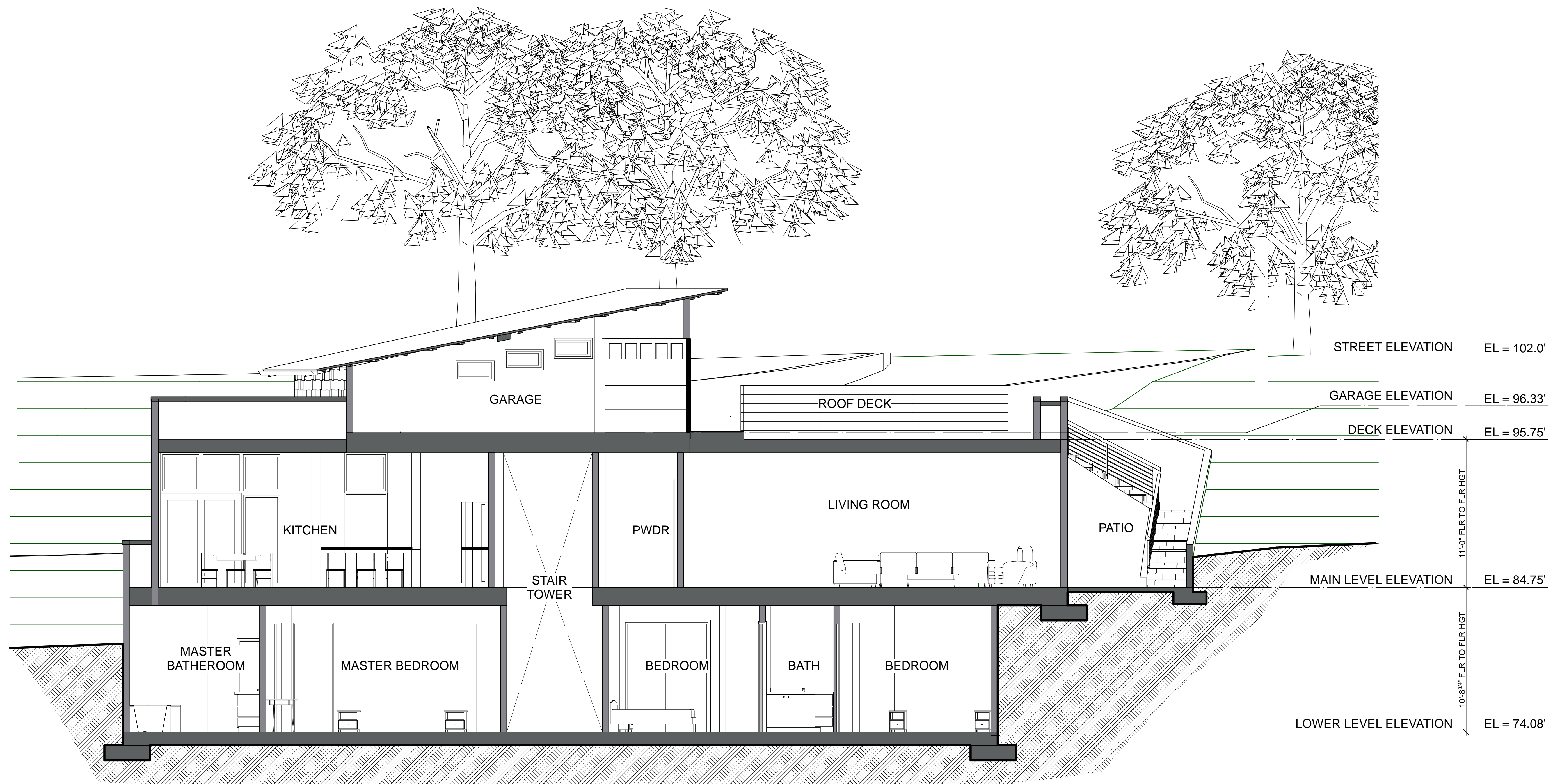
SHEET
BUILDING SECTION

NOTES:

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A-4.2



SECTION 4
SCALE: 1/4" = 1'-0"

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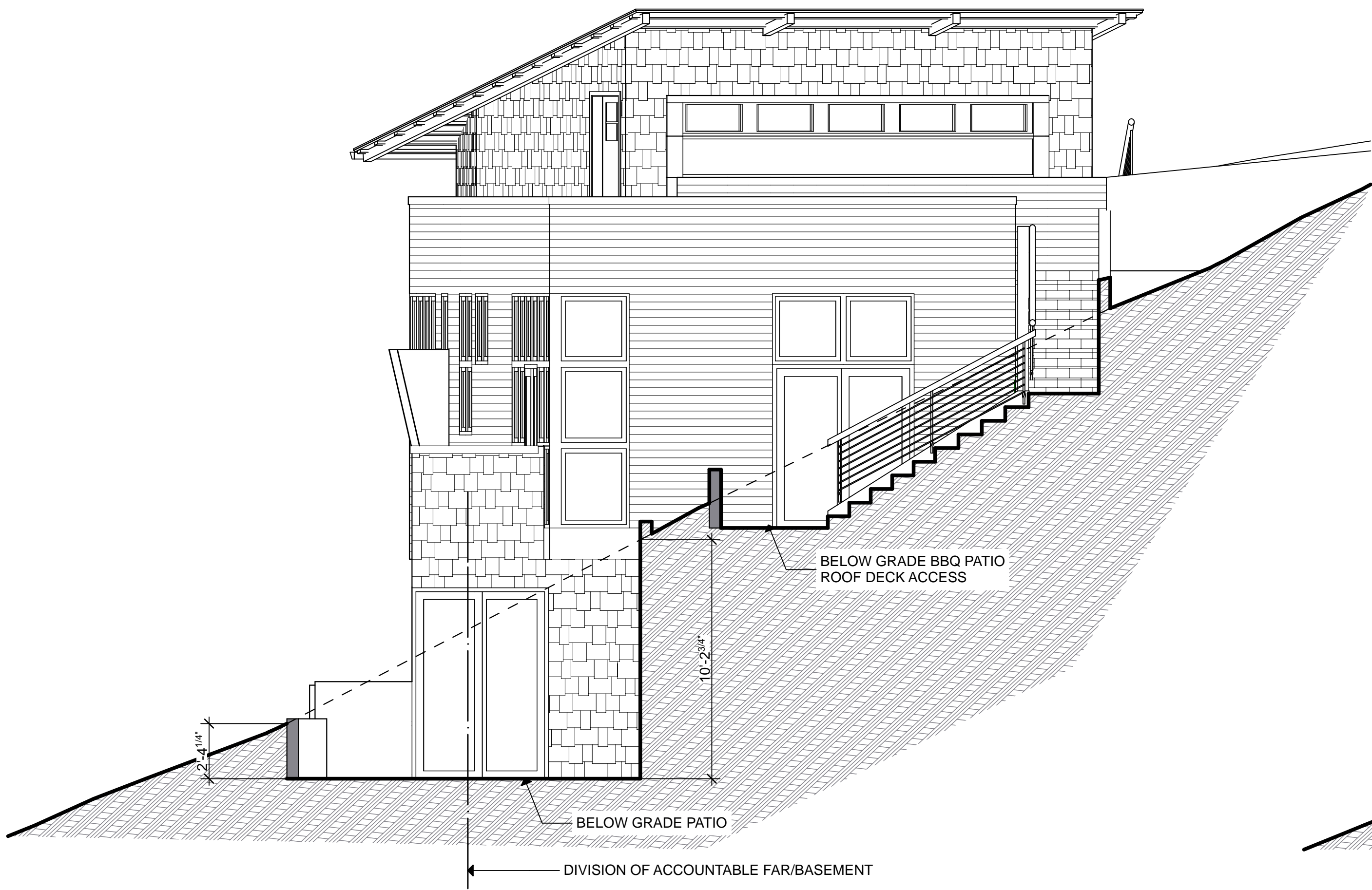
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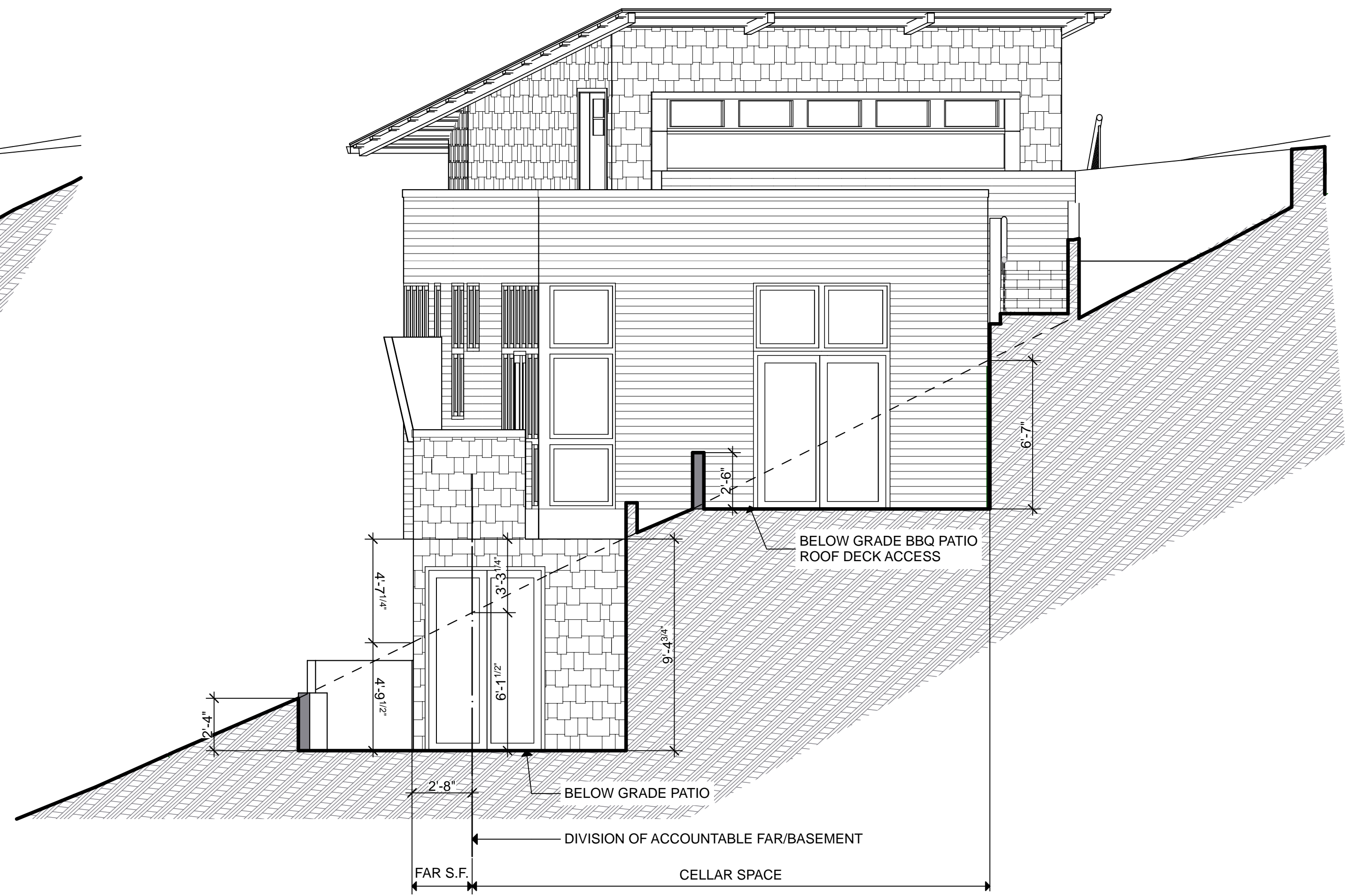
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BUILDING SECTION
NOTES:

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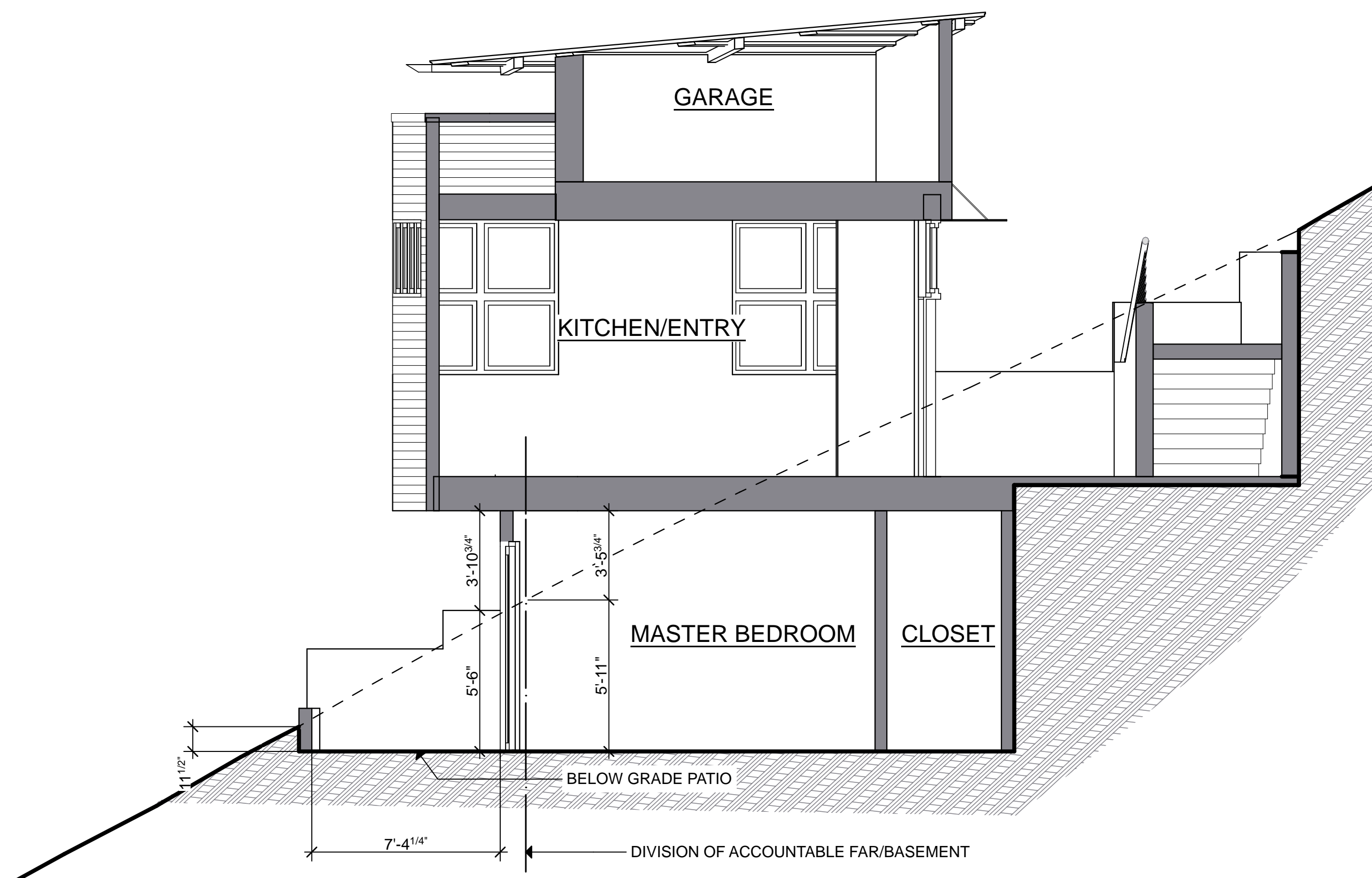
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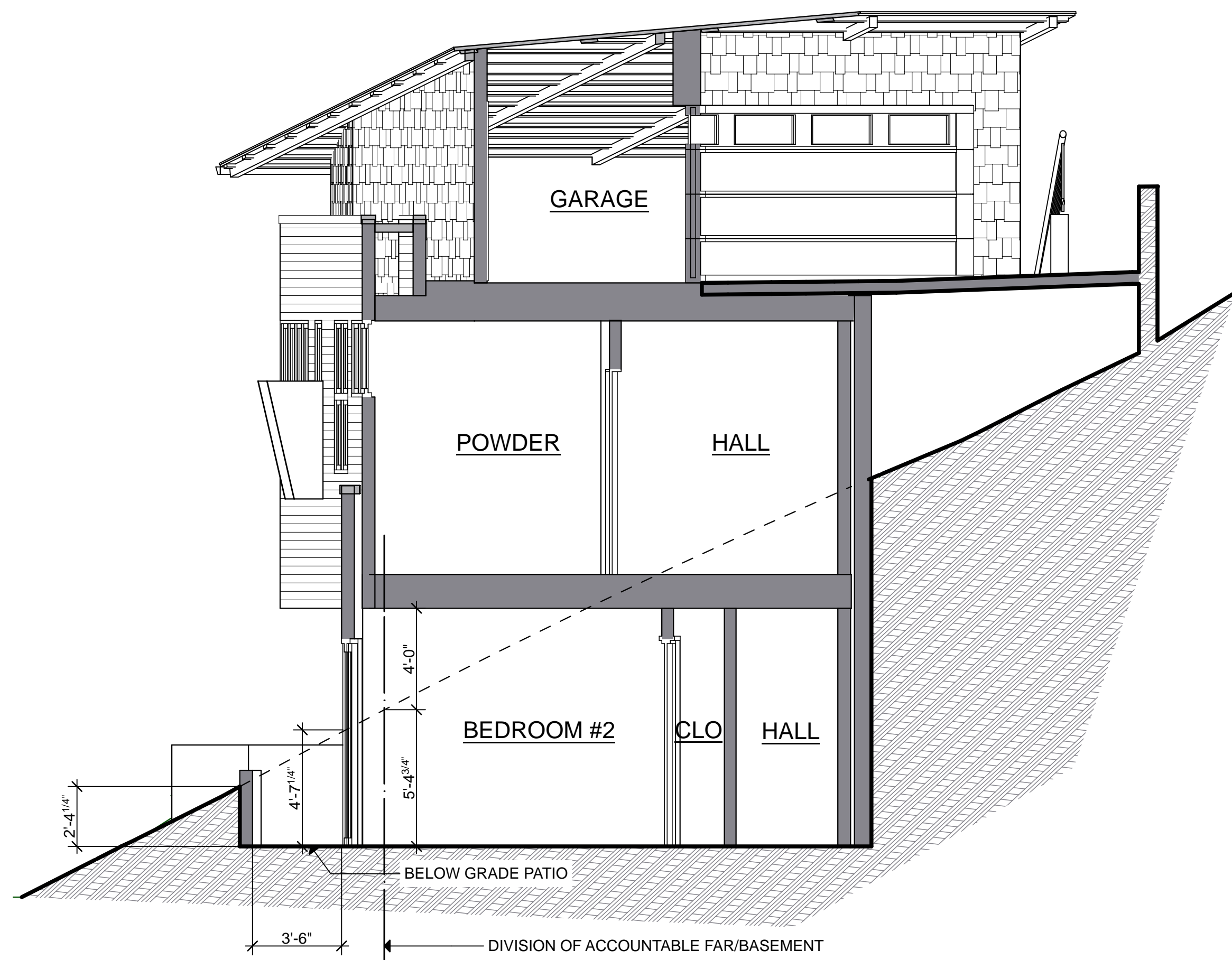
SECTION B



SECTION A



SECTION D



SECTION C

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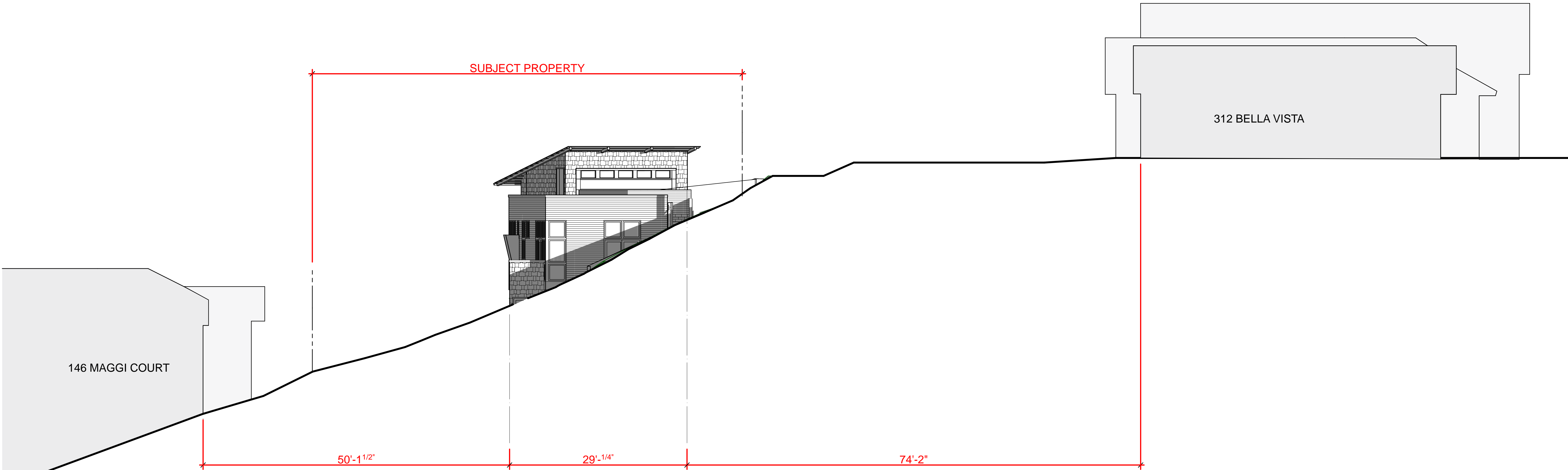
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341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

SHEET
ADD'L REQUESTED SECTIONS
NOTES:

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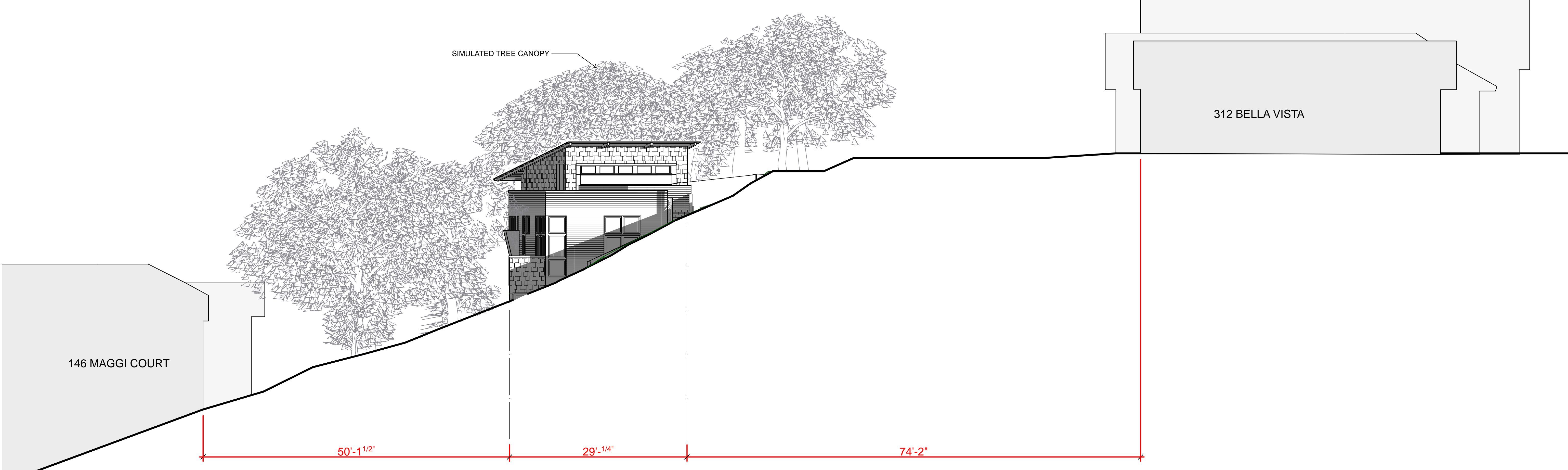
A-4.4



SOUTH CONTEXTUAL NEIGHBORHOOD ELEVATION

NOTE: DIMENSIONS VARY DEPENDING ON ORIENTATION OF STRUCTURES RELATIVE TO PERPENDICULAR AND SQUARE, SEE SITE PLAN FOR ACTUAL CORNER OFFSETS

SCALE: 1/8" = 1'-0"

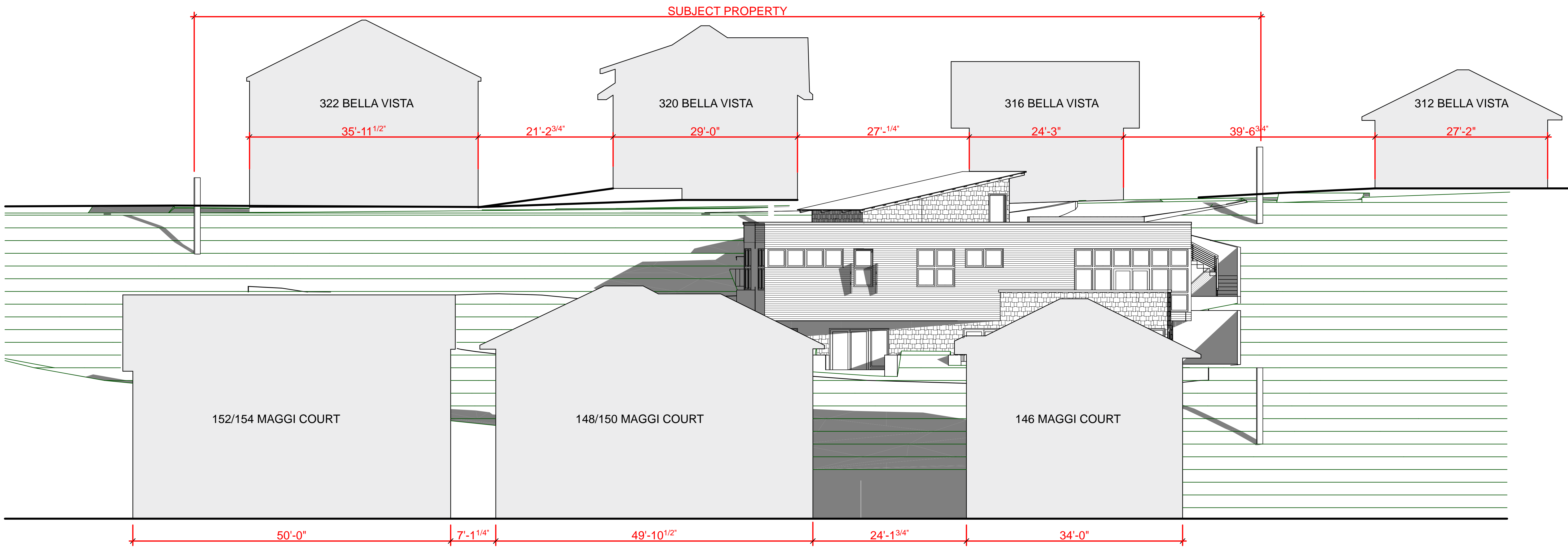


SOUTH CONTEXTUAL NEIGHBORHOOD ELEVATION WITH TREE CANOPY

NOTE: DIMENSIONS VARY DEPENDING ON ORIENTATION OF STRUCTURES RELATIVE TO PERPENDICULAR AND SQUARE, SEE SITE PLAN FOR ACTUAL CORNER OFFSETS

SCALE: 1/8" = 1'-0"

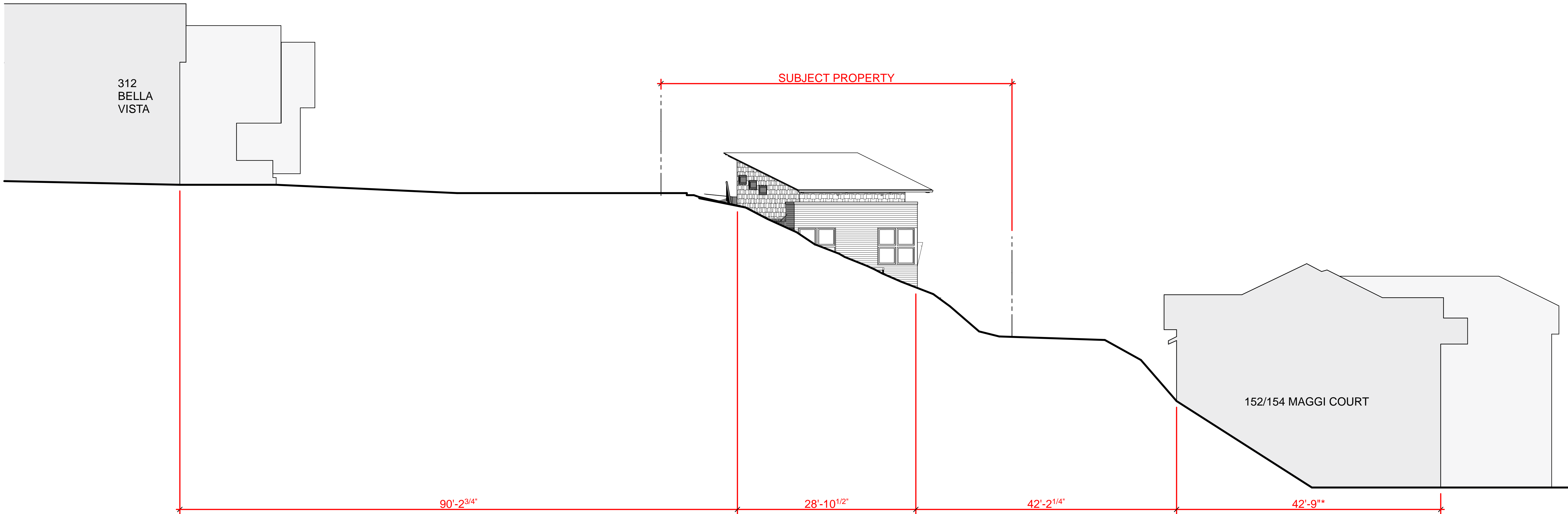
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	341 BELLA VISTA AVENUE LOS GATOS, CALIFORNIA
NEIGHBORHOOD SCALE & CONTEXT	
NOTES:	
DRAWING DATE:	
10/26/15	
A-5.1	



NOTE: DIMENSIONS VARY DEPENDING ON ORIENTATION OF STRUCTURES RELATIVE TO PERPENDICULAR AND SQUARE, SEE SITE PLAN FOR ACTUAL CORNER OFFSETS

WEST CONTEXTUAL NEIGHBORHOOD ELEVATION

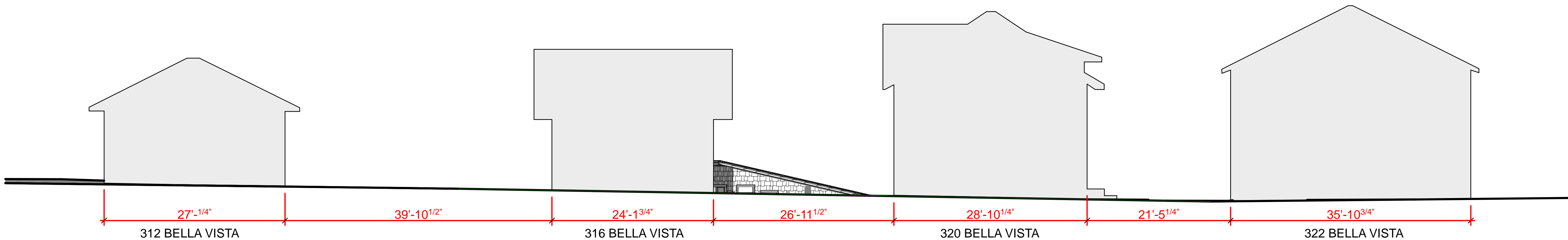
SCALE: 1/8" = 1'-0"



NOTE: DIMENSIONS VARY DEPENDING ON ORIENTATION OF STRUCTURES RELATIVE TO PERPENDICULAR AND SQUARE, SEE SITE PLAN FOR ACTUAL CORNER OFFSETS

NORTH CONTEXTUAL NEIGHBORHOOD ELEVATION

SCALE: 1/8" = 1'-0"



NOTE: DIMENSIONS VARY DEPENDING ON ORIENTATION OF STRUCTURES RELATIVE TO PERPENDICULAR AND SQUARE, SEE SITE PLAN FOR ACTUAL CORNER OFFSETS

EAST CONTEXTUAL NEIGHBORHOOD ELEVATION

SCALE: 1/8" = 1'-0"

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LOS GATOS, CALIFORNIA

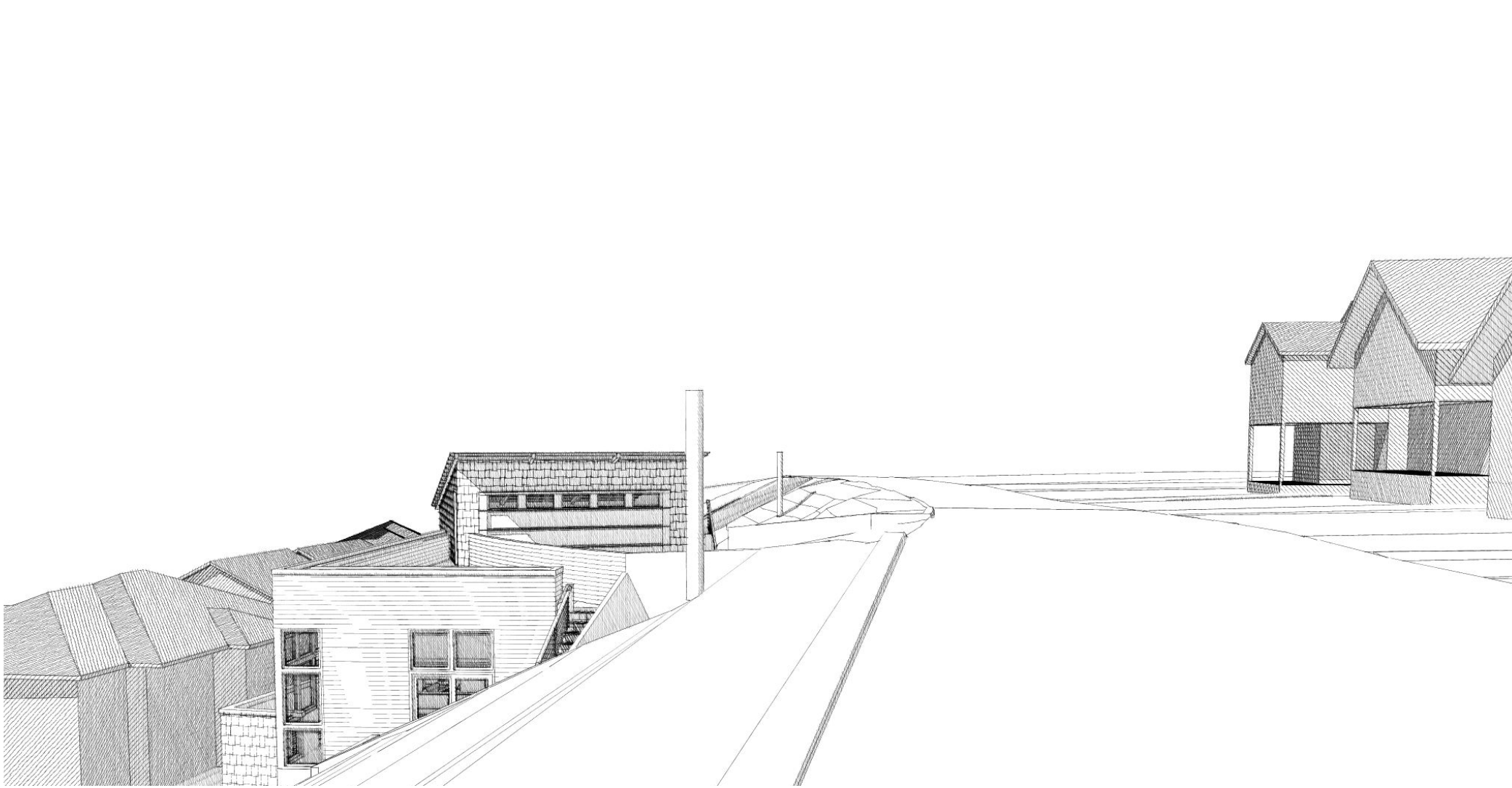
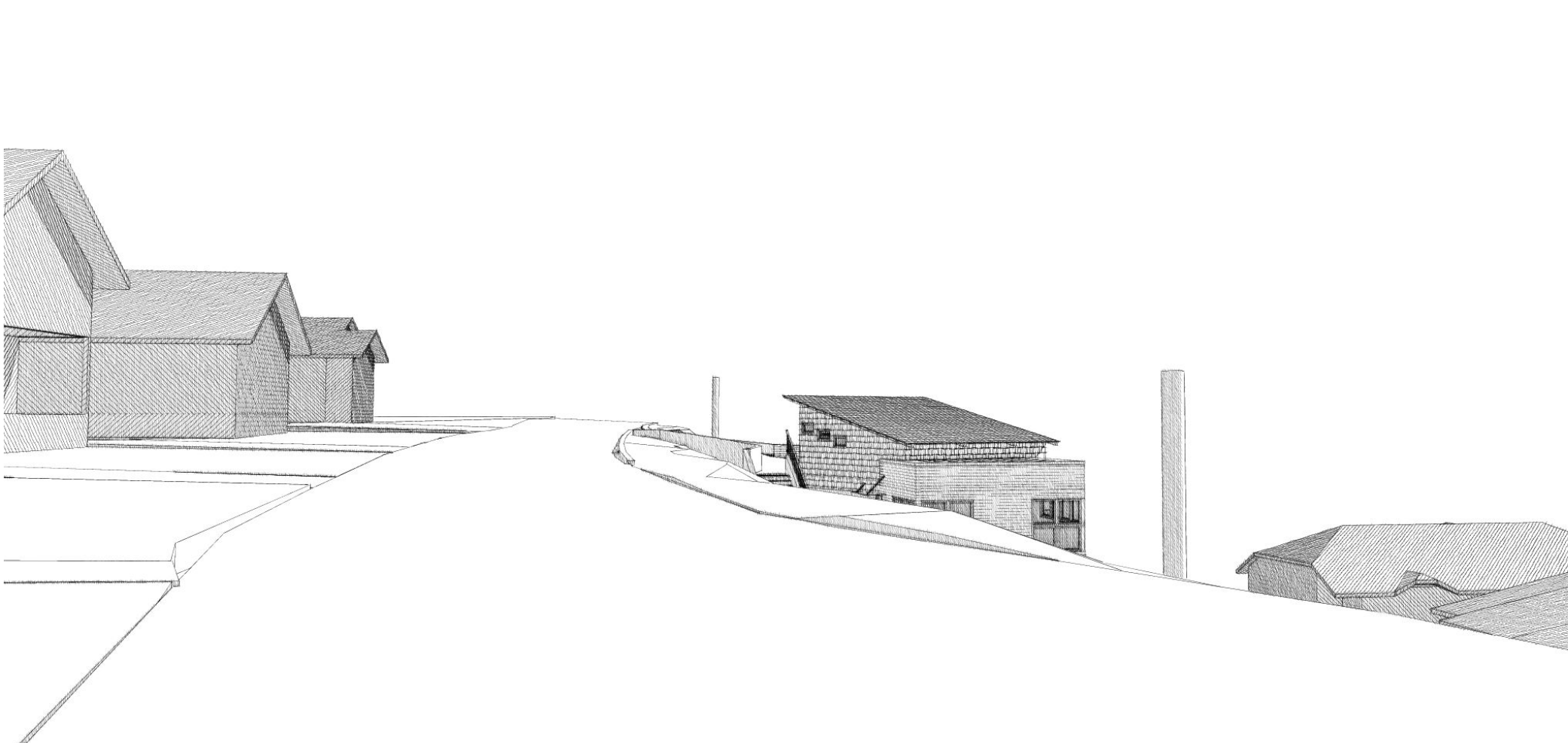
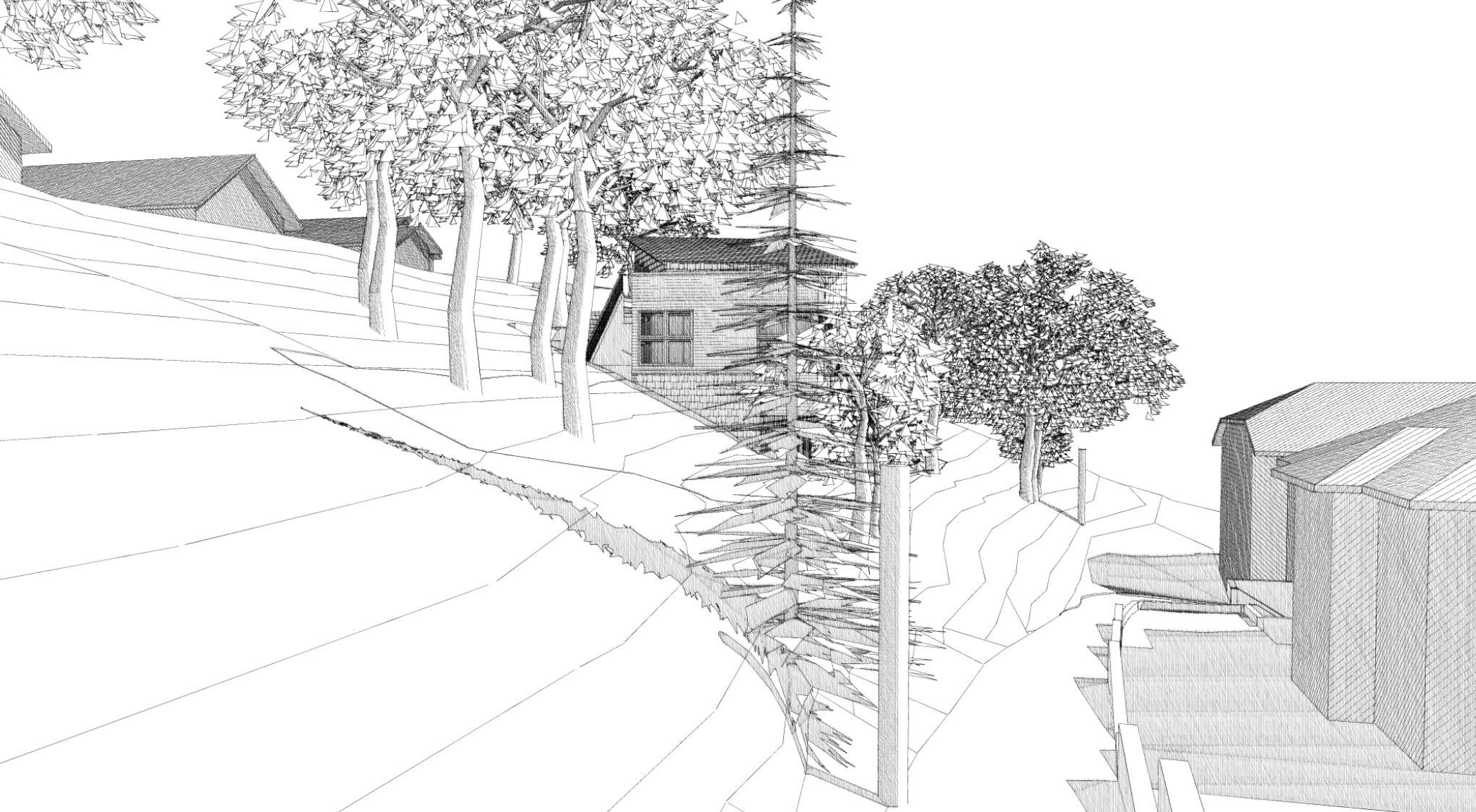
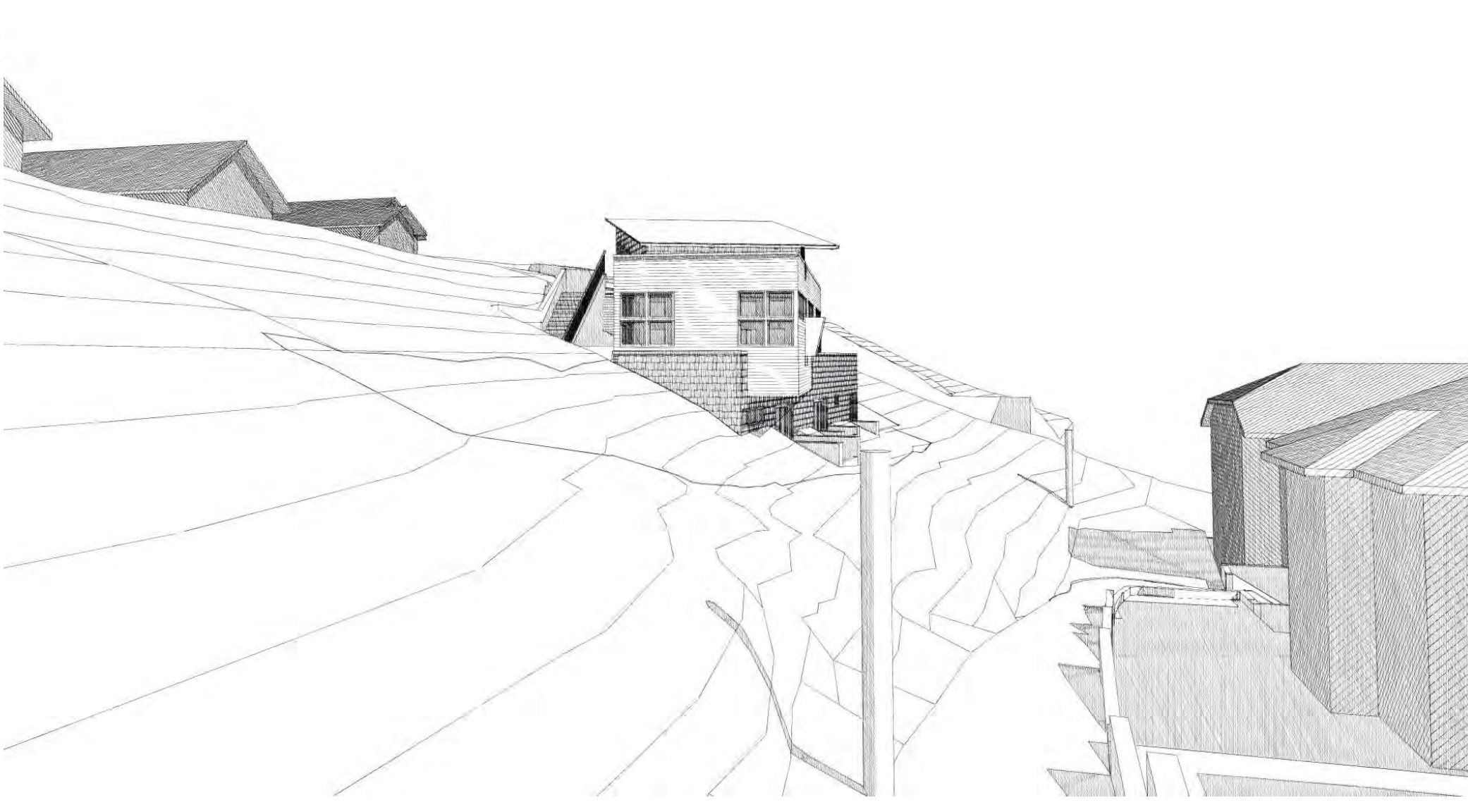
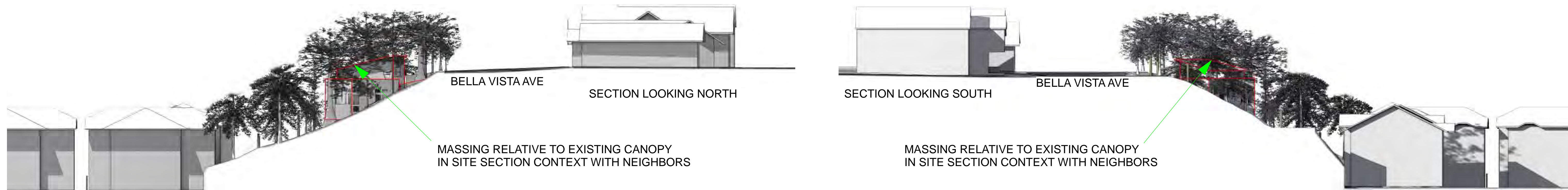
NEIGHBORHOOD SCALE & CONTEXT

SHEET

DRAWING DATE:

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A-5.2



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341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

SHEET
CONTEXT IMAGES

NOTES:

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A-5.3



MAGGI COURT - NEIGHBORING UNITS, IN CONTEXT



MAGGI COURT - NEIGHBOR UNITS, IN CONTEXT, WITH UPHILL NEIGHBOR, SIMILAR SITUATION. NOTE LANDSCAPE BUFFER



MAGGI COURT - UPHILL NEIGHBOR NOTE LANDSCAPE BUFFER



NEW LOS GATOS CONSTRUCTION & PROXIMITY TO NEIGHBOR



NOTE ARCH STYLE, VERTICALITY



SIMILAR SITUATION WITH PRIVATE RESIDENCE ABOVE WITH PUD BELOW

EXAMPLES OF LOS GATOS CONSTRUCTION & SIMILAR SITE SITUATION & RELATIONSHIP TO DESIGN



EXAMPLES OF LOS GATOS RECTILINEAR DESIGN



MAGGI COURT -
EXISTING LANDSCAPE
BUFFER OUTSIDE OF
SUBJECT PROPERTY



EXAMPLES OF RECENT LOS GATOS MODERN DESIGN

INTRODUCTION OF NEW PALETTE OF MATERIALS
GOING BEYOND THE TRADITIONAL VERNACULAR



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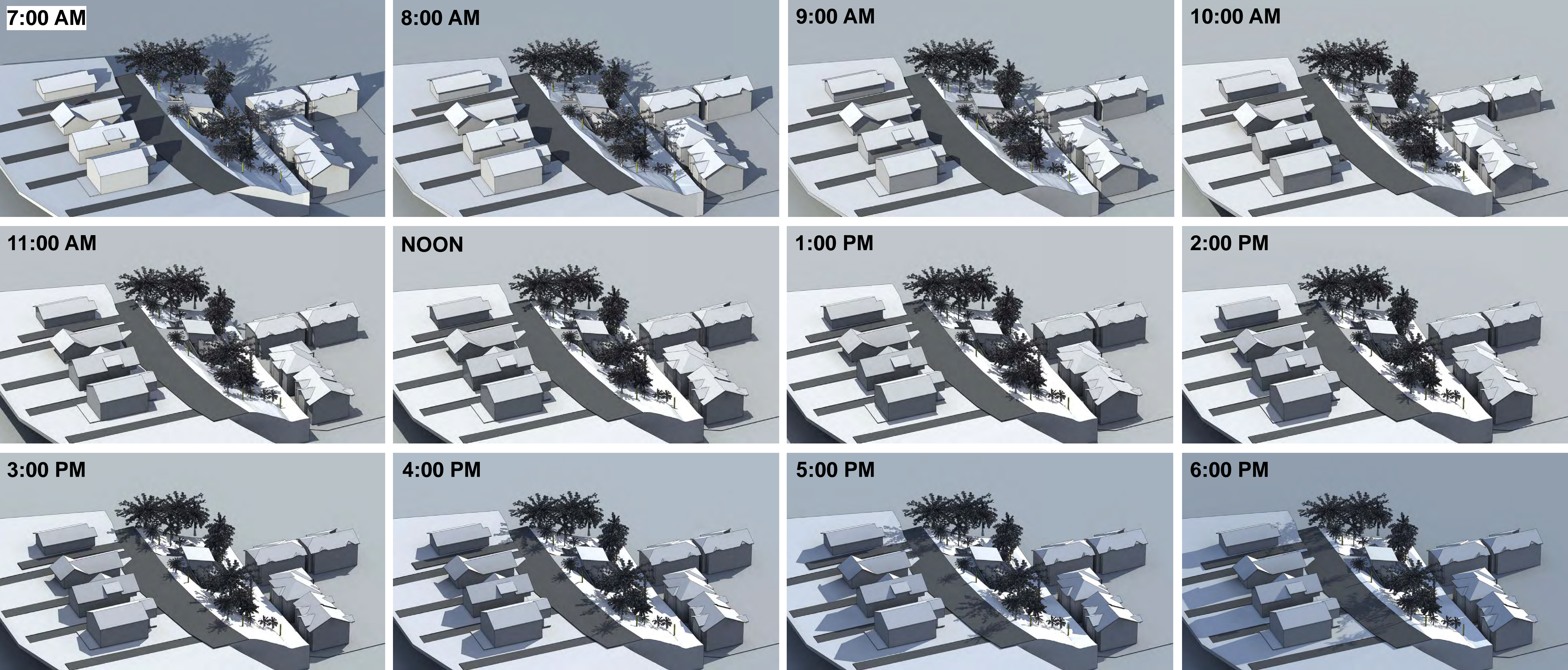
PROPOSED NEW RESIDENCE FOR:

341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

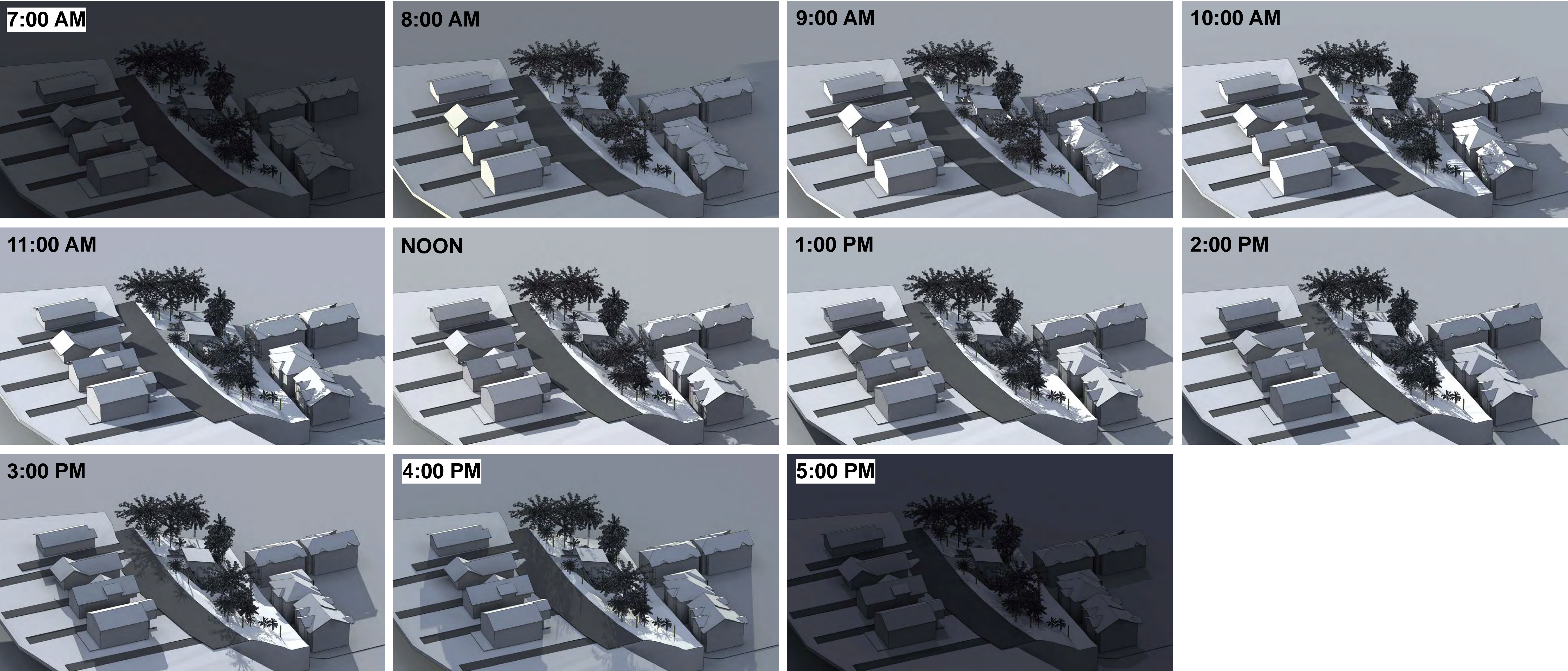
EXISTING ARCH REFERENCE

DRAWING DATE:
10/26/15

A-5.4



JUNE 21ST LOOKING SOUTH



DECEMBER 21ST LOOKING SOUTH

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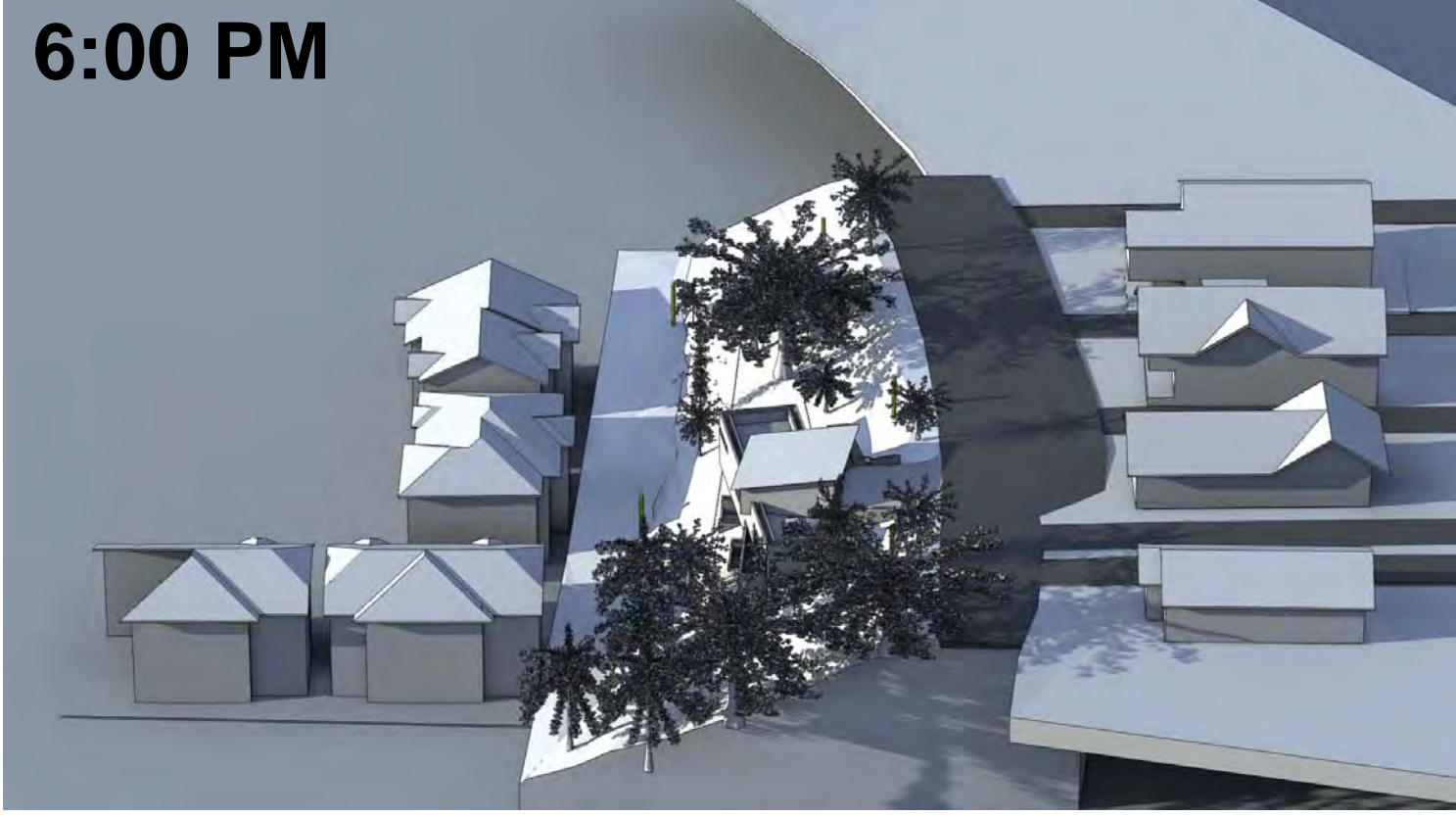
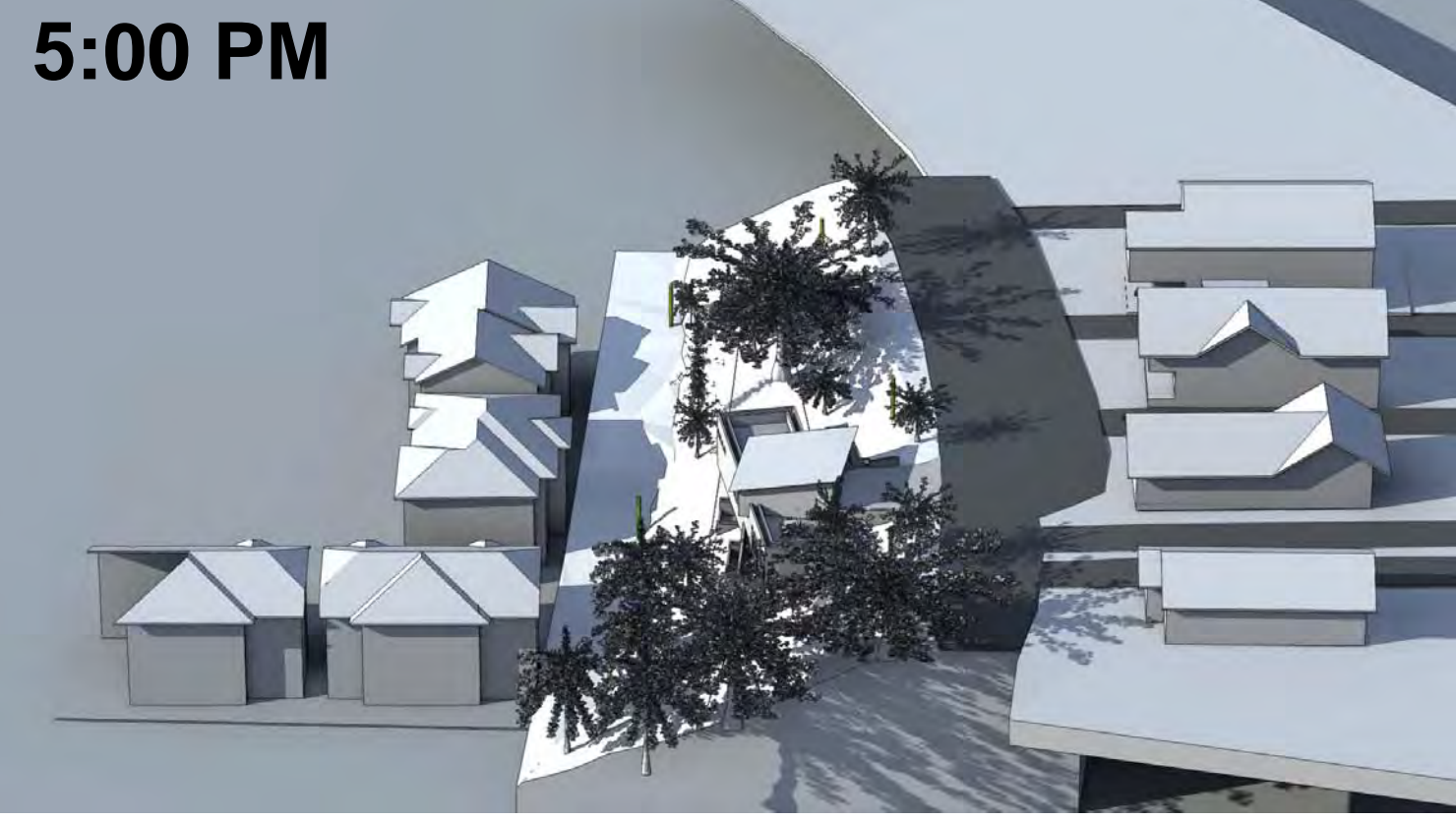
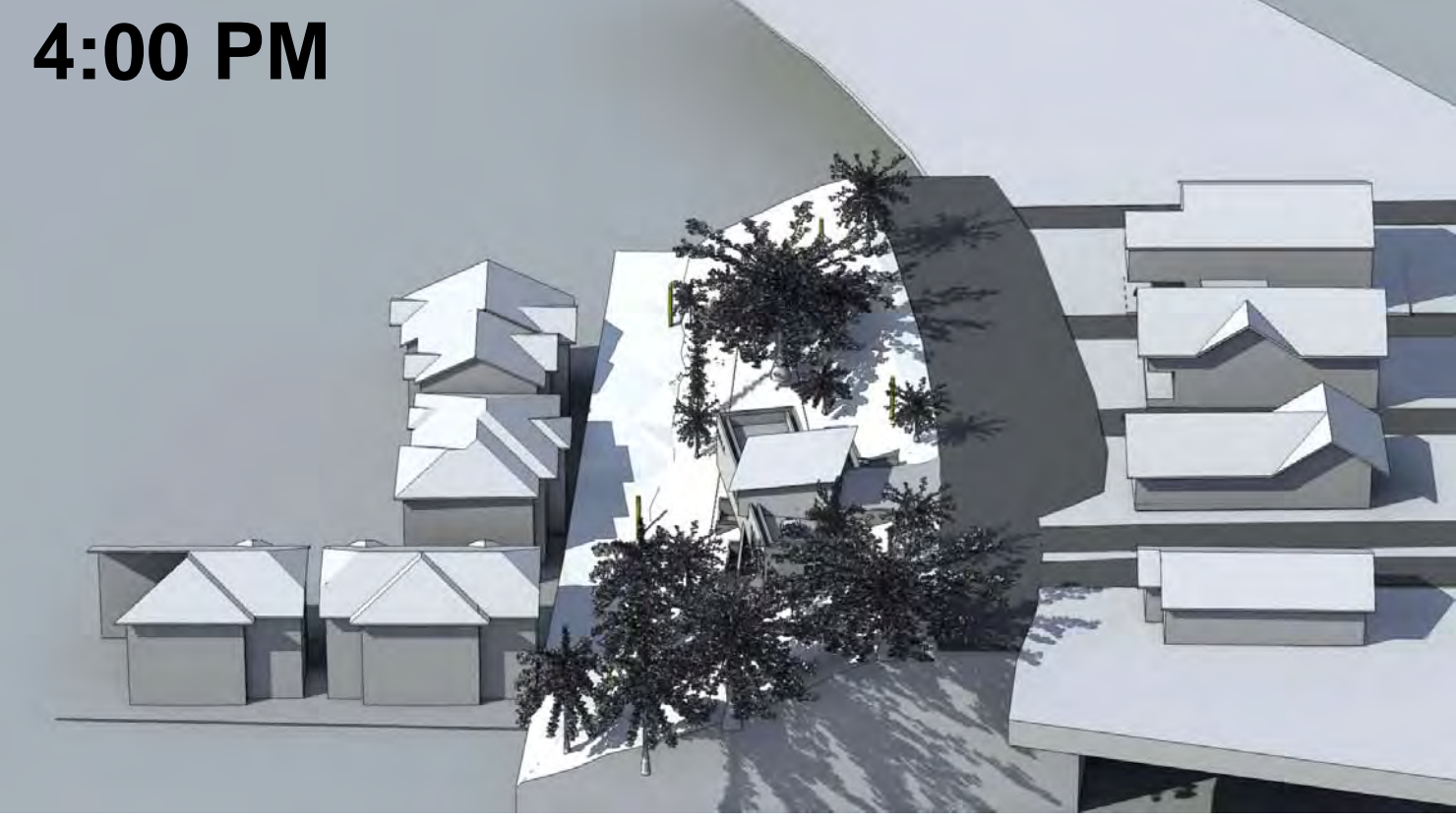
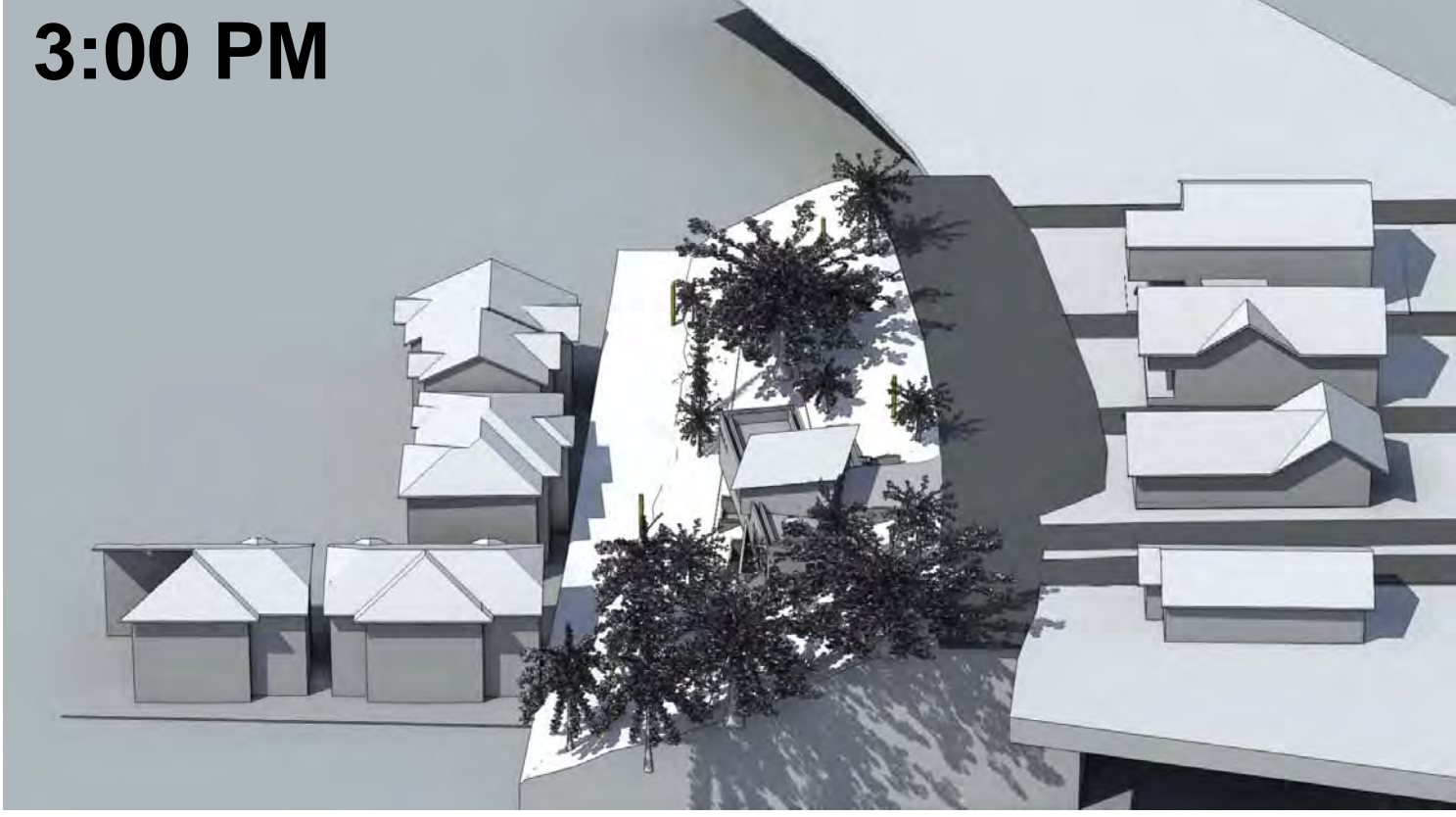
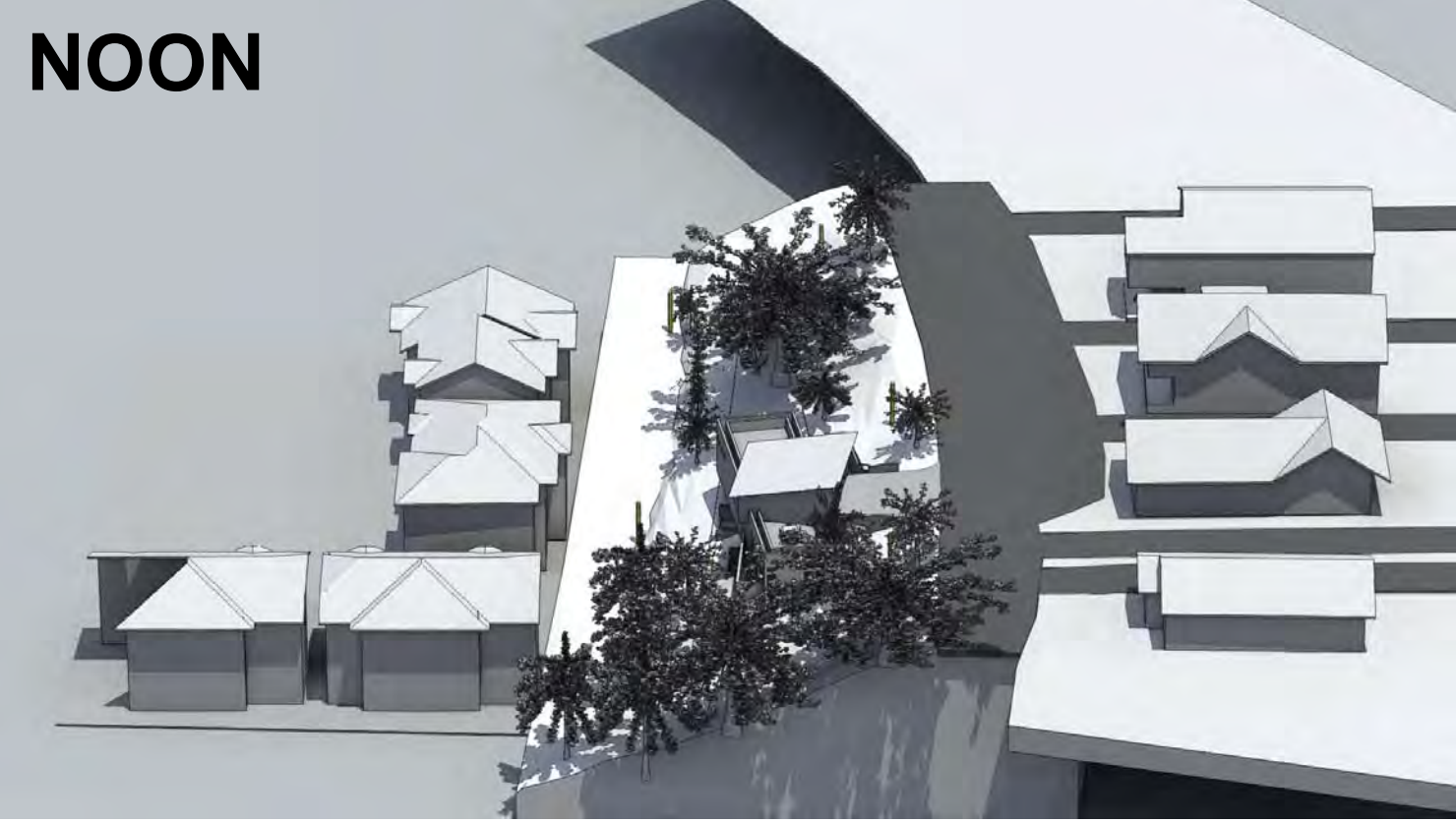
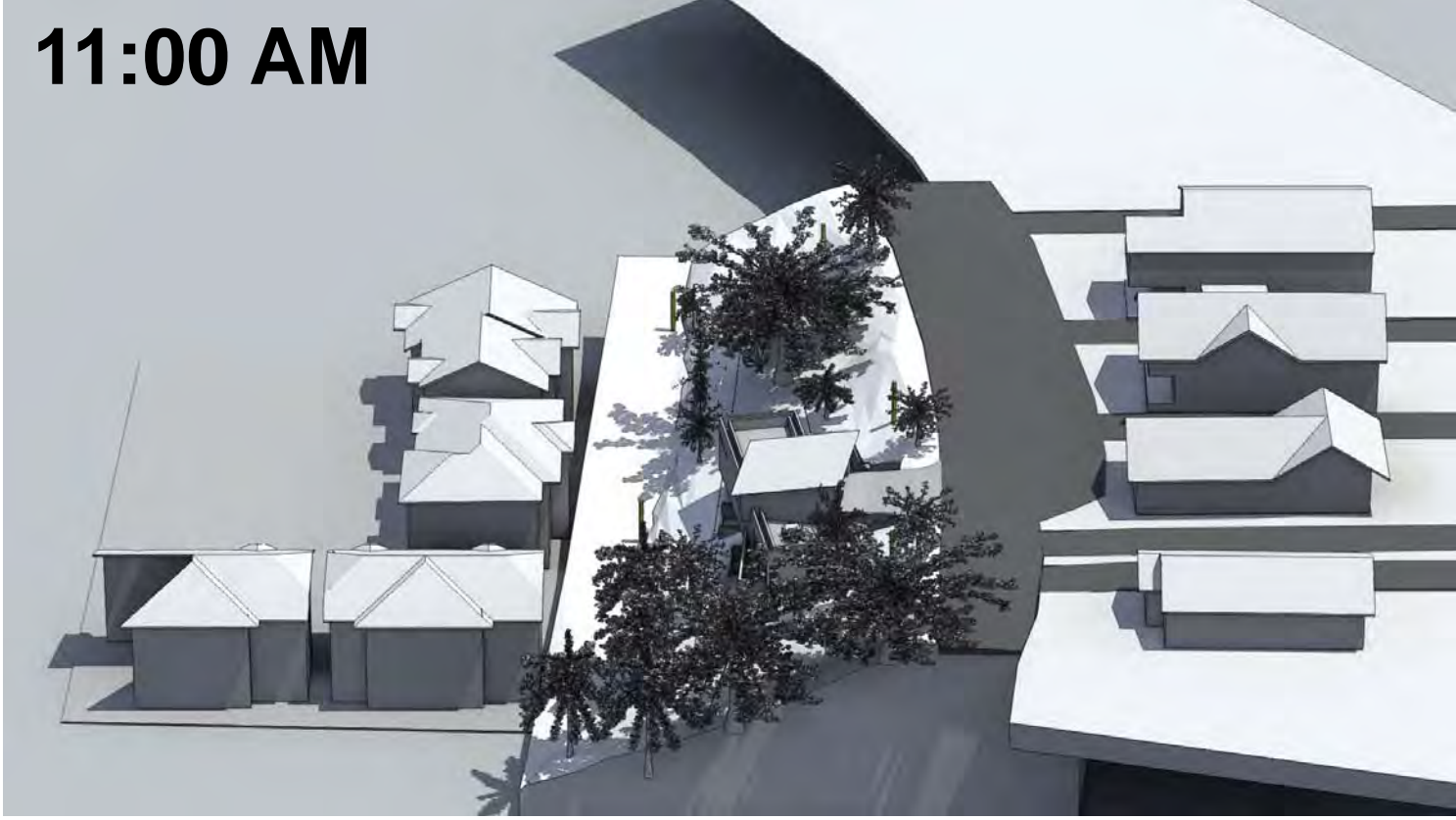
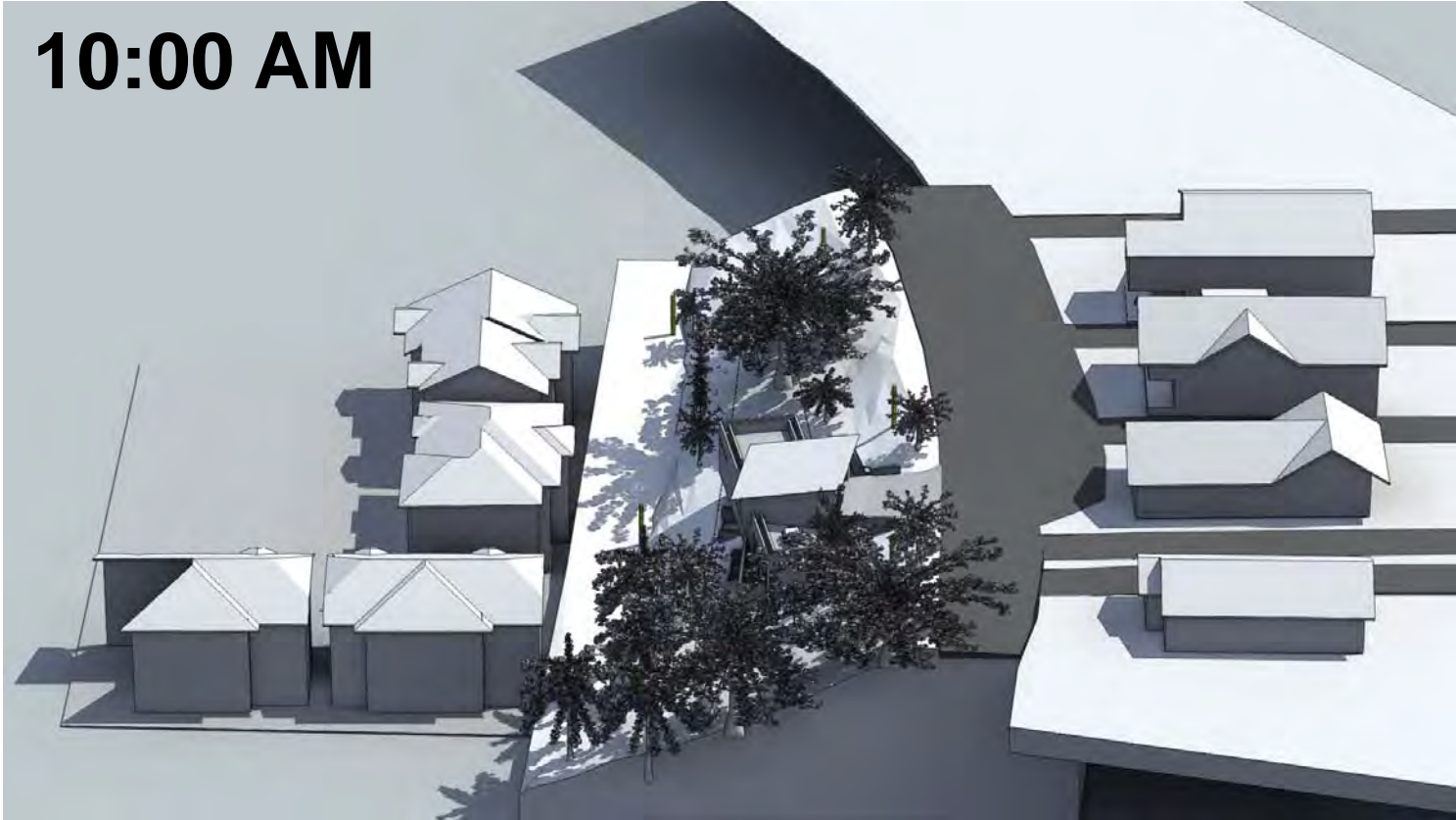
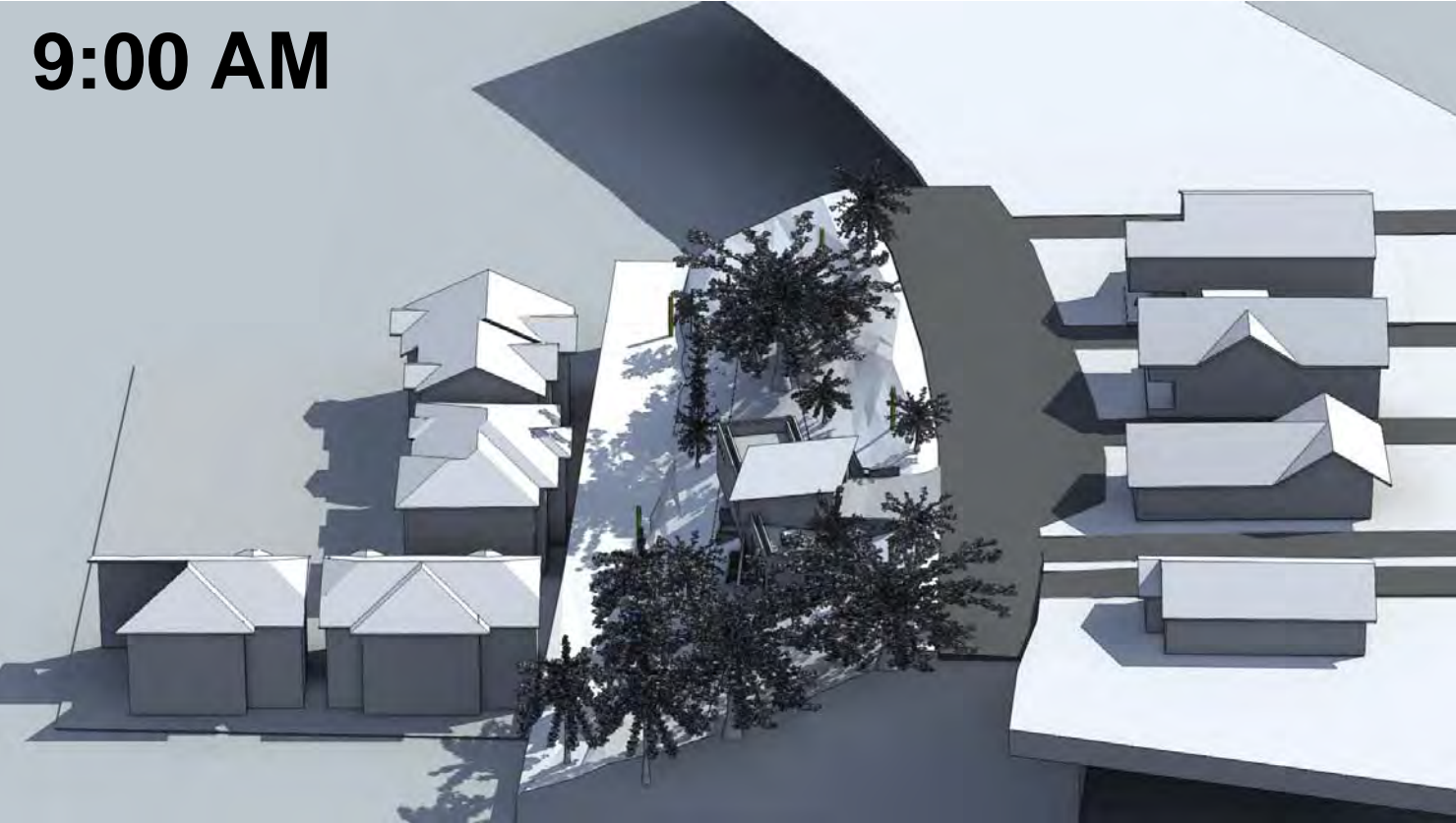
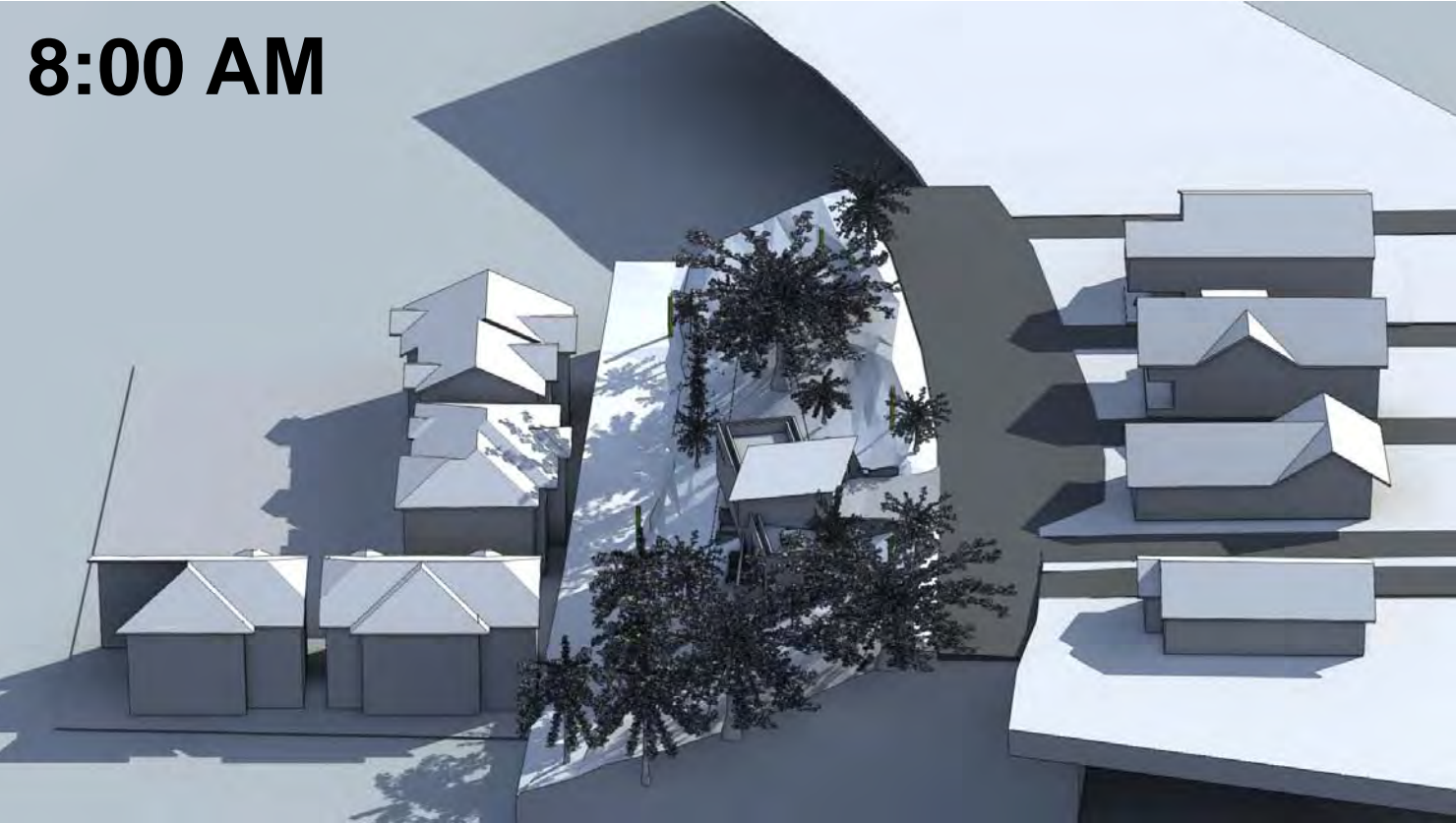
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PETER J. JANE
ARCHITECT
PETER J. JANE
ARCHITECT

PROPOSED NEW RESIDENCE FOR:
341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

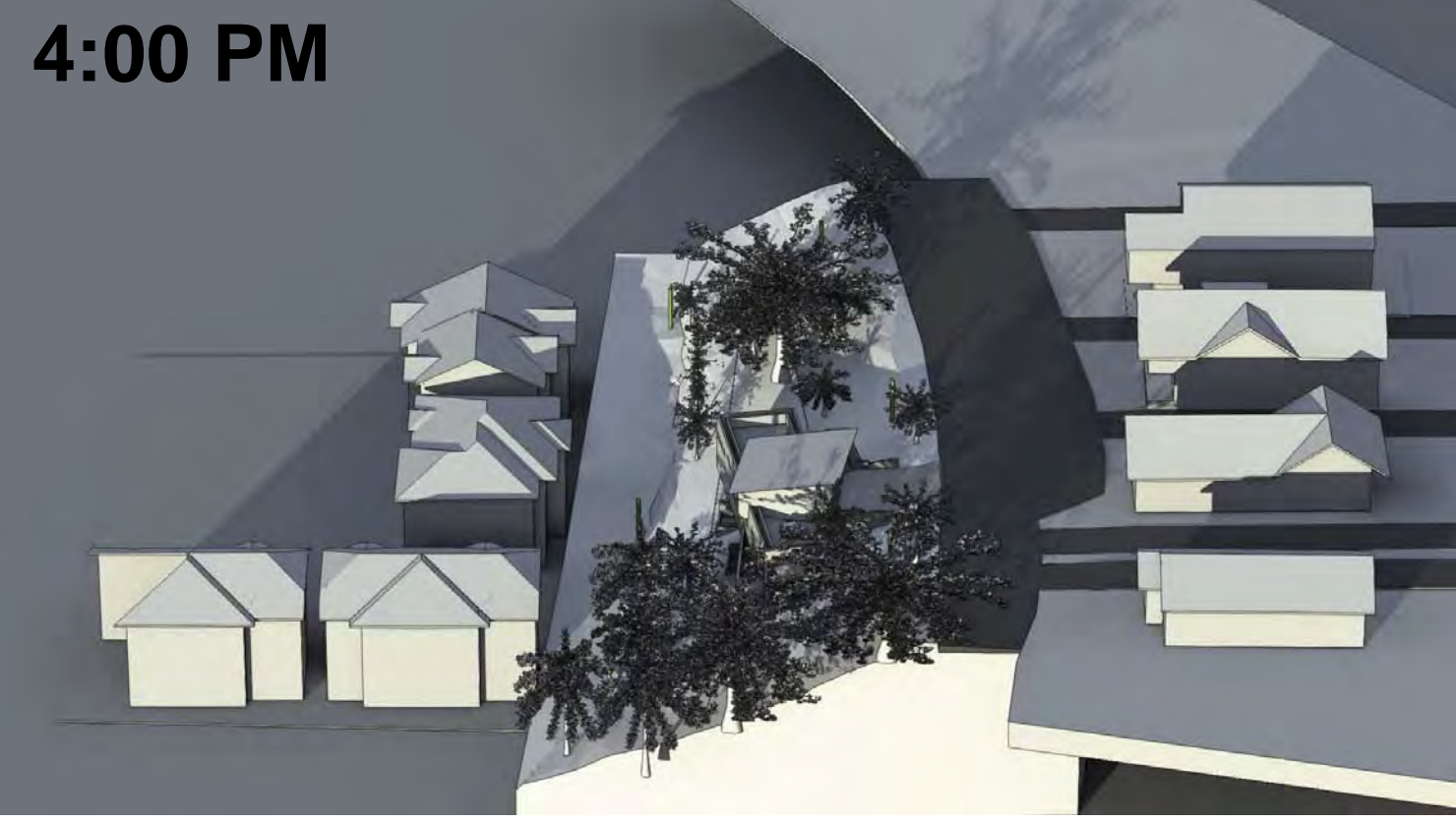
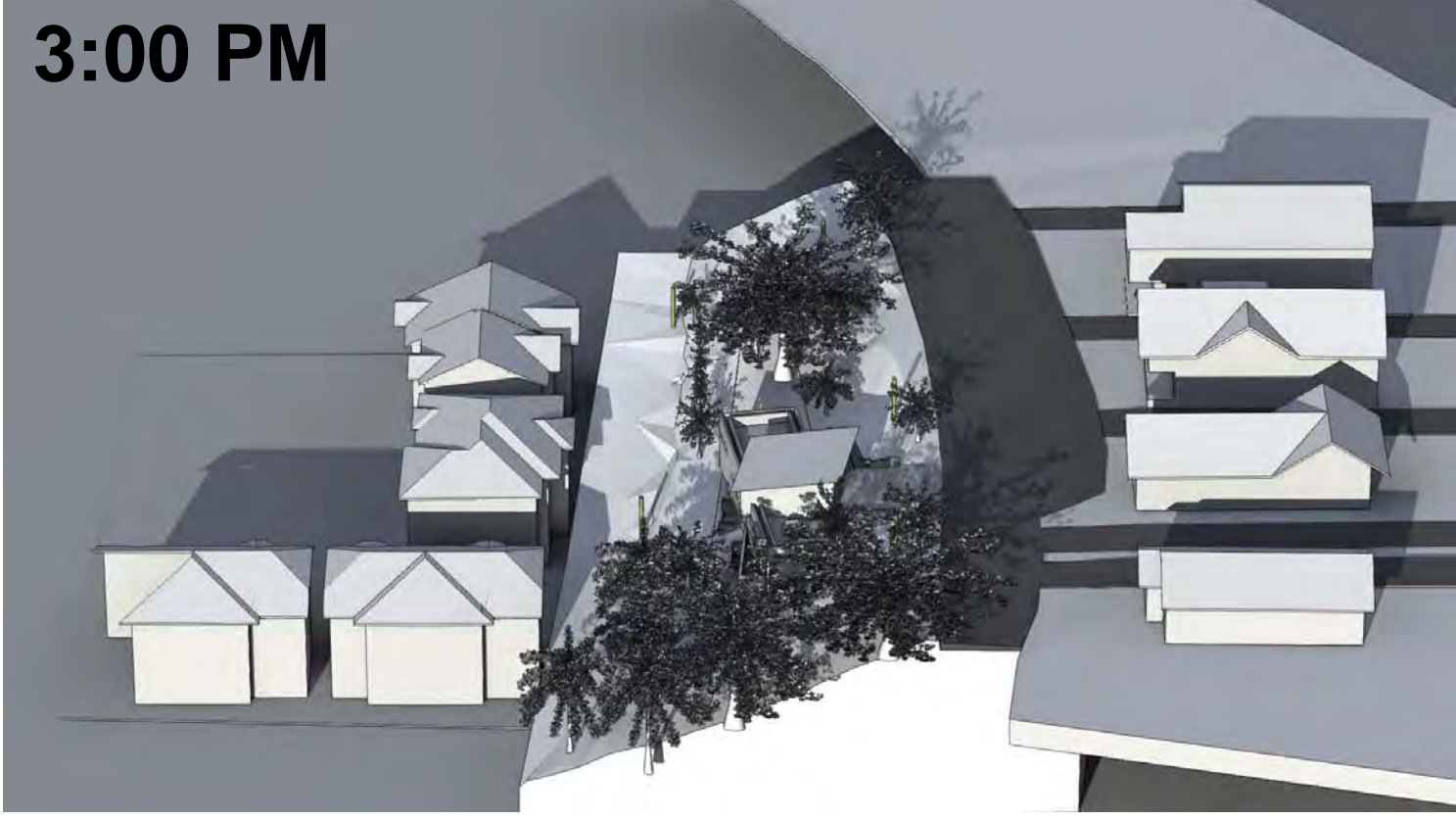
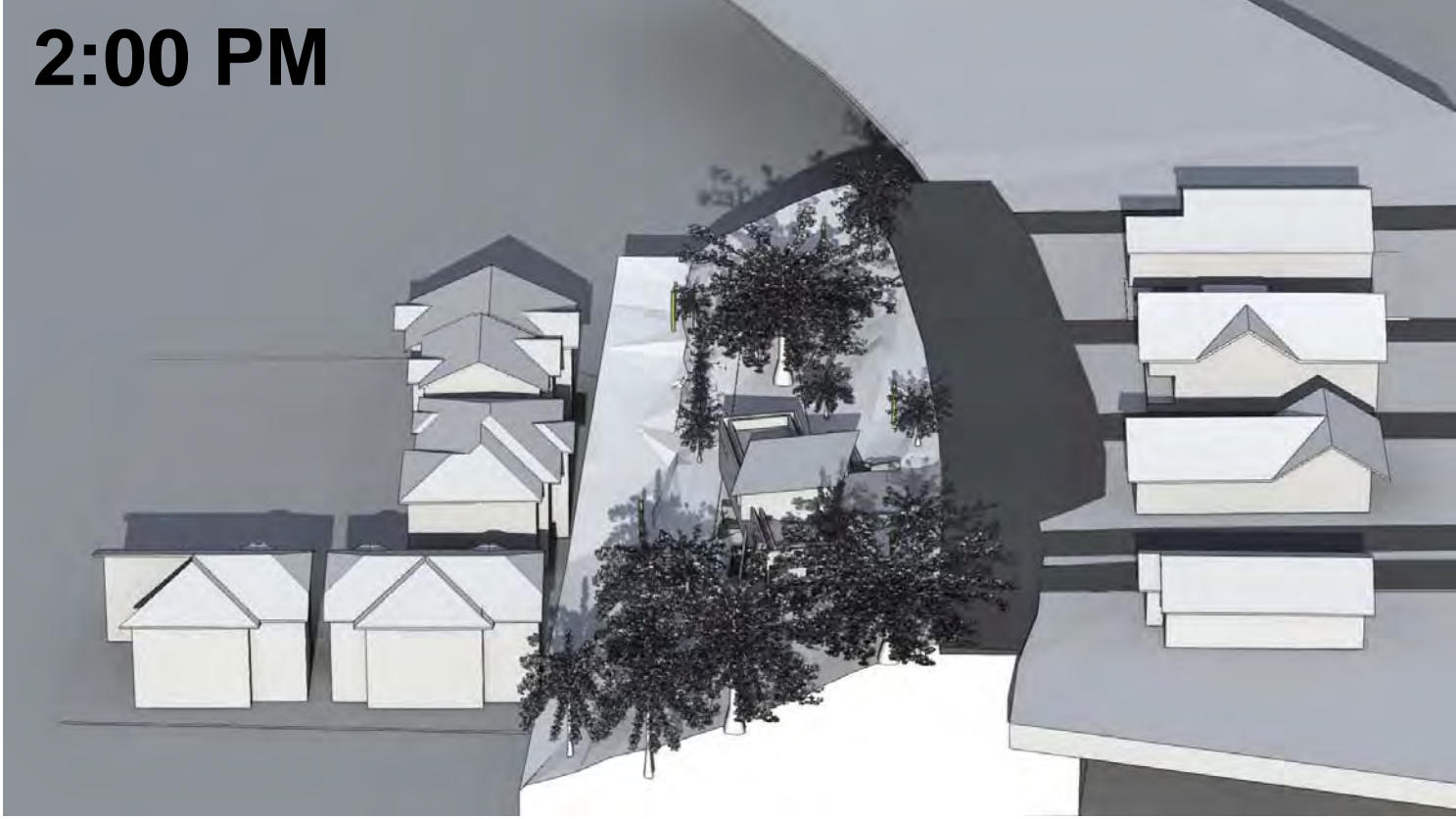
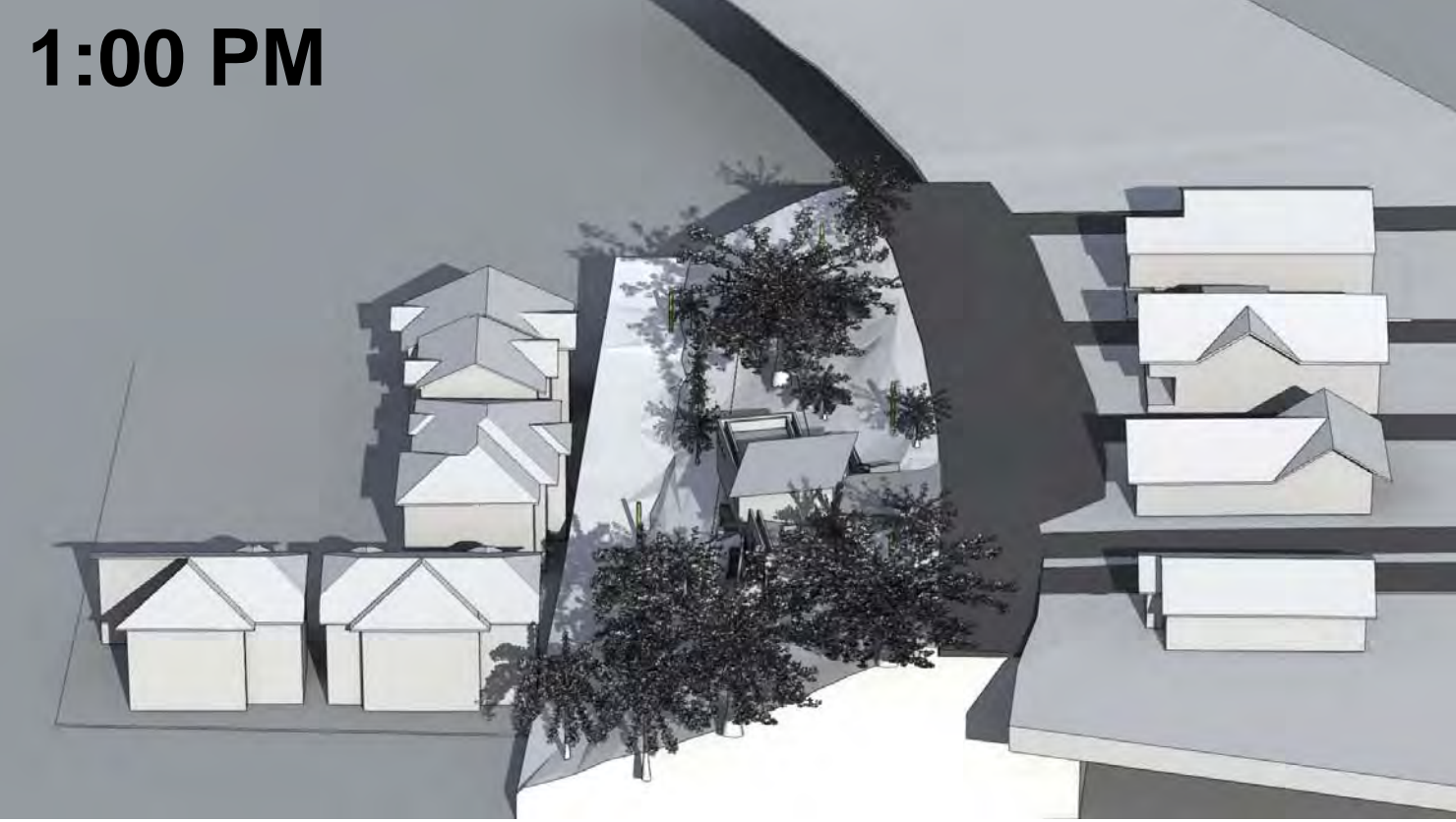
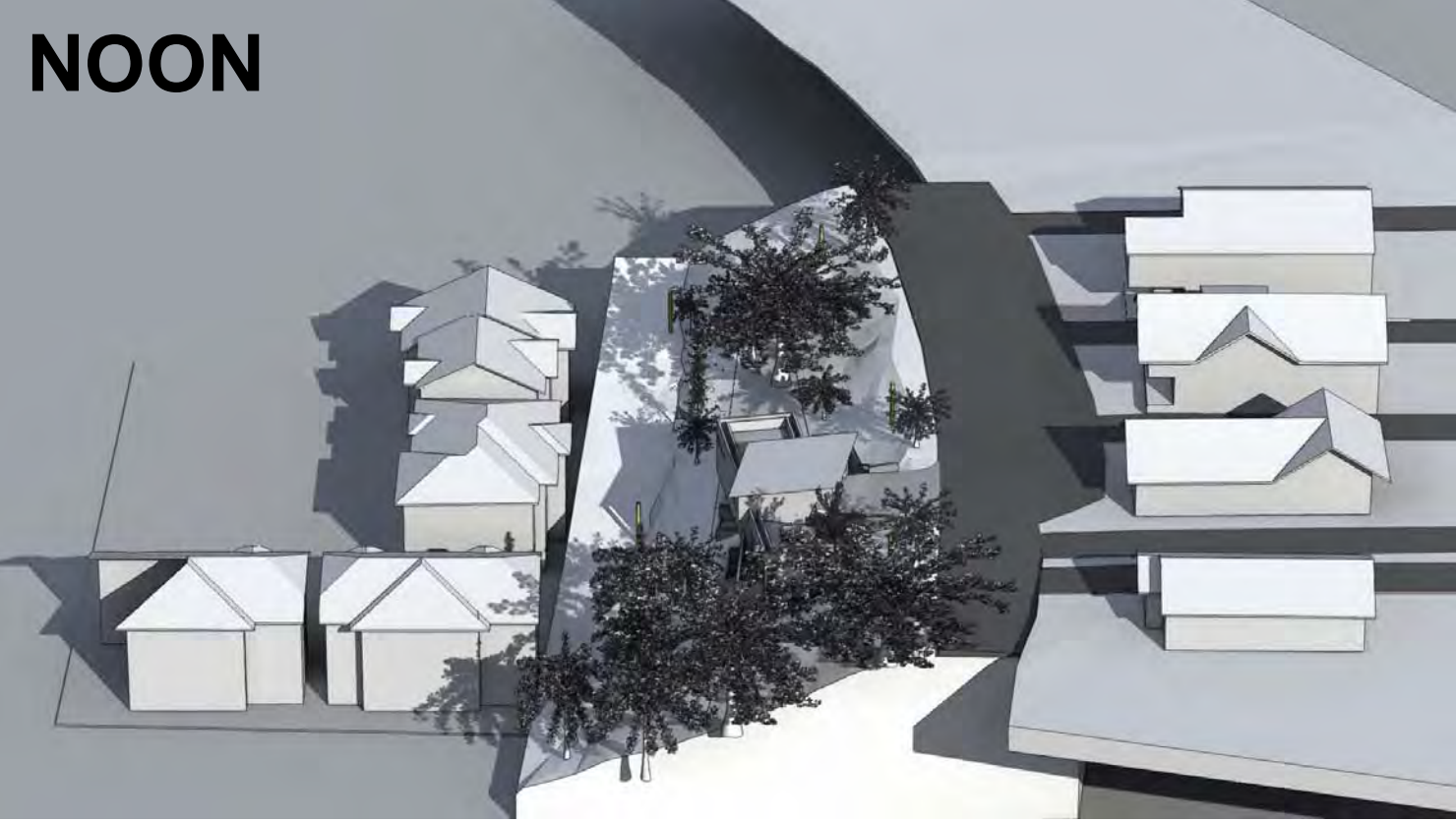
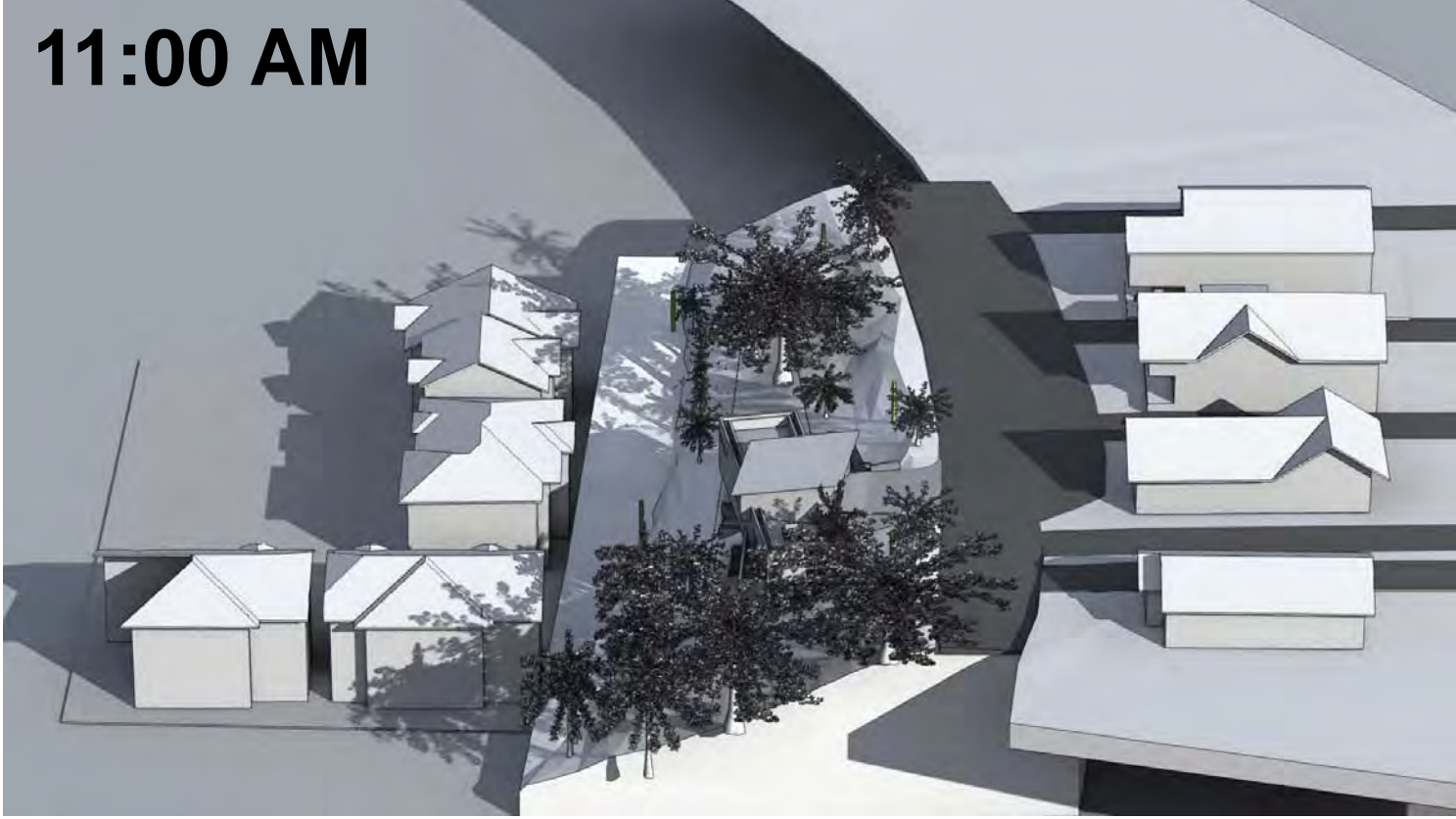
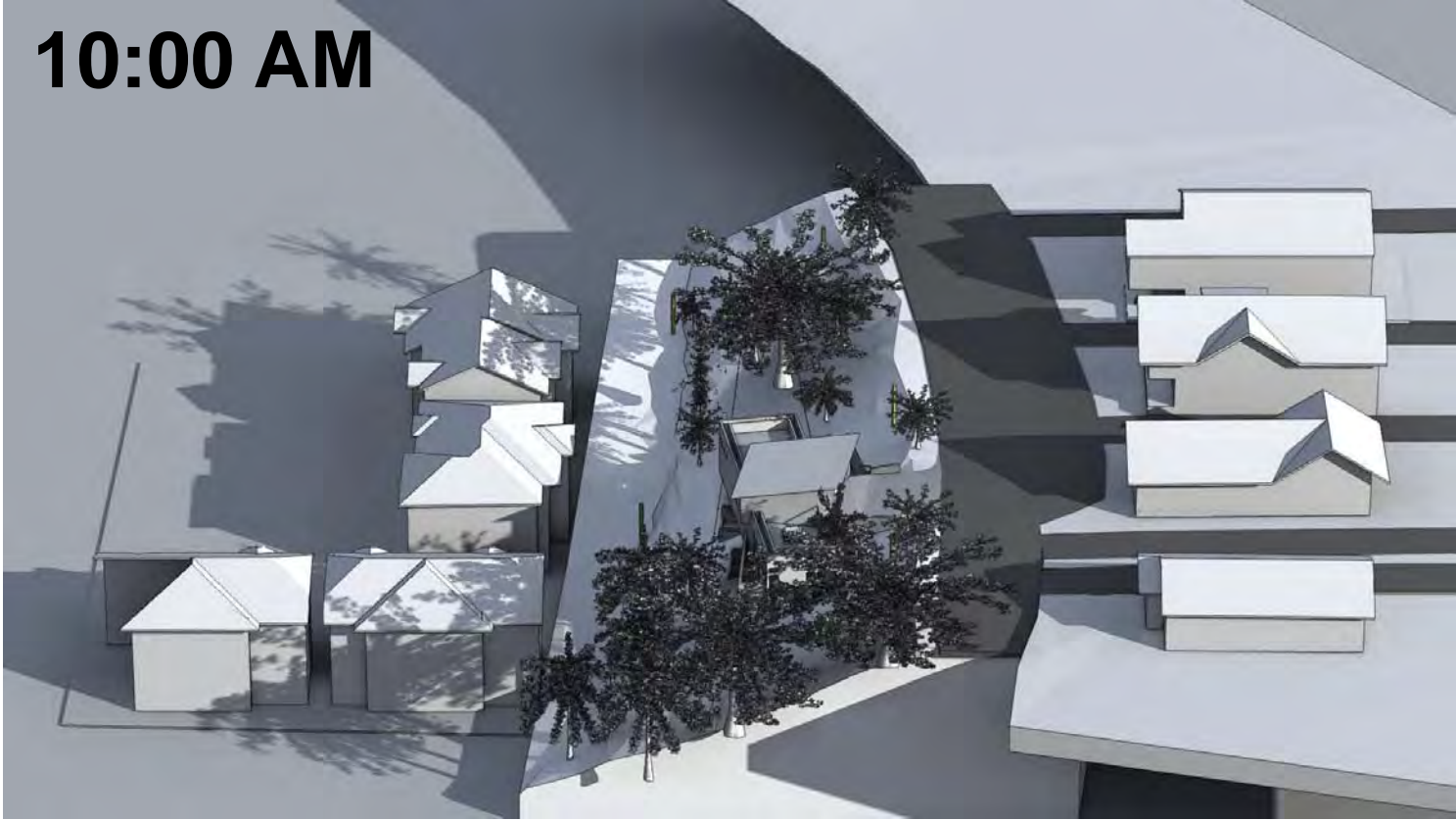
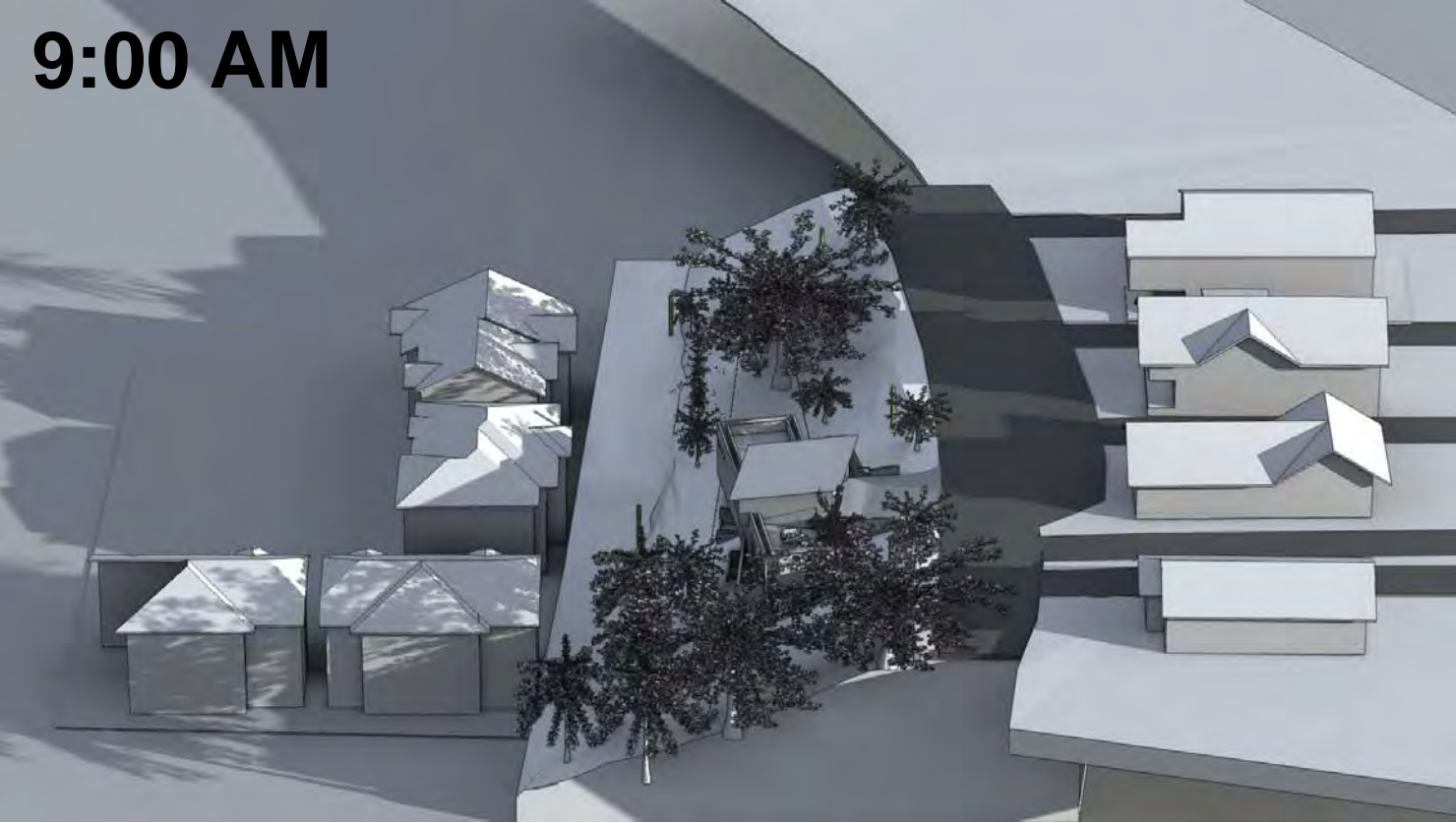
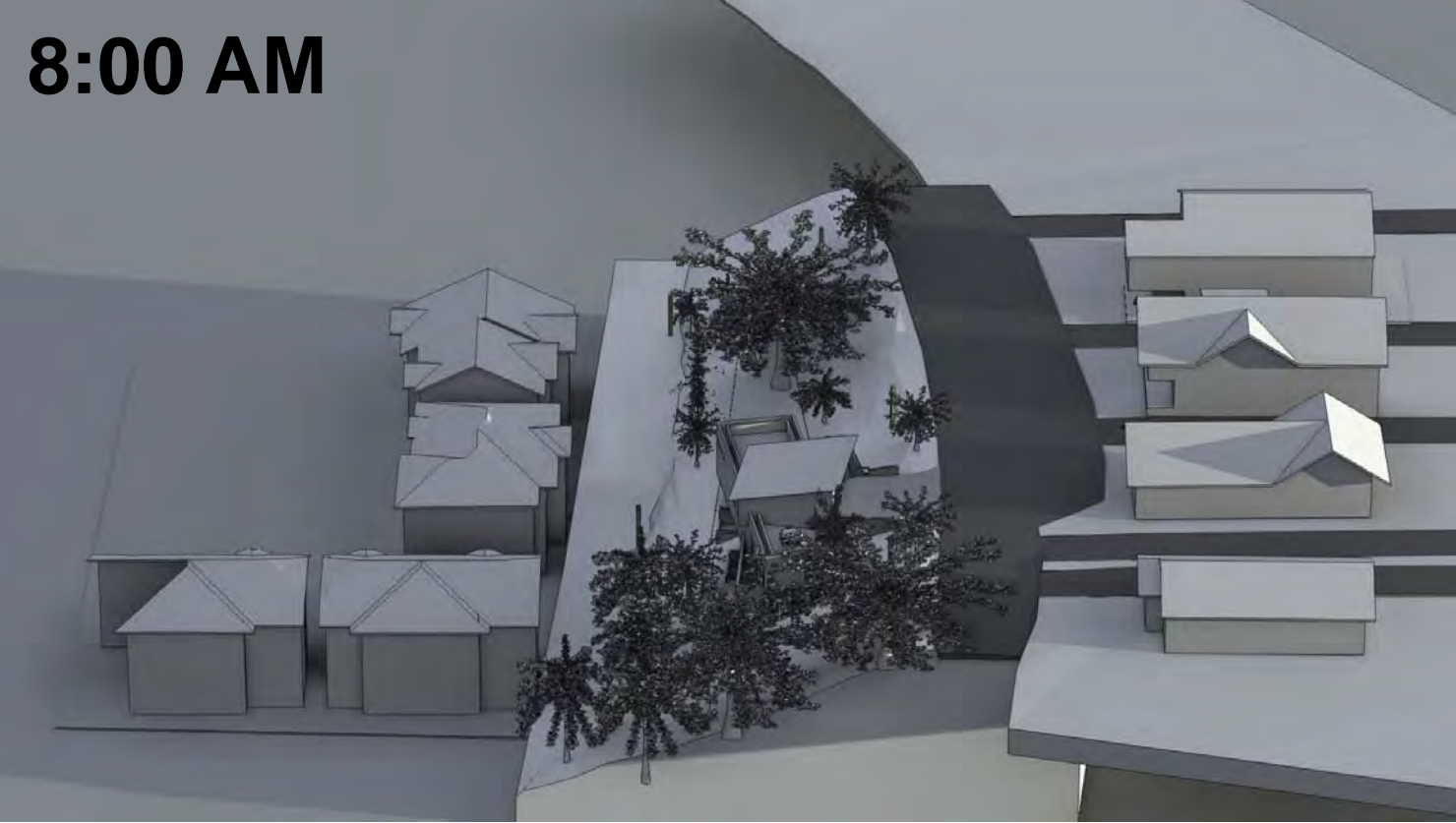
SHEET
SUN & SHADOW STUDY - SOUTH
NOTES:

DRAWING DATE:
10/26/15

A-5.5



JUNE 21ST LOOKING NORTH



DECEMBER 21ST LOOKING NORTH

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PROPOSED NEW RESIDENCE FOR:

341 BELLA VISTA AVENUE
LOS GATOS, CALIFORNIA

SHEET
SUN & SHADOW STUDY - NORTH
NOTES:

DRAWING DATE:
10/26/15

A-5.6



VIEW FROM THE NORTH



VIEW FROM THE SOUTH



VIEW LOOKING WEST



BELLA VISTA SOUTHBOUND



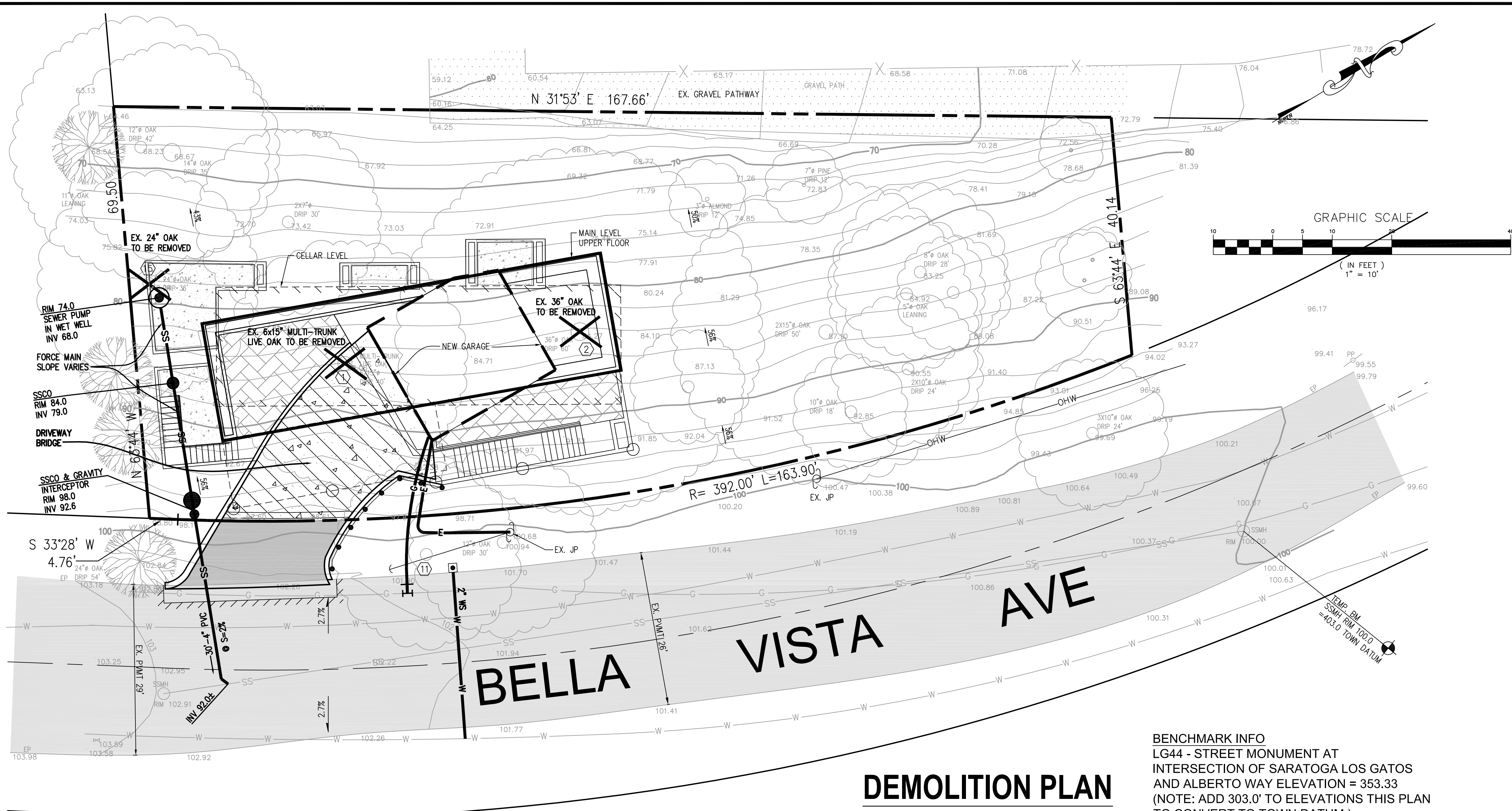
BELLA VISTA NORTHBOUND



AERIAL

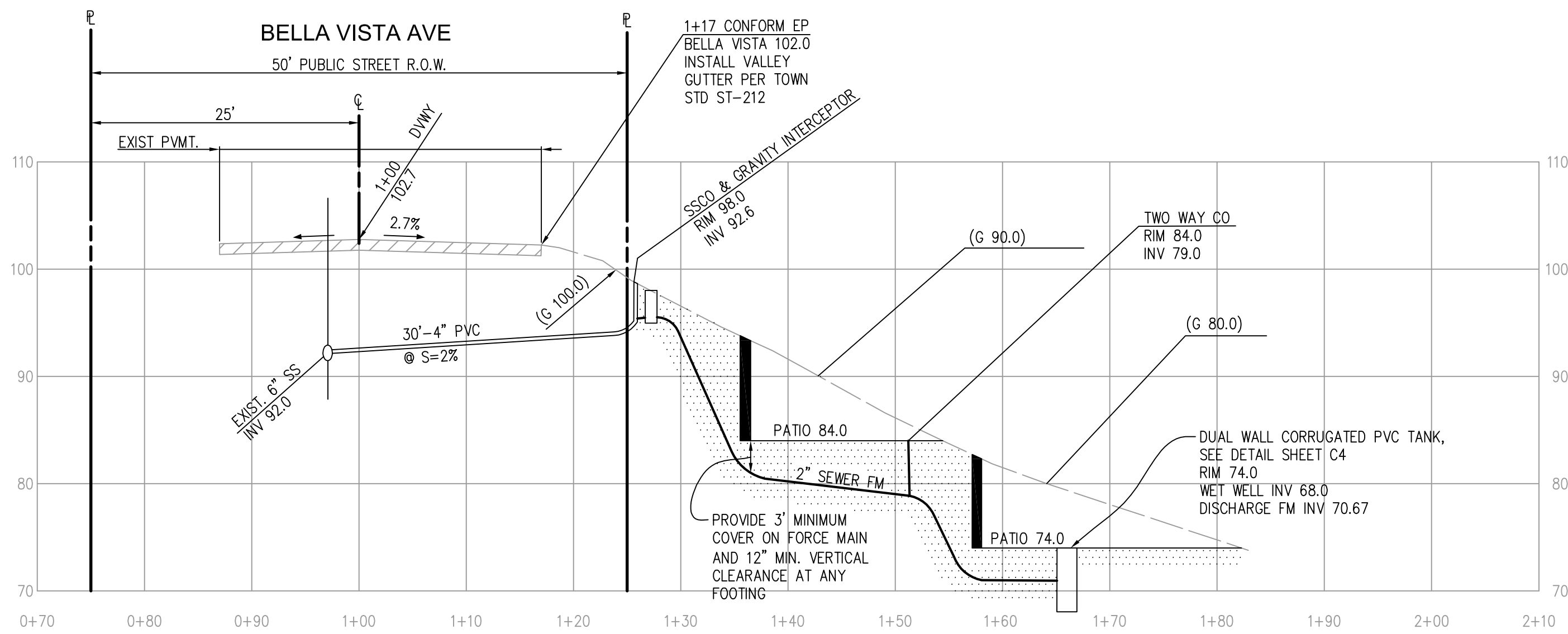
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CONTRACTOR::	
ENGINEERING::	
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PROPOSED NEW RESIDENCE FOR:	
341 BELLA VISTA AVENUE LOS GATOS, CALIFORNIA	
SHEET	CONCEPTUAL RENDERINGS
	NOTES:
DRAWING DATE:	
10/26/15	
A-5.7	

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DEMOLITION PLAN

SCALE: 1"=10'



SANITARY SEWER PROFILE

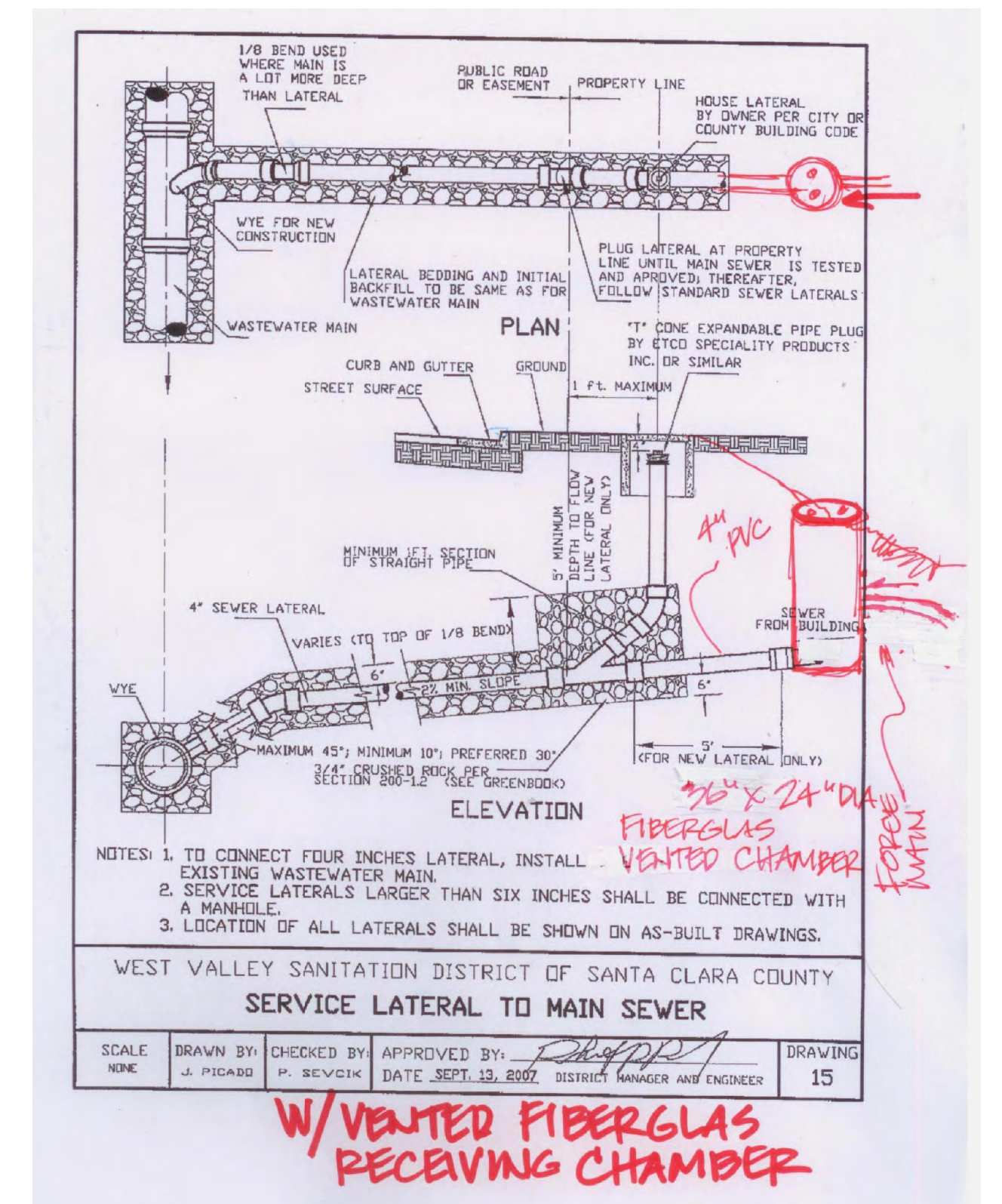
SCALE: 1"=10'

ABBREVIATIONS

AD	AREA DRAIN	MAX	MAXIMUM
AW	BACK OF WALK	MIN	MINIMUM
BW	BOTTOM WALL	MON	MONUMENT (FOUND)
BC	BOTTOM OF CURB	NWM	NEW WATER METER
BSBL	BUILDING SETBACK LINE	PVMT	PAVEMENT
CIP	CATCH BASIN	P.S.D.E.	PRIVATE STORM DRAIN EASEMENT
CO	CLEAN OUT	PL	PROPERTY LINE
C	CONCRETE	PVC	POLY VINYL CHLORIDE
CP	CONTROL POINT	PIV	POST INDICATOR VALVE
DD	DECK DRAIN	RCP	REINFORCED CONCRETE PIPE
DS	DOWNSPOUT	RTG	RETAINING
EP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EX	EXISTING	SSCO	SANITARY SEWER CLEAN OUT
FF	FINISH FLOOR	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	S.S.E.	SANITARY SEWER EASEMENT
FS	FINISH SURFACE	S.D.E.	STORM DRAIN EASEMENT
FL	FLOW LINE	S	SLOPE
FL	FIRE HYDRANT	STD	STANDARD
GND	GROUND	STA	STATION
G	GRADE BREAK	SD	STORM DRAIN
HP	HIGH POINT	SDCO	STORM DRAIN CLEAN OUT
HP	IRRIGATION METER	SDMH	STORM DRAIN MANHOLE
INT	INVERT	SL	STREET LIGHT
JP	JOINT POLE	TC	TOP OF CURB
JB	JOINT TRENCH	TW	TOP OF WALL
JB	JUNCTION BOX	VCP	VITRIFIED CLAY PIPE
LAT	LENGTH	WV	WATER METER
LP	LOW POINT	WV	WATER VALVE
MG	MATCH GRADE	W	WITH

LEGEND

---	EX. CONTOUR MAJOR
---	EX. CONTOUR MINOR
---	EX. BUILDING DRIVEWAY
---	PROPOSED CONTOUR
---	PROPOSED ROAD
---	PROPERTY LINE
---	CENTER LINE EX. EASEMENT/NEW ROAD
---	ADJACENT PROPERTY LINE
---	EX. EASEMENT
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM DRAIN
---	PROPOSED WATER LINE
---	PROPOSED ELECTRIC
---	PROPOSED GAS
---	EX. PAVEMENT
---	PROPOSED BRIDGE
---	PROPOSED PAVEMENT
---	PROPOSED DOWNSPOUT W/ SPLASH BLOCK
---	PROPOSED INTERCEPTOR DITCH



SHEET INDEX

- DEMOLITION & NEW SITE UTILITY PLAN
- GRADING & DRAINAGE PLAN
- SITE LOGISTICS & CONSTRUCTION MANAGEMENT PLAN WITH EROSION CONTROL
- NO HILLSIDE EXCEPTIONS EXHIBIT

BASIS OF BEARING

6		
5		
4		
3		
2		
1		
BY	REVISIONS	DATE



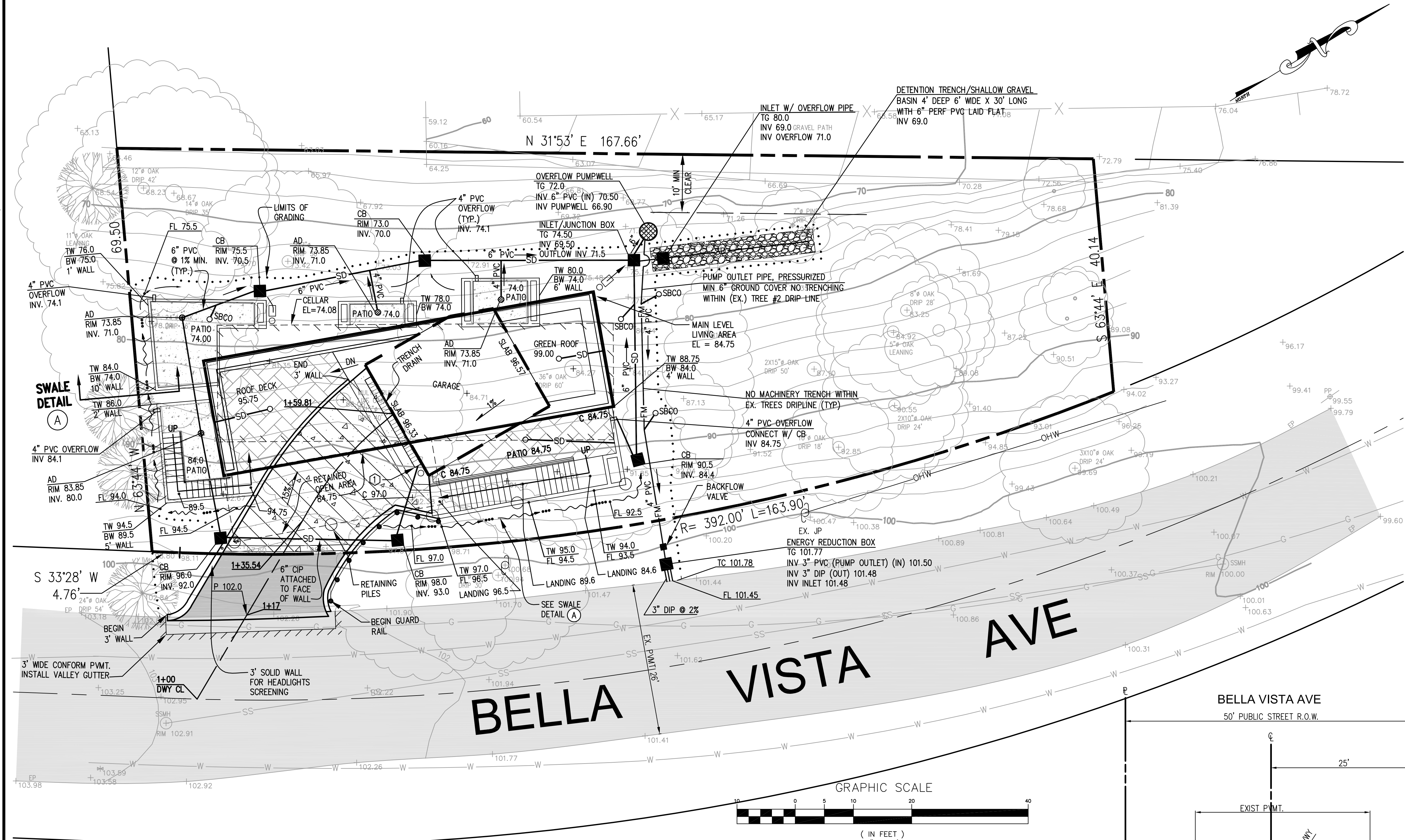
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TS CIVIL ENGINEERING, INC.
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110

DEMOLITION & NEW SITE UTILITY PLAN
LANDS OF ROSS, APN: 529-23-016
341 BELLA VISTA AVE
LOS GATOS, CA

DATE:	11-24-15	SHEET NO.
SCALE:	1"=10'	C1
DRAWN BY:	TT/AC	OF 4 SHEETS
SURVEYED BY:	HB	JOB NO.
PROJ ENGR:	TJS	13-244
CHECK BY:	TJS	

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PLAN VIEW

SCALE: 1"=10'

SWALE DETAIL A

NOT TO SCALE

DRIVEWAY PROFILE

SCALE: 1"=10' HOR/VERT.

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON		
	EXISTING CONDITION SITE (SQFT)	PROPOSED CONDITION SITE (SQFT)
CELLAR	0	1,360
PATIOS/STAIRS	0	584
UPPER FLOOR	0	280
OVERHANGS	0	859
DRIVEWAY	0	859
TOTAL	0	3,083

LOT AREA
APN'S 529-23-015 & 016 10,155 SF = 0.233 AC
AVG. SLOPE: $S = \frac{0.00229 (10) (480)}{0.233} = 47.2\%$

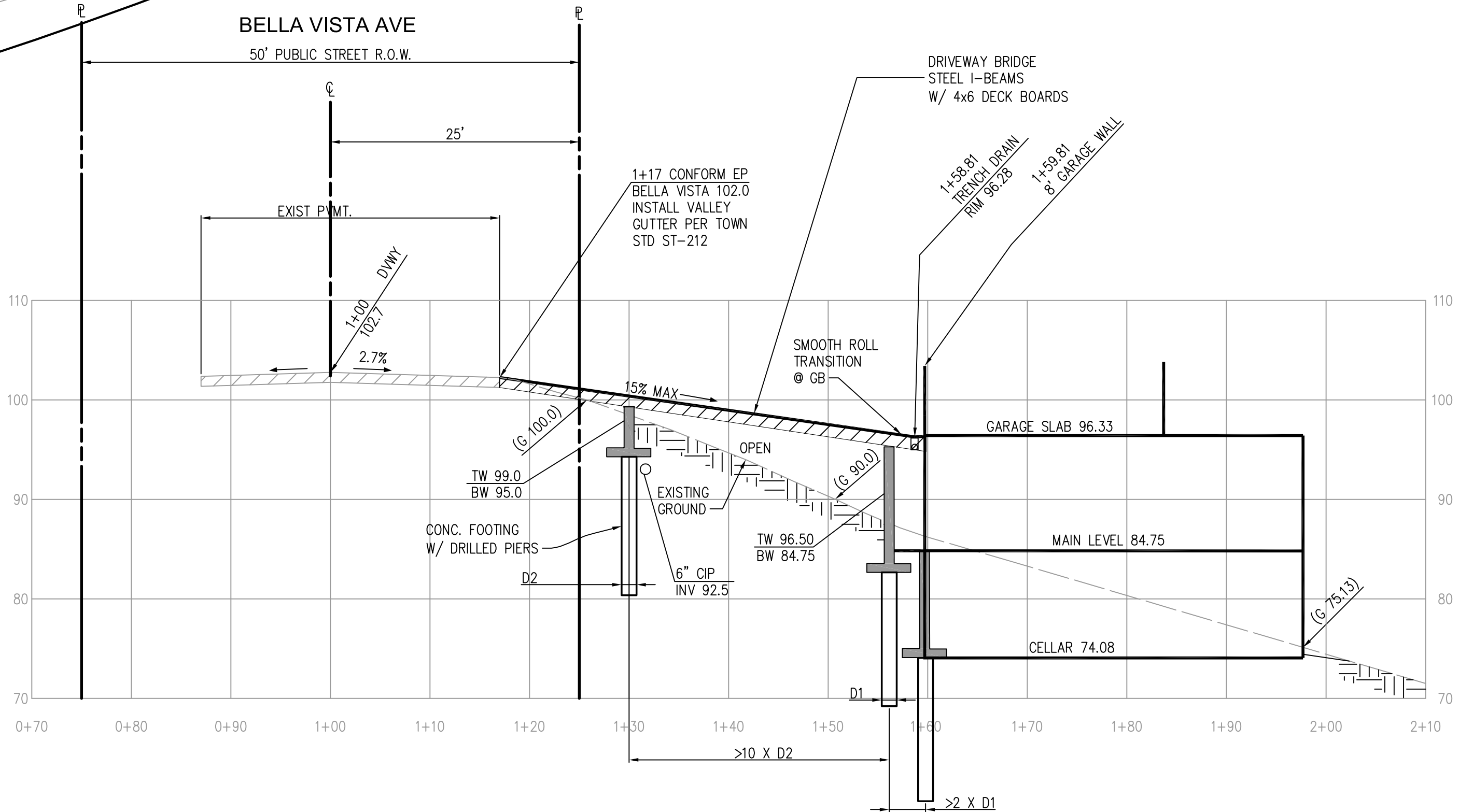
ZONING: R-1:8
IMPERVIOUS COVERAGE: $\frac{3,083}{10,155} = 30.4\%$

EARTHWORK SUMMARY				
	CUT (CY)	MAX. CUT	FILL (CY)	MAX. FILL
CELLAR	606	16'	--	--
PATIOS	59	8'	--	--
DRIVEWAY	--	--	--	4'
STAIRWELL	27	8'	--	--
Total	692	X	0	X

* Approximately 692 CY to be hauled off the site.

SHEET NOTES:

- ① TRENCH DRAIN
RIM 96.28
INV 94.0
SBCO-SUBDRAIN CLEANOUT



BASIS OF BEARING

6		
5		
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BY	REVISIONS	DATE



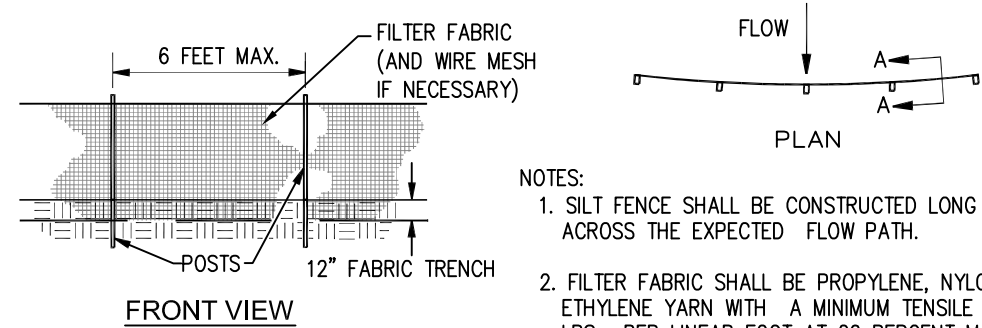
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TS CIVIL ENGINEERING, INC.
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110

GRADING & DRAINAGE PLAN
LANDS OF ROSS, APN: 529-23-016
341 BELLA VISTA AVE
LOS GATOS, CA

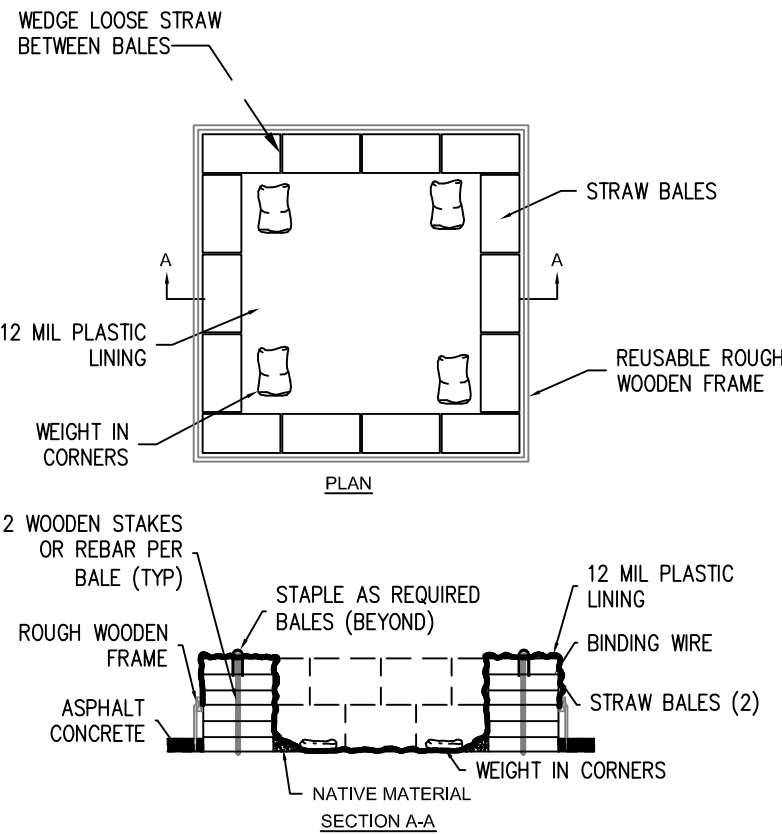
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- NOTES:
1. SILT FENCE SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATH.
 2. FILTER FABRIC SHALL BE PROPYLENE, NYLON, POLYESTER OR ETHYLENE YARN WITH A MINIMUM TENSILE STRENGTH OF 50 LBS. PER LINEAR FOOT AT 20 PERCENT MAXIMUM ELONGATION AND CONTAINING ULTRAVIOLET INHIBITORS. FILTER FABRIC SHALL RETAIN A MINIMUM OF 85% OF THE SOIL, BY WEIGHT, BASED ON SIEVE ANALYSIS, BUT IS NOT FINER THAN AN EQUIVALENT OPENING SIZE OF 70. WHEN STANDARD STRENGTH FABRIC IS USED, A WIRE MESH SUPPORT SHALL BE SECURELY FASTENED TO THE UPSLOPE SIDE OF POSTS.
 3. SUPPORT POSTS SHALL BE A MINIMUM 4.5' LONG 2" X 4" WOOD POSTS OR 1" SECTION FENCE POSTS DRIVEN A MINIMUM OF 18 INCHES INTO THE GROUND. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART. FABRIC SHALL BE SECURELY FASTENED TO POSTS WITH 1 INCH STAPLES OR 16 GAUGE WIRE TIES SPACED A MAXIMUM OF 6 INCHES APART.
 4. A 12 INCH FABRIC TRENCH SHALL BE EXCAVATED ALONG THE UPSLOPE SIDE OF SILT FENCE POSTS. THE BOTTOM EDGE OF THE FABRIC SHALL EXTEND TO AND ACROSS THE BOTTOM OF THE TRENCH. THE TRENCH SHALL BE BACKFILLED TO 4 INCHES ABOVE GROUND AND COMPACTED TO BURY AND SECURE THE BOTTOM OF THE FILTER FABRIC.
 5. CONTRACTOR SHALL MAKE INSPECTIONS WEEKLY DURING THE WET SEASON, MONTHLY DURING THE DRY SEASON AND IMMEDIATELY AFTER EACH RAINFALL TO DETERMINE IF REPAIRS AND SEDIMENT REMOVAL IS REQUIRED. SEDIMENT SHALL BE REMOVED BEFORE IT HAS REACHED ONE THIRD THE HEIGHT OF THE FILTER FABRIC.

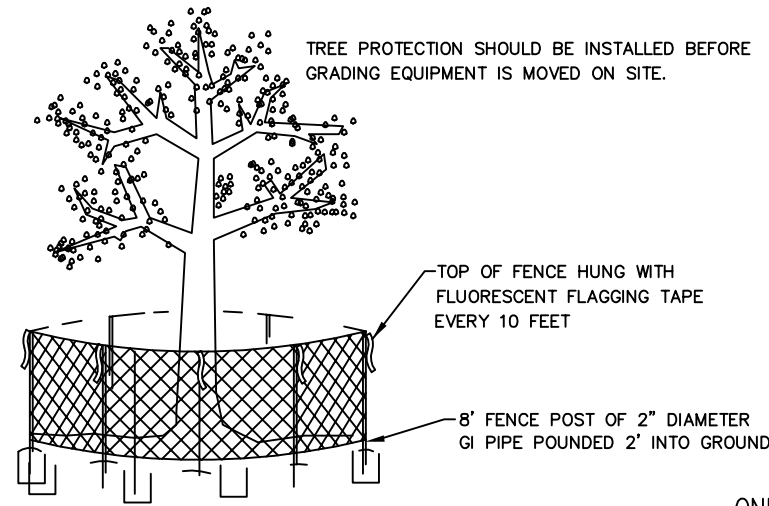
SILT FENCE
N.T.S.



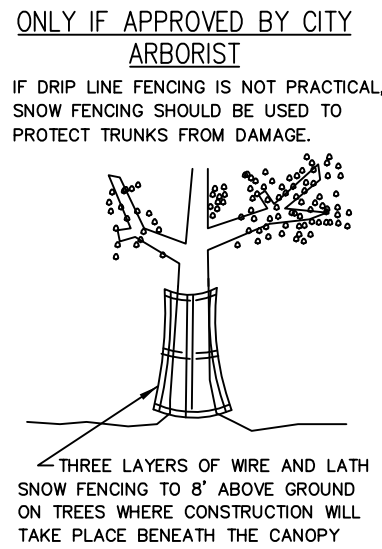
TEMPORARY CONCRETE
WASHOUT FACILITY
N.T.S.

TREE PROTECTIVE NOTES:

- 1.) TREE PROTECTIVE FENCING SHALL BE INSTALLED AS SHOWN ON THE PLAN AND ESTABLISHED PRIOR TO THE ARRIVAL OF CONSTRUCTION EQUIPMENT OR MATERIALS ON SITE. IT SHALL BE COMPOSED OF SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON EIGHT-FOOT TALL, TWO-INCH DIAMETER GALVANIZED POSTS, DRIVEN 24 INCHES INTO THE GROUND AND SPACED NO MORE THAN 10 FEET APART. ONCE ESTABLISHED, THE FENCING MUST REMAIN UNDISTURBED AND BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL FINAL INSPECTION.
- 2.) UNLESS OTHERWISE APPROVED, ALL CONSTRUCTION ACTIVITIES MUST BE CONDUCTED OUTSIDE THE DESIGNATED FENCED AREA (EVEN AFTER FENCING IS REMOVED). THESE ACTIVITIES INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING: DEMOLITION, GRADING, TRENCHING, EQUIPMENT CLEANING, STOCKPILING, AND DUMPING MATERIALS (INCLUDING SOIL FILL), AND EQUIPMENT/VEHICLE OPERATION AND PARKING.
- 3.) ANY APPROVED GRADING OR TRENCHING BENEATH THE TREES' CANOPIES SHALL BE MANUALLY PERFORMED USING SHOVELS.
- 4.) ANY PRUNING OF TREES ON SITE MUST BE PERFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST AND ACCORDING TO ISA STANDARDS.
- 5.) THE DISPOSAL OF HARMFUL PRODUCTS (SUCH AS CHEMICALS, OIL AND GASOLINE) IS PROHIBITED BENEATH TREE CANOPIES OR ANYWHERE ON SITE THAT ALLOWS DRAINAGE BENEATH TREE CANOPIES. ADDITIONALLY, FUEL SHALL NOT BE STORED NOR SHALL ANY REFUELING OR MAINTENANCE OF EQUIPMENT OCCUR WITHIN 20 FEET OF THE TREES' TRUNKS.
- 6.) HERBICIDES SHALL NOT BE APPLIED BENEATH THE TREE CANOPIES. WHERE USED ON SITE, THEY MUST BE LABELED FOR SAFE USE NEAR TREES.



TREE PROTECTION
N.T.S.



TREE PROTECTION
N.T.S.

LEGEND

	TEMPORARY CONSTRUCTION ENTRANCE
	INLET PROTECTION
	SILT FENCE
	STRAW WATTLE
	COMBINED SILT FENCE/ROCK FENCE (6' TEMPORARY CHAIN LINK WITH POSTS 8' O.C.)
	CHAIN LINK FENCE
	TREE PROTECTION FENCE

INTERIM EROSION CONTROL MEASURES:

1. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO INSURE THAT NO MUD OR SILTATION LEAVES THE PROJECT SITE.
2. INTERIM EROSION CONTROL MEASURES MUST BE COMPLETED AND IN PLACE BY OCTOBER 1.
3. ALL INTERIM EROSION CONTROL MEASURES MUST BE CONTINUOUSLY MAINTAINED THROUGHOUT THE OCTOBER 5 TO APRIL 15 RAINY SEASON.

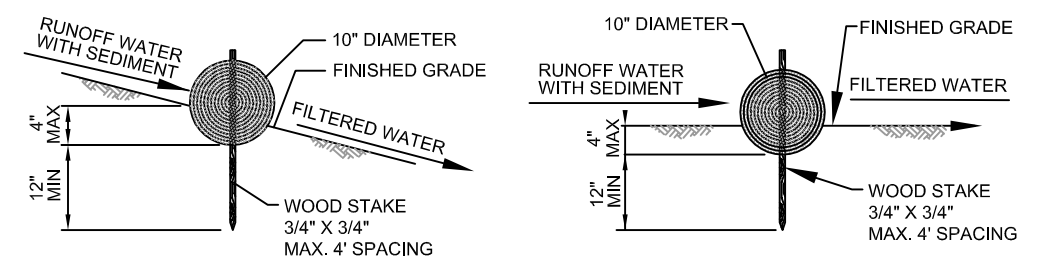
MEASURES:

1. INSTALL SILT FENCE.
2. SEED EXPOSED AREAS PER SPECIFICATIONS BELOW.
3. INSTALL DRAINAGE MEASURES INCLUDING CATCH BASINS, GRASSY SWALES, ENERGY DISSIPATORS, ETC.
4. INSTALL CHECK DAMS, SEDIMENT TRAPS AND BASINS, GRASSY SWALES, TEMPORARY SWALES.
5. INSTALL JUTE NETTING OVER SEEDED AND MULCHED SLOPES.
6. COVER BARE SLOPES WITH STRAW BLANKETS.

SEEDING SPECIFICATIONS:

1. SEED AND MULCH WILL BE APPLIED BY OCT 1 TO ALL DISTURBED SLOPES AND TO ALL CUTS AND FILL SLOPES WITHIN OR ADJACENT TO PUBLIC RIGHTS-OF-WAY AS DIRECTED BY TOWN ENGINEER.
2. SEED AND FERTILIZER WILL BE APPLIED HYDRAULICALLY OR BY HAND AT THE RATES SPECIFIED BELOW ON SLOPES. STRAW WILL BE APPLIED BY BLOWER OR BY HAND AND ANCHORED IN PLACE BY PUNCHING OR WITH JUTE NETTING.
3. SEEDING AREAS WILL BE REPAIRED, RESEEDED AND MULCHED, IF DAMAGED.

ITEM	POUNDS/ACRE
"BLANDO" BROME	30
ANNUAL RYE GRASS	20
FERTILIZER (16-20-0 & 15% SULFUR)	500
STRAW	4,000

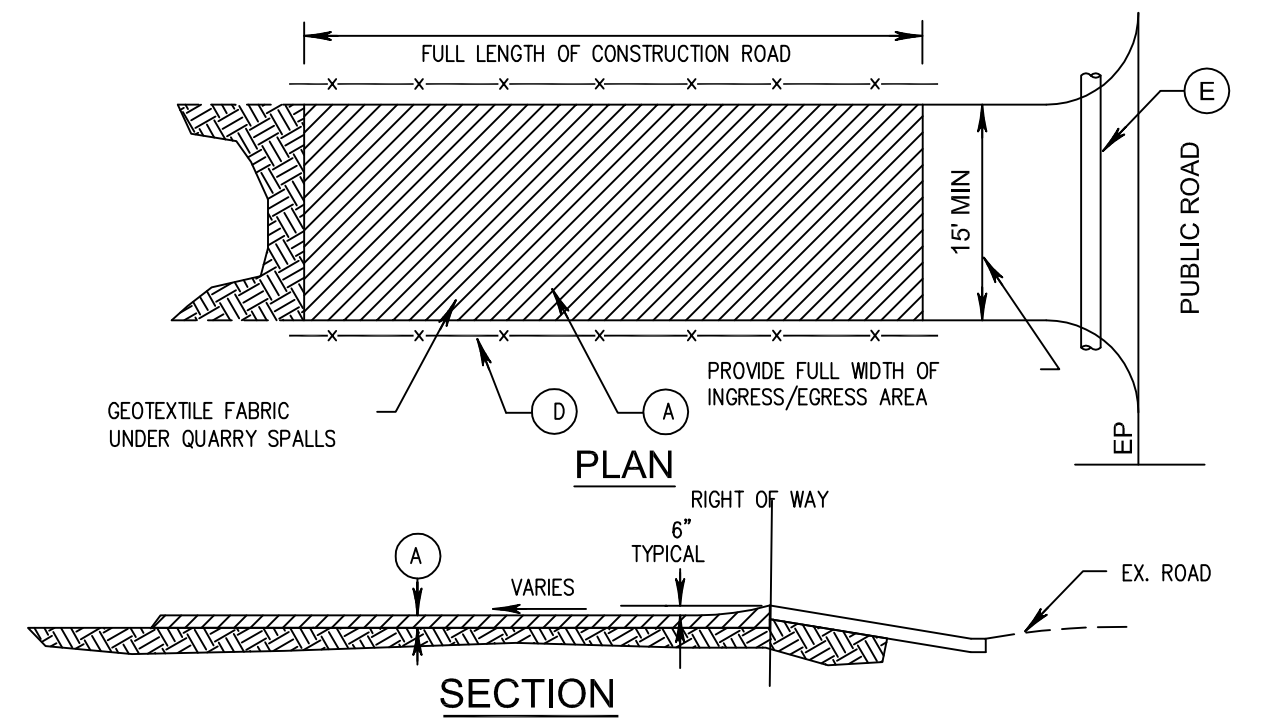


ENTRENCHMENT DETAIL
IN SLOPE AREA

ENTRENCHMENT DETAIL
IN FLAT AREA

- NOTES:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3' TO 4' DEEP.
 2. ADJACENT ROLLS SHALL TIGHTLY ADJUT.
 3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND STRAW ROLL.
 4. STRAW ROLLS SHALL BE PLACED ON SLOPES @ MAX. 25' SPACING.

STRAW WATTLE
N.T.S.



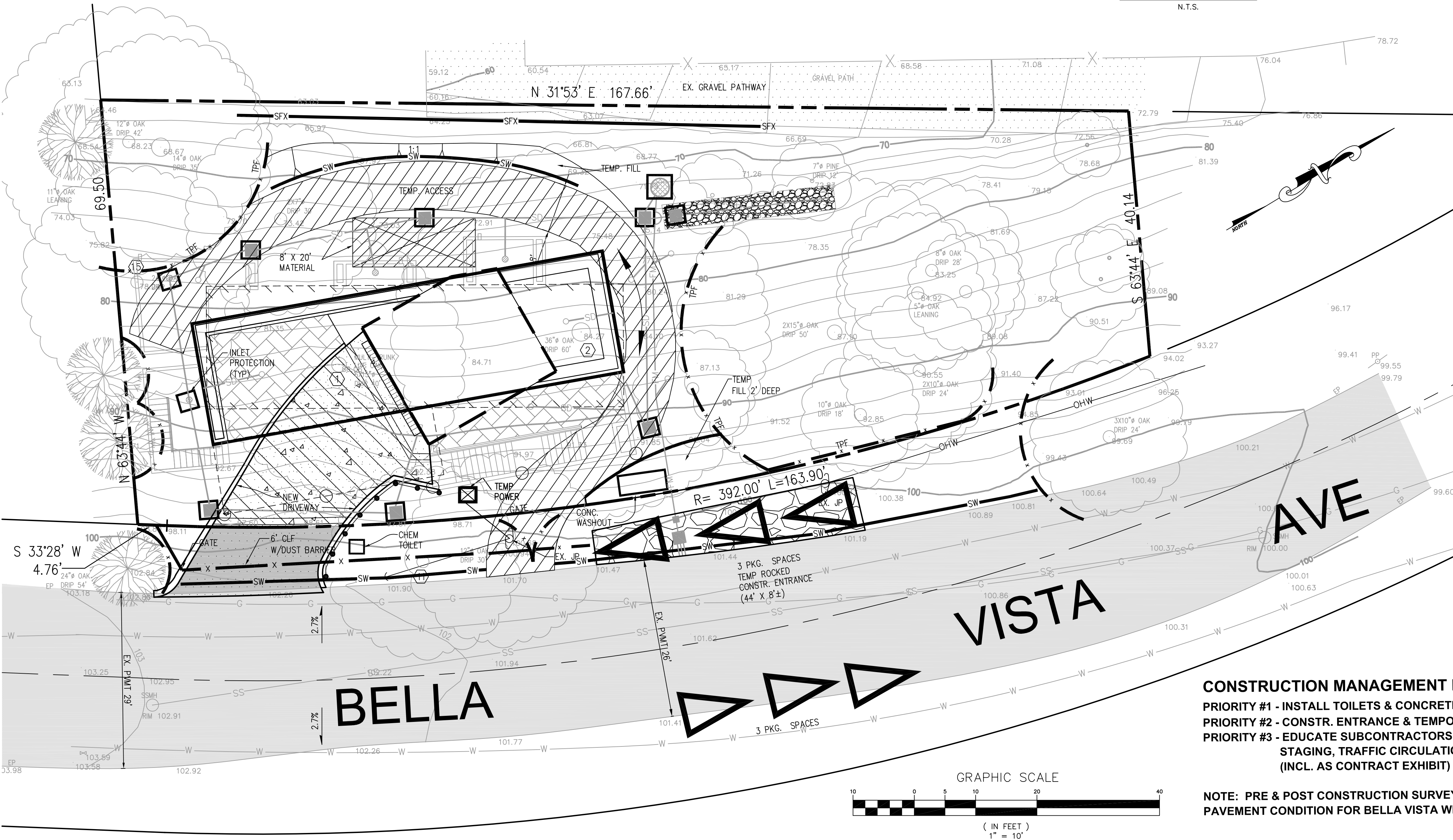
- NOTES:
1. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 2. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
 3. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS USED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 4. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

CONSTRUCTION MANAGEMENT REQUIREMENTS

- PRIORITY #1 - INSTALL TOILETS & CONCRETE WASHOUT
PRIORITY #2 - CONSTR. ENTRANCE & TEMPORARY PARKING
PRIORITY #3 - EDUCATE SUBCONTRACTORS ON STAGING, TRAFFIC CIRCULATION (INCL. AS CONTRACT EXHIBIT)

NOTE: PRE & POST CONSTRUCTION SURVEYS OF PAVEMENT CONDITION FOR BELLA VISTA WILL BE REQUIRED.



GRAPHIC SCALE

(IN FEET)
1" = 10'

BASIS OF BEARING

6		
5		
4		
3		
2		
1		
BY	REVISIONS	DATE



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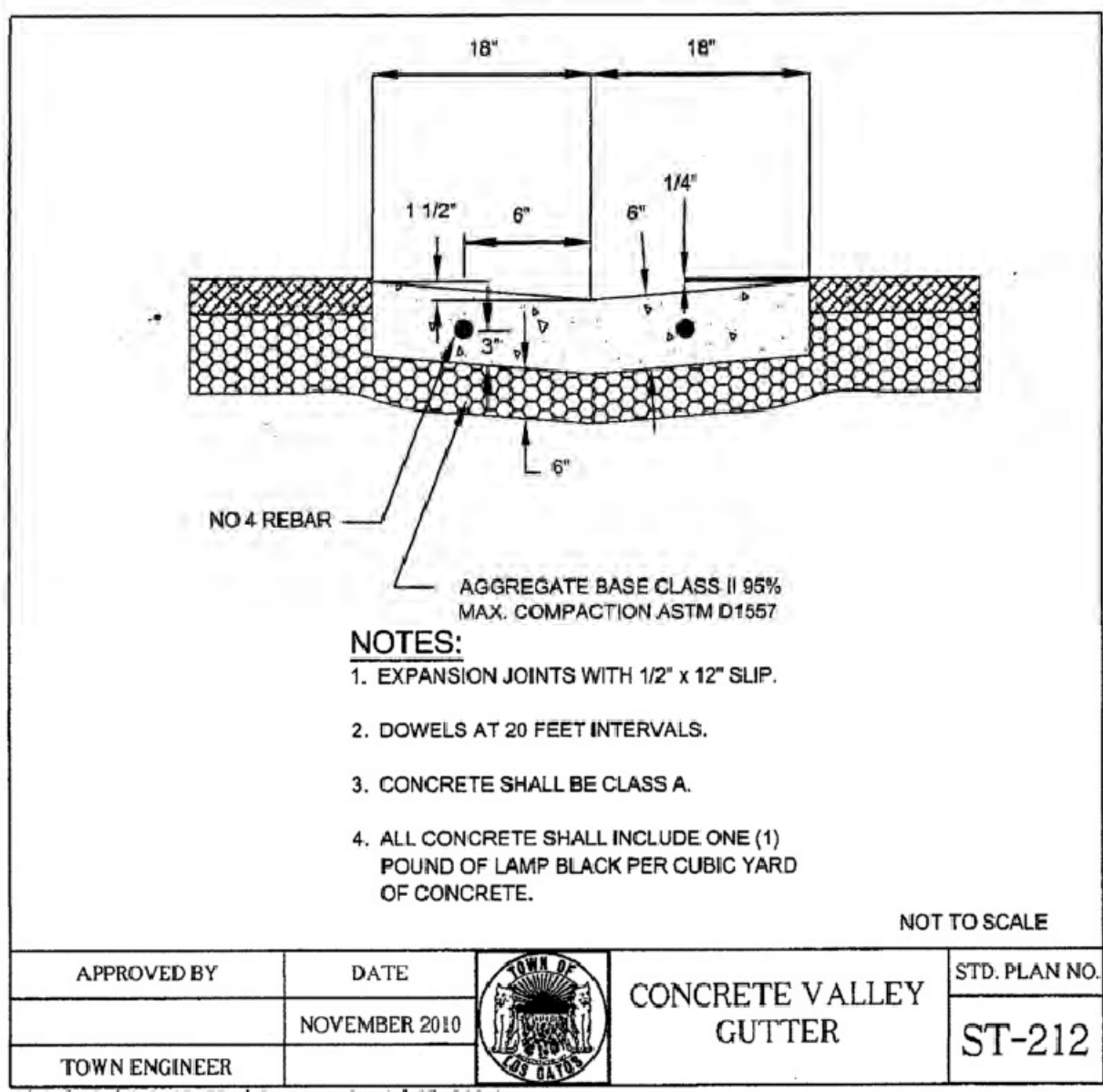
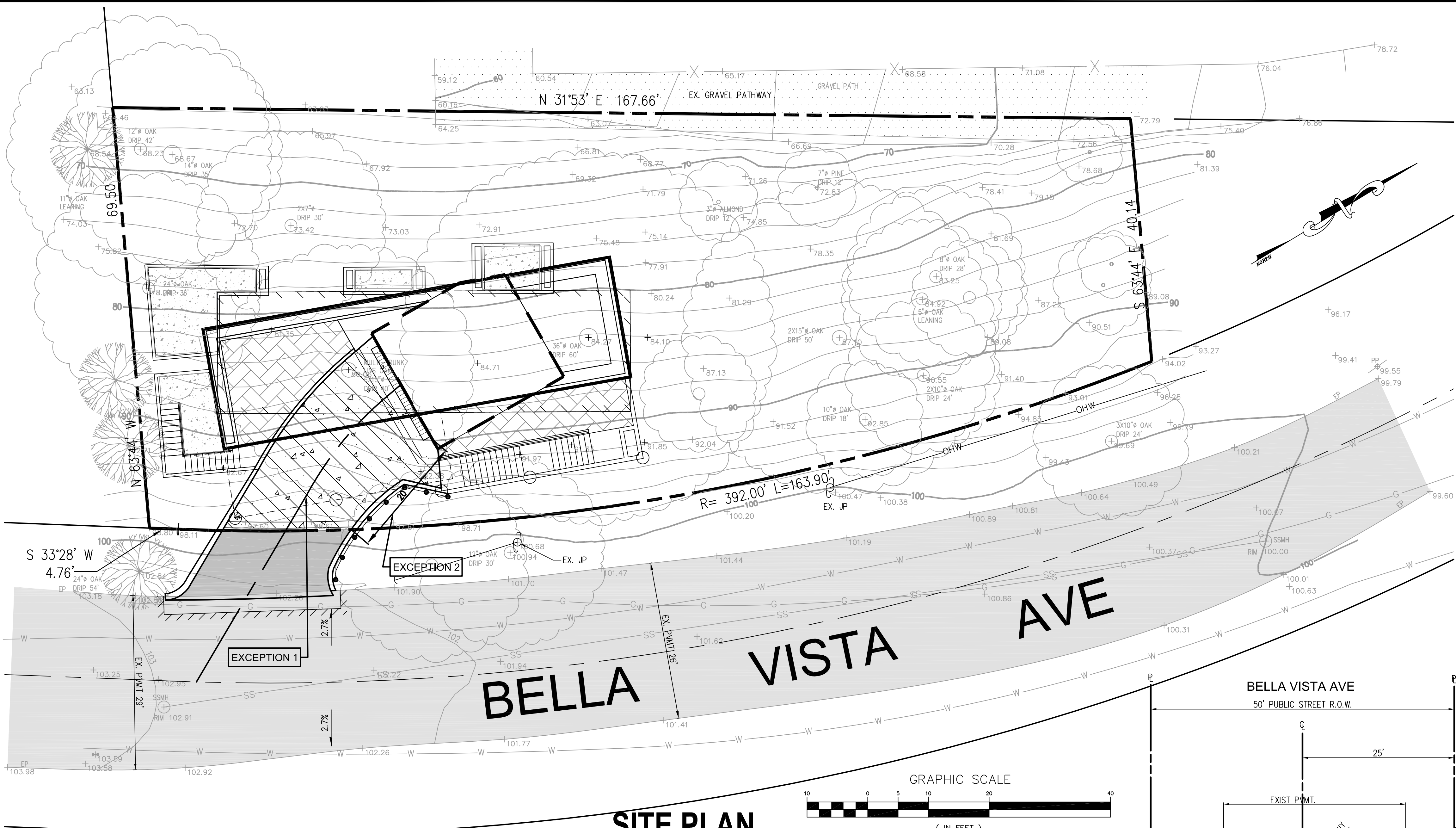
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TS CIVIL ENGINEERING, INC.
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110

SITE LOGISTICS & CONSTRUCTION MANAGEMENT PLAN
WITH EROSION CONTROL
LANDS OF ROSS, APN: 529-23-016
341 BELLA VISTA AVE
LOS GATOS, CA

DATE:	10-29-15	SHEET NO.
SCALE:	1"=10'	C3
DRAWN BY:	TT/DKH	OF 4 SHEETS
SURVEYED BY:	HB	JOB NO.
PROJ ENGR:	TJS	13-244
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SHEET NOTES

EXCEPT.	DESCRIPTION	STD.	AREA	COMMENTS
1	DRIVEWAY FILL	-	-	NOW BRIDGE - NO ISSUE
2	DRIVEWAY LENGTH	20'	-	NO VARIANCE

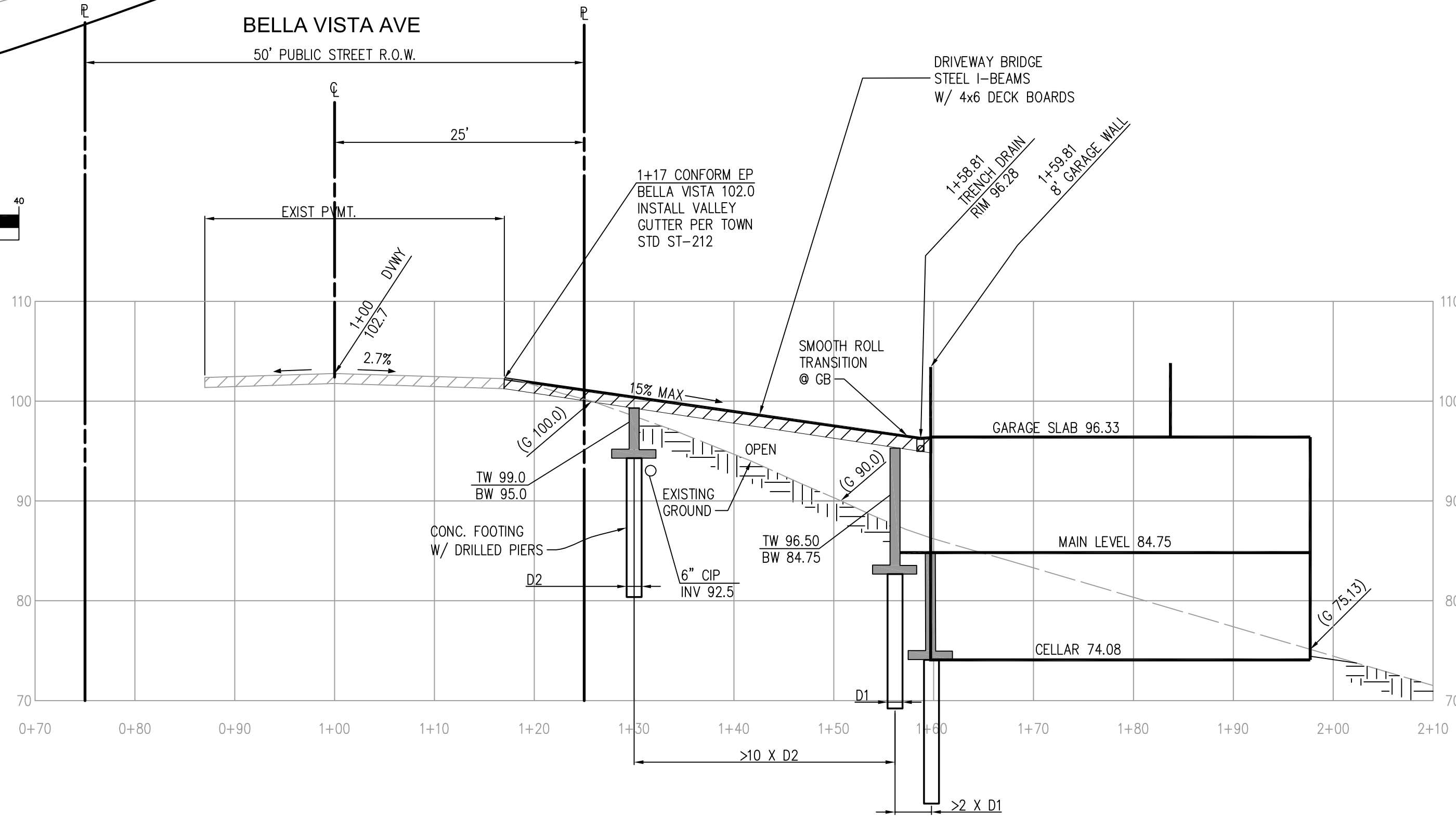
STANDARDS:

- THE FOLLOWING CUT AND FILL CRITERIA ARE INTENDED TO ENSURE THAT NEW CONSTRUCTION RETAINS THE EXISTING LANDFORM OF THE SITE AND FOLLOWS THE NATURAL CONTOURS.

CUTS AND FILLS IN EXCESS OF THE FOLLOWING LEVELS ARE CONSIDERED EXCESSIVE AND CONTRARY TO THE OBJECTIVES OF THE HILLSIDE DESIGN STANDARDS AND GUIDELINES. GRADE TO THE MINIMUM AMOUNT NECESSARY TO ACCOMMODATE BUILDINGS AND TO SITE STRUCTURES CONSISTENT WITH SLOPE CONTOURS. THESE ARE MAXIMUM NUMBERS AND MAY BE REDUCED BY THE DECIDING BODY IF THE PROJECT DOES NOT MEET OTHER GRADING STANDARDS OR IS NOT CONSISTENT WITH THE GOALS AND OBJECTIVES OF THE HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES.

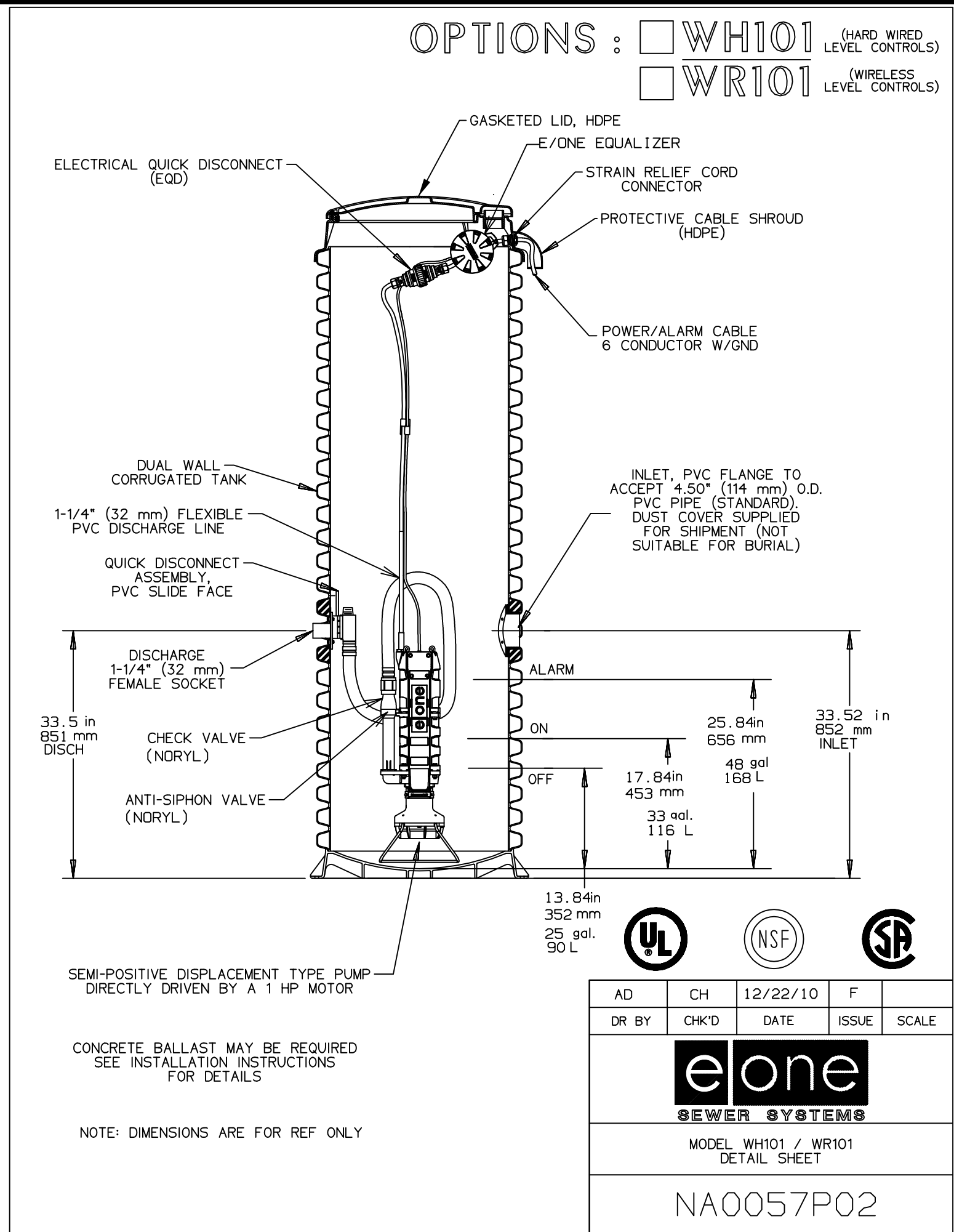
TABLE 1 MAXIMUM GRADED CUTS AND FILLS					
SITE ELEMENT		CUT*		FILL*	
		STD.	PROP.	STD.	PROP.
HOUSE AND ATTACHED GARAGE	EXCEPTION 1 (FILL)	8"	OK	3'	8.3'
ACCESSORY BUILDING*		4'	NA	3'	NA
TENNIS COURT*		4'	NA	3'	NA
POOL*		4'	NA	3'	NA
DRIVEWAYS*	EXCEPTION 1 (FILL)	4'	NA	3'	8.3'
OTHER (DECKS, YARDS)*	EXCEPTIONS 3 & 4 (CUT)	4'	8'-10'	3'	NA

* COMBINED DEPTHS OF CUT PLUS FILL FOR DEVELOPMENT OTHER THAN THE MAIN RESIDENCE SHALL BE LIMITED TO 6 FEET.
** EXCLUDES CELLARS.
*** EXCLUDES EXCAVATION FOR POOL.



DRIVEWAY PROFILE

SCALE: 1"=10' HOR/VERT.



BASIS OF BEARING

6			
5			
4			
3			
2			
1			
BY	REVISIONS	DATE	



CIVIL ENGINEERING

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1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110

NO HILLSIDE EXCEPTIONS EXHIBIT
LANDS OF ROSS, APN: 529-23-016
341 BELLA VISTA AVE
LOS GATOS, CA

DATE:	11-24-15	SHEET NO.
SCALE:	1"=10'	C4
DRAWN BY:	TT/DKH	OF 4 SHEETS
SURVEYED BY:	HB	
PROJ ENGR:	TJS	JOB NO.
CHECK BY:	TJS	13-244