



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 06/14/2017

ITEM NO: 3

DATE: JUNE 9, 2017

TO: PLANNING COMMISSION

FROM: JOEL PAULSON, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: ARCHITECTURE AND SITE APPLICATION S-16-070; SUBDIVISION APPLICATION M-16-009. PROJECT LOCATION: 30 ROBERTS ROAD, 6 FORREST AVENUE. PROPERTY OWNER: TANNKA, LLC. APPLICANT: GARY KING.
REQUESTING APPROVAL TO DEMOLISH ONE MULTI-FAMILY DWELLING WITH THREE UNITS AND ONE SINGLE-FAMILY DWELLING, CONSTRUCT ONE MULTI-FAMILY DWELLING WITH FOUR UNITS, AND MERGE TWO LOTS INTO ONE LOT ON PROPERTY ZONED R-M:5-12. APN 529-10-002 and -003.

DEEMED COMPLETE: FEBRUARY 18, 2017
FINAL DATE TO TAKE ACTION: AUGUST 18, 2017

BACKGROUND:

The Planning Commission considered the applications on March 22, 2017, and continued the matter to May 24, 2017. The Planning Commission directed the applicant to:

- Meet with the neighbors to address privacy concerns;
- Address the massing;
- Reduce the overhangs and integrate the third story under the roof;
- Design the facades to better express the homes as distinctly individual units;
- Reduce the scale of the multi-family development with smaller units; and
- Incorporate a guest parking space for each unit.

On May 24, 2017, the project was continued to June 14, 2017, to allow additional time for revisions and review by the Town's Architectural Consultant.

PREPARED BY: SALLY ZARNOWITZ, AIA, LEED AP
Planning Manager

Reviewed by: Community Development Director

DISCUSSION:

The applicant has met with the neighbors, submitted revised development plans (Exhibit 21), and submitted a revised letter of justification (Exhibit 17) in response to the comments received from the public and the Commissioners at the meeting on March 22, 2017. The changes reflected in the revised plans are outlined below:

- Landscaping has been added on the north property line to address privacy concerns of the neighbors behind the project;
- The square footage has been reduced by 1,030 square feet, from approximately 19,080 square feet to 18,050 square feet;
- The third story has been removed;
- The maximum height has been reduced by one foot seven inches, from 34 feet - 11 inches to 33 feet - four inches;
- The deep overhangs have been eliminated at the rear façade. The front facade has been redesigned to incorporate individually articulated bays, shed roof forms, balconies, and entries for each unit;
- Unit 1 has been reduced from 3,140 square feet to 2,852 square feet, Unit 2 and Unit 3 have been reduced from 2,727 to 2,650, and Unit 4 has been reduced from 3,159 to 2,893; and
- The project has incorporated an additional guest parking space for a total of 12 parking spaces.

The Town's Architectural Consultant reviewed the revised plans and provided recommendations in a report dated June 5, 2017 (Exhibit 18). The report notes that the structure has been reduced from three stories to two stories, and recommends the ceiling heights be reduced to be more compatible with the scale of the neighborhood. While the revised project has added a green screen and reduced the Kalwall elements at the stairs, the report recommends resolving the Kalwall elements with glass and solid panels. The report also requested clarification on whether a gate is proposed for the underground garage. Finally, the report recommends considering subtle color differences for each of the units to give them more individual identity.

The applicant submitted a response to the Consulting Architect's Report on June 9, 2017 (Exhibit 19).

PUBLIC COMMENTS:

No public comments have been received as of the writing of this report.

CONCLUSION AND RECOMMENDATION:

A. Conclusion

The applicant has met with the neighbors and submitted revised development plans to address the Planning Commission's direction. Should the Planning Commission determine that the project revisions meet the direction provided at the March 22, 2017 meeting, the Commission can take the actions below to approve the Architecture and Site and Subdivision applications.

B. Recommendation

If the Planning Commission determines that the revised project meets the direction provided at the March 22, 2017 meeting and finds merit with the proposed project, it can approve the applications by taking the following actions:

1. Find the project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15305 for reversion to acreage and Section 15303 for construction of a multi-family development with six or fewer units (Exhibit 16);
2. Make the required findings as required by Section 29.40.635 of the Zoning Ordinance for the specific density for a building site in a RM zone (Exhibit 16);
3. Make the required finding as required by Policy HOU-8.1 of the Housing Element for new housing developments of three units or more (Exhibit 16);
4. Make the required findings as required by Section 29.10.09030(e) of the Town Code for the demolition of an existing structure (Exhibit 16);
5. Make the required considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 16);
6. Determine that none of the findings required by Section 66474 of the Subdivision Map Act to deny the subdivision application can be made (Exhibit 16);
7. Approve Architecture and Site Application S-16-070 and Subdivision Application M-16-009 with the conditions contained in Exhibit 3 and revised development plans attached as Exhibit 21.

ALTERNATIVES:

Alternatively, the Commission can:

1. Approve the applications with additional and/or modified conditions;
2. Continue the matter to a date certain with specific direction; or
3. Deny the applications.

EXHIBITS:

Previously received with March 22, 2017 Staff Report

1. Location Map (one page)
2. Required Findings and Considerations (two pages)
3. Recommended Conditions of Approval (16 pages)
4. Project Description and Letter of Justification, received January 11, 2017 (two pages)
5. Color & Materials Exhibits, received March 13, 2017 (one page)
6. Consulting Architect Report, received January 4, 2017 (four pages)
7. Consulting Arborist Report, received January 12, 2017 (36 pages)
8. February 10, 2016 CDAC Meeting Minutes (3 pages)
9. Applicant's Response to Consulting Architect Report, received March 13, 2017 (four pages)
10. Applicant's Response to the Consulting Arborist Report, received March 8, 2017 (one page)
11. Public Comment received by 11:00 a.m., Thursday, March 16, 2017
12. Development Plans (27 pages)

Previously received with March 22, 2017 Desk Item Report:

13. Public comments received between 11:01 a.m. Thursday, March 16, 2017 and 11:00 a.m. Wednesday, March 22, 2017

Previously received with May 24, 2017 Staff Report:

14. Communication from the applicant, received May 12, 2017
15. Public Comment received between 11:01 a.m., Wednesday, March 16, 2017 and 11:00 a.m., Friday, May 19, 2017

Received with this Staff Report:

16. Revised Required Findings and Considerations (two pages)
17. Applicant's revised letter of justification (two pages)
18. Consulting Architect Report, dated June 5, 2017 (six pages)
19. Applicant's response to the Consulting Architect's Report, received June 9, 2017
20. Public Comment received between 11:01 a.m., Friday, May 19, 2017 and 11:00 a.m., Friday, June 9, 2017
21. Revised Development Plans, dated May 24, 2017 (25 pages)

Distribution:

Gary King, 579 E. Campbell Avenue, Campbell, CA 95008

Tom Sloan, Metro Design Group, 1475 S. Bascom Avenue, Suite 208, Campbell, CA 95008

PLANNING COMMISSION – June 14, 2017
REQUIRED FINDINGS & CONSIDERATIONS FOR:

30 Roberts Road and 6 Forest Avenue
Architecture and Site Application S-16-070
Subdivision Application M-16-009

Requesting approval to demolish one multi-family dwelling with three units and one single-family dwelling, construct one multi-family dwelling with four units, and merge two lots into one lot on property zoned R-M:5-12. APN 529-10-002 and -003.

PROPERTY OWNER: Tannka, LLC

APPLICANT: Gary King

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction and Section 15305: Minor Alterations in Land Use Limitations.

Required finding for density in an RM Zone:

- As required by Section 29.40.635 of the Zoning Ordinance for the specific density for a building site in a RM zone.
 1. Will be adequately accommodated by streets serving the development either in their existing configuration or a configuration which is intended to be created in the immediate future and that the development will not overburden existing streets or other public improvements such that the provision of public services to the general areas will not be impaired.
 2. That the architectural design of the development, the site planning therefor, and the characteristics of the lot, including its shape, area, topography, vegetation and existing structure will be such that adjacent properties will not be adversely affected.
 3. That individual dwelling units will be serviced by light, air, off-street parking, open space, privacy and other such amenities which are normally incident to well-designed residential development.

Required findings by Housing Element Policy HOU-8.1:

- The proposed development is consistent with the Town's Housing Element and addresses the Town's housing needs as identified in the Housing Element.

Required findings for the issuance of a demolition permit requiring Architecture and Site approval:

■ As required by Section 29.10.09030(e) of the Town Code:

1. The Town's housing stock will be maintained as the single-family residence will be replaced with two single-family residences; and the proposed residential use will be consistent with the zoning designation of Single-Family Residential and the General Plan land use designation of Low Density Residential.
2. The existing structures were constructed prior to 1941 and have no historical significance.
3. The property owner does not desire to maintain the structures as they exist.
4. The economic utility of the structures was considered.

Required findings to deny a Subdivision application:

- As required by Section 66474 of the State Subdivision Map Act the map shall be denied if any of the following findings are made: **None of the findings could be made to deny the application.**

Instead, the Planning Commission makes the following affirmative findings:

- a. That the proposed map is consistent with all elements of the General Plan.
- b. That the design and improvement of the proposed subdivision is consistent with all elements of the General Plan.
- c. That the site is physically suitable for the type of development.
- d. That the site is physically suitable for the proposed density of development
- e. That the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat
- f. That the design of the subdivision and type of improvements is not likely to cause serious public health problems.
- g. That the design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

CONSIDERATIONS

Required considerations in review of Architecture & Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

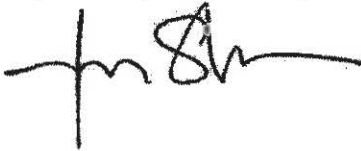
Los Gatos Creekside Estates
30 Roberts Road & 6 Forrest Avenue
Application - S-16-070 & M-16-009

The Planning Commission directed the following plan changes be made to the project:

- Address the massing;
 - Reduce and Integrate the Third Story under the roof overhangs;
 - Design the facades to better express the homes as distinctly individual units;
 - Reduce the scale of the multi-family development with smaller units; and
 - Incorporate a guest parking space for each unit
-
- The massing of the proposed 4 residential units is modified in the following ways to address massing of the building:
 1. The original building massing utilized a flat roof that was constructed up the allowable maximum height above grade (35 ft.). This resulted in a unified building profile that fused 4 units into a singular, rectangular mass. Whereas the building is constructed on a singular, underground podium and considered to be a single building / multi-family dwelling, the objective was to revised the project and break-up the massing is such a way that each of the four individual dwellings would be distinctive from each other. This objective was achieved in the new design using a cadence of sloping roof lines that define the individual dwellings. These roof lines modulate the up and down and reduced the overall roof height from the previous design by as much as 7 feet.
 2. The original building design proposed 3 stories. The proposed design eliminated the upper floor with the current project having 2 stories or living space.
 3. The primary façade facing Roberts Road deploys several architectural elements that help reduce the massing and visual bulk. These elements include breaking up wall elements into smaller scale elements (less than 10 ft. wide) rather than large wall planes; using large roof overhang elements to cast shadows on the facades that help break wall planes in tone and color; and deploying a variation of roof elements on different levels; small wall planes are designed to modulated in and out.
 - Rather than change the style of the building and place the Third Story under a pitched roof with dormer windows and low interior walls that limit the practicability of the interior space, the third floor level was eliminated altogether. Whereas the previous design utilized a smaller second and third floor areas to increase the interior ceiling height, the plate heights did increased to provide the open feeling sought by the owners and are also common in the adjacent townhomes located along the eastern property line.

- Each of the facades facing Roberts Road are unique while providing a sense of continuity within the overall project. Subtle differences in the architectural building materials and treatment of windows, balconies, and siding were deployed throughout to better express each residence as an individual unit. The massing and rooflines as previously discussed greatly differentiate each of the four residences.
- One of the key objectives of this project was to provide a distinctive housing type that satisfied a more exclusive family with luxurious palate and require sustainable amenities. Whereas the floor area was reduced and the third story eliminated, it was suggested that the typical townhouse units have floor area up to 2,100 square feet. These units now have been reduced to a comfortable average between 2,600 and 2,800 square feet.
- The Parking has been re-designed to provide a total of 3 parking spaces per dwelling unit. One additional Guest Parking stall was added to the previous design for a total of 4 guest parking stalls. The project is now fully compliant.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Tom Sloan', with a stylized, flowing script.

Tom Sloan AIA
Principle Architect



June 5, 2017

Ms. Sally Zarnowitz
Planning Manager
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 30 Roberts Road | 6 Forest Avenue

Dear Sally:

I reviewed the new drawings that were submitted following our meeting with the applicant. My comments and recommendations are as follows:

Neighborhood Context

The site is a corner lot located within an older Los Gatos neighborhood. Most homes are small one-story structures but there are a few newer two-story homes and multifamily complexes. Photographs of the immediately surrounding context are shown on the following page.



EXHIBIT 1 8



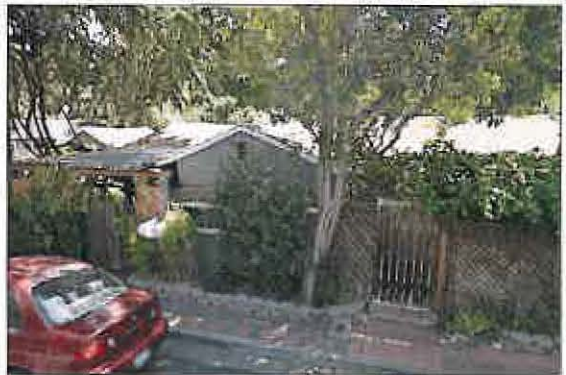
The Site



House to the immediate right on Roberts Road



Parcel immediately across Forrest Avenue



House to the immediate left on Forrest Avenue



Nearby homes across Roberts Road



Nearby home on Forrest Avenue



Nearby multifamily homes across Roberts Road



Nearby multifamily complex on Roberts Road

Issues and Concerns

The 4-unit complex has been reduced from three stories to two stories in height, and a much greater emphasis has been given to individual unit identity. Those are very positive changes - see comparison below of the previous and current designs.



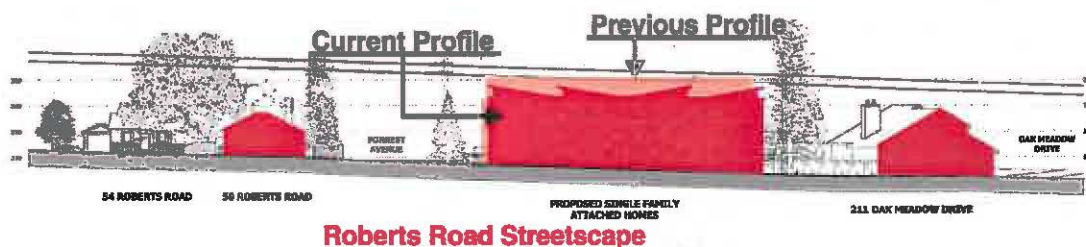
Previous Design



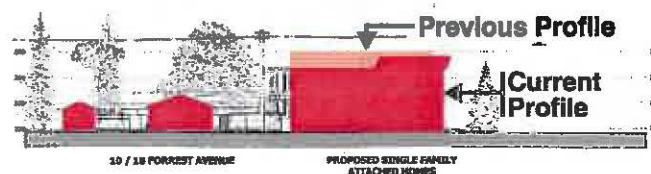
Current Design

There are, however, still a few significant concerns as follows:

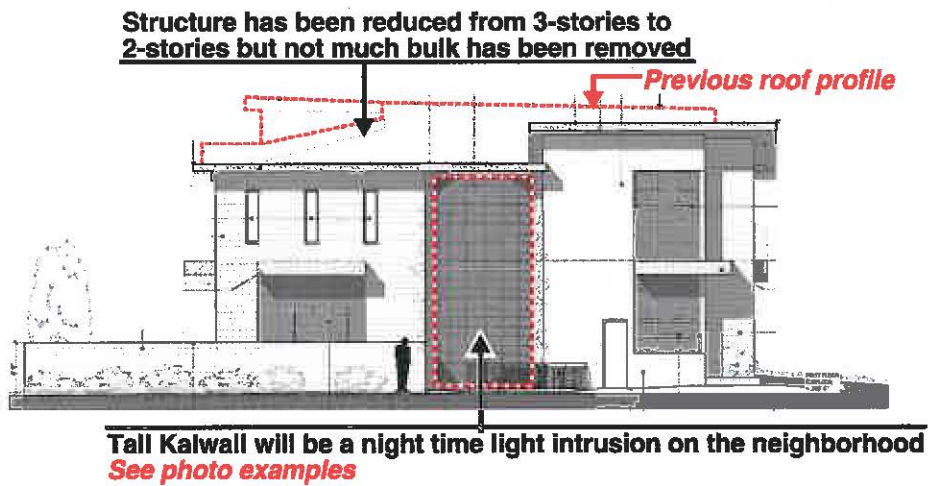
1. While the structure has been reduced from three stories to two stories in height, very little bulk has been removed, leaving it still out of sympathy with this smaller scale neighborhood - see streetscape and elevation illustrations below. While the previous design had 9 foot ceiling heights on all levels, the revised design has a 12 foot ceiling height on the first floor and a 10 foot plus ceiling height on the second floor.



Roberts Road Streetscape



Forrest Avenue Streetscape



2. The two story tall proposed Kalwall element at the stairs on the east and west elevation will likely be a night time light spill intrusion on the adjacent residential neighborhood. The illustrations below show some examples of Kalwall used in residential structures.

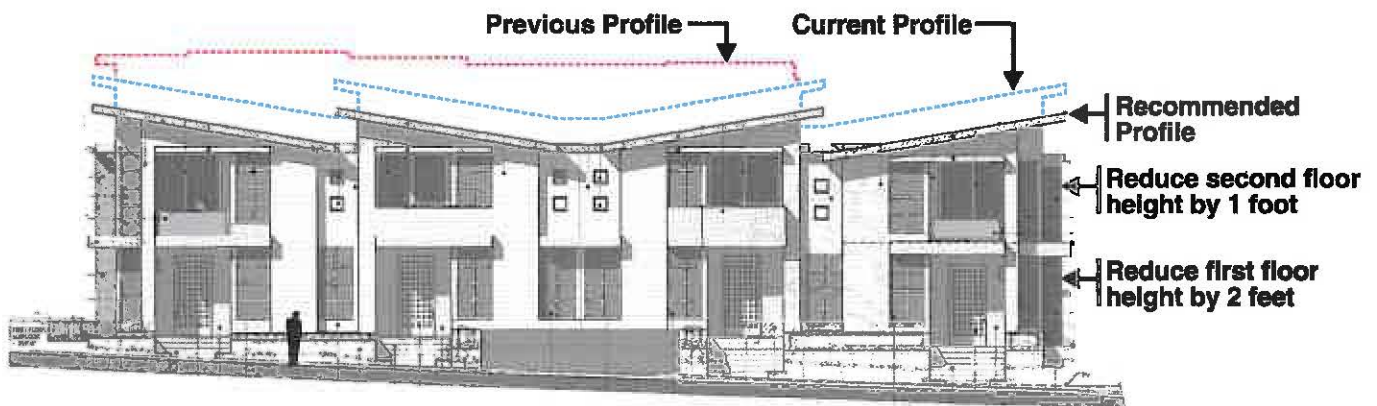


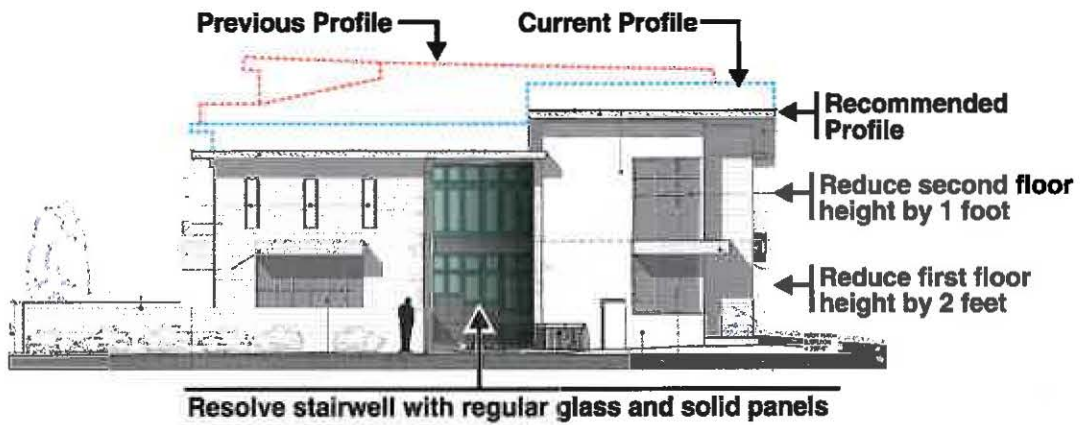


3. Any plans for garage security at the auto entry and the stairway at the west side of the structure are missing from the drawings.
4. There is some variation in the front facade treatments to give individual identity to each unit, but the differences are small.

Recommendations

1. Reduce the first floor ceiling height from 12 to 10 feet and the second floor ceiling height from 10 to 9 feet. Should staff be concerned about the height as shown below, the ceiling heights could be further lowered to 9 feet and 8 feet respectively.
Note that because of the sloping sidewalk along the Roberts Road frontage and the flat podium top of the below grade parking level, the structure has additional height at its eastern edge,
2. Resolve the stairwell exterior on the east and west elevations with regular glass and solid panels (wood or metal).
3. Clarify plans for garage security. If gates or doors are to be used, staff should request photo examples from the applicant.
4. Consider some subtle color differences for each of the four units to give them more individual identity - see one example in the photo on the following page.





Sally, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,

CANNON DESIGN GROUP

Larry L. Cannon

Response to June 5, 2017 Letter from Cannon Design Group.

Issues and Concerns:

1. Whereas the previous design had a flat roof and was constructed to the maximum allowable height, the new design eliminates bulk by removing the entire 3rd floor level and eliminating the double storied height ceilings. In lieu of these 20 foot tall, double-height ceiling areas in the previous design, the main floor ceiling height is 12 foot tall.

The current design uses a series of sloping roof designs to break up the massing into smaller elements to give the project a pedestrian & residential scale.

The façade area facing Roberts Road in original building was calculated to be 3,306 square feet of area. The proposed area is reduced to 2,794 square feet (15% reduction. Similarly, reducing a 6'-0" foot tall person by 15% results in a person 5'-1" tall. The area of the façade facing the rear property line has been reduced by 20%.

2. The amount of Kalwall used for providing energy free daylighting was reduced in half from the previous design. Mr. Cannon stated that there "*will likely be a night time light spill intrusion on the adjacent residential neighborhood*". Kalwall panels will work like shoji screens to diminish and soften the light quality leaving the building at night. The light will be further reduced as these areas are covered with a "Green-screen" and evergreen vines of Star Jasmine to dramatically reduce the light.

3. There are no plans for gating off the parking garage.

4. The variations in the street facing façade range from 5 feet to 7 feet in depth are ample to provide a façade with well-designed articulation.

Recommendations

1. Whereas the neighborhood has some older single story cottages, the current zoning is trending toward higher density, multi-family projects. The assertion that this project is not sympathetic with the mostly smaller scaled residences represents a point of view that challenges the objectives of the base zoning district. This would not be comparing like for like.

Creating a stepped "post tension" podium is not practicable. Stepping the podium requires a conventional slab, many more columns and an excavation 2 feet deeper than what is proposed.

2. Regular glazing and window units emit much more light than Kalwall panels whereas Kalwall panels screen and diminish light emission levels. Recommending clear glass in lieu of the screening effects of Kalwall is a misunderstanding of the technology and makes no sense.

3. There are no plans for gating off the parking garage.

4. We will provide subtle color tone differences for the Stucco Plaster walls throughout the project to provide individual identity to each of the dwelling units.

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PUBLIC COMMENT

Public Comment received between
11:01 a.m., Friday, May 19, 2017 and 11:00 a.m., Friday, June 9, 2017

NONE

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METRO
DESIGN
GROUP

ARCHITECTURE · PLANNING · INTERIORS

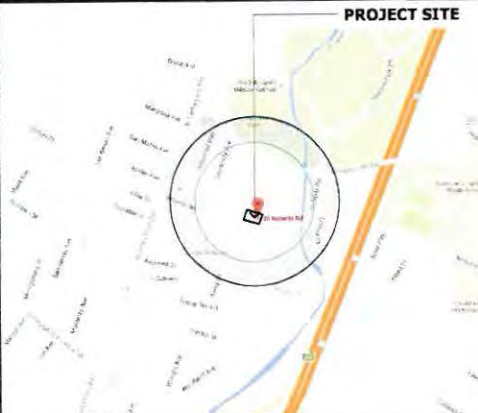
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The plans, ideas and design on this drawing are the property of the designer, divided solely for this contract. Plans shall not be used, in whole or in part, for any purpose for which they were not intended without the written permission of METRO DESIGN GROUP. ©

PROJECT NAME
**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS	

GENERAL NOTES		CONSULTANT DIRECTORY		AREA TABULATIONS		PROJECT INFORMATION		VICINITY MAP																																																																																																																																																																				
<p>1. CODES AND REGULATIONS</p> <p>ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES, AS WELL AS ALL APPLICABLE STATE CODES & LOCAL CITY ORDINANCES, 2016 CALIFORNIA BUILDING CODE (C.B.C.), 2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.), 2016 CALIFORNIA ELECTRICAL CODE (C.E.C.), 2016 CALIFORNIA PLUMBING CODE (C.P.C.), 2016 CALIFORNIA MECHANICAL CODE (C.M.C.), 2016 CALIFORNIA FIRE CODE (C.F.C.), 2016 CALIFORNIA ENERGY CODE (C.E.C.), 2016 CALIFORNIA GREEN CODE (C.G.C.) NOTHING ON THE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES & REGULATIONS.</p>		<p>ARCHITECT</p> <p>METRO DESIGN GROUP CONTACT :TOM SLOAN A.J.A. 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE (408) 871-1072 FAX</p> <p>CIVIL ENGINEER</p> <p>WESTFALL ENGINEERS, INC. 14583 BIG BASIN WAY #3 SARATOGA, CA 95070 (408) 867-0244 PHONE</p>		<p>1. SITE AREA</p> <p>GROSS AREA: 15,406 SQ. FT.</p> <p>PROPOSED NET AREA 4 LEGAL LOTS (4x 3,630 SQ. FT. =14,520 SQ. FT. MIN): 14,612 SQ. FT.</p> <p>SLOPE AT LANDING AREAS: 1% MIN, AWAY FROM THE STRUCTURE SLOPE AT PAVED AREAS: 2% MIN, AWAY FROM THE STRUCTURE SLOPE AT LANDSCAPE AREAS: 5% MIN, AWAY FROM THE STRUCTURE</p> <p>2. DENSITY</p> <p>REQUIRED: 5-12 UNITS PER NET ACRE PROPOSED: 12 UNITS PER NET ACRE</p> <p>3. FLOOR AREA</p> <p>EXISTING AREA TO BE DEMOLISHED: 4,525.86 SQ.FT. EXISTING HOUSES: 3,747.76 SQ. FT. EXISTING GARAGES AND SHED: 778.10 SQ. FT.</p> <table><tr><td>AREA OF</td><td>UNIT 1</td><td>UNIT 2</td><td>UNIT 3</td><td>UNIT 4</td></tr><tr><td>FIRST FLOOR</td><td>1,438</td><td>1,391</td><td>1,391</td><td>1,484</td></tr><tr><td>SECOND FLOOR</td><td>1,414</td><td>1,259</td><td>1,259</td><td>1,418</td></tr><tr><td>TOTAL HABITABLE FLOOR AREA</td><td>2,852</td><td>2,650</td><td>2,650</td><td>2,893</td></tr><tr><td>GARAGE @ CELLAR*</td><td>689</td><td>718</td><td>644</td><td>772</td></tr><tr><td>ENTRY PORCH</td><td>54</td><td>47</td><td>47</td><td>54</td></tr><tr><td>TOTAL NON-HAB. FLOOR AREA</td><td>743</td><td>765</td><td>691</td><td>826</td></tr><tr><td>TOTAL UNIT AREA</td><td>3,595</td><td>3,415</td><td>3,341</td><td>3,719</td></tr><tr><td>COMMON CELLAR AREA*</td><td colspan="4">3,980 SQ. FT.</td></tr><tr><td>TOTAL AREA:</td><td colspan="4">18,050 SQ. FT.</td></tr><tr><td colspan="5">* CELLAR DOES NOT COUNT AS FLOOR AREA AND STORY.</td></tr></table> <p>4. PRIVATE OPEN SPACE</p> <p>PATIO AT MAIN FLOOR(MIN. 10' HORIZONTAL DIMENSION): REQUIRED - 200 SF/UNIT PROPOSED : UNIT 1- 426 SF; UNIT 2- 391 SF; UNIT 3- 391 SF; UNIT 4- 585 SF</p> <p>BALCONY (MIN. 6' HORIZONTAL DIMENSION): UNIT 1- 50 SF; UNIT 2- 40 SF; UNIT 3- 53 SF; UNIT 4- 50 SF</p> <p>5. PROPOSED COVERAGE</p> <table><tr><td>MAXIMUM ALLOWABLE COVERAGE:</td><td>5,844.80 SQ. FT.</td><td>40.00%</td></tr><tr><td>PROPOSED COVERAGE:</td><td>5,831.00 SQ. FT.</td><td>39.90%</td></tr></table> <table><tr><td></td><td>EXISTING</td><td>DEMO</td><td>PROPOSED</td><td>TOTAL</td></tr><tr><td>BUILDING(S)</td><td>2,489.7</td><td>2,489.7</td><td>5,831</td><td>5,831</td></tr><tr><td>ACCESSORY BUILDING</td><td>728.1</td><td>728.1</td><td>0</td><td>0</td></tr><tr><td>TOTAL</td><td>3,267.8</td><td>3,267.8</td><td>5,831</td><td>5,831</td></tr></table> <p>6. PARKING SPACES: TOTAL OF 11 PARKING SPACES 8 COVERED (2/ GARAGE) AT CELLAR 3 GUEST PARKING SPACES AT CELLAR 1 VAN ACCESSIBLE AT CELLAR</p>		AREA OF	UNIT 1	UNIT 2	UNIT 3	UNIT 4	FIRST FLOOR	1,438	1,391	1,391	1,484	SECOND FLOOR	1,414	1,259	1,259	1,418	TOTAL HABITABLE FLOOR AREA	2,852	2,650	2,650	2,893	GARAGE @ CELLAR*	689	718	644	772	ENTRY PORCH	54	47	47	54	TOTAL NON-HAB. FLOOR AREA	743	765	691	826	TOTAL UNIT AREA	3,595	3,415	3,341	3,719	COMMON CELLAR AREA*	3,980 SQ. FT.				TOTAL AREA:	18,050 SQ. FT.				* CELLAR DOES NOT COUNT AS FLOOR AREA AND STORY.					MAXIMUM ALLOWABLE COVERAGE:	5,844.80 SQ. FT.	40.00%	PROPOSED COVERAGE:	5,831.00 SQ. FT.	39.90%		EXISTING	DEMO	PROPOSED	TOTAL	BUILDING(S)	2,489.7	2,489.7	5,831	5,831	ACCESSORY BUILDING	728.1	728.1	0	0	TOTAL	3,267.8	3,267.8	5,831	5,831	<p>PROPERTY OWNERS</p> <p>TANEKA LLC 579 E CAMPBELL AVENUE CAMPBELL, CA 95008</p> <p>APPLICANT NAME</p> <p>TANEKA LLC CONTACT: GARY KING (408) 482-5044</p> <p>MAILING ADDRESS</p> <p>579 E CAMPBELL AVENUE CAMPBELL, CA 95008</p> <p>PROJECT ADDRESS</p> <p>30 ROBERTS ROAD & 6 FORREST AVENUE LOS GATOS, CA 95032</p> <p>SITE AREA</p> <p>0.353 AC GROSS(15,406 SF) 0.335 AC NET (14,612 SF)</p> <p>A.P.N.</p> <p>529-10-002 529-10-003</p> <p>ZONING</p> <p>R-M 5-12 MULTIPLE FAMILY RESIDENTIAL</p> <p>LOCATED WITHIN DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA</p> <p>YES</p> <p>SETBACK REQUIREMENTS</p> <table><tr><td>REQUIRED</td><td></td></tr><tr><td>FRONT:</td><td>25'-0"</td></tr><tr><td>REAR:</td><td>20'-0"</td></tr><tr><td>SIDE:</td><td>10'-0"; 12'-0"; 20'-0"</td></tr><tr><td>SIDE ABUTTING STREET:</td><td>20'-0"</td></tr><tr><td>PROPOSED</td><td></td></tr><tr><td>FRONT:</td><td>25'-0"</td></tr><tr><td>REAR:</td><td>21'-2"</td></tr><tr><td>SIDE:</td><td>10'-0"; 12'-0"; 20'-0"</td></tr><tr><td>SIDE ABUTTING STREET:</td><td>20'-8"</td></tr><tr><td>ALLOWABLE</td><td></td></tr><tr><td>30'-0"</td><td>PROPOSED N/A</td></tr><tr><td>PROPOSED BUILDING W/ CELLAR PARKING</td><td></td></tr><tr><td>35'-0"</td><td>33'-4"</td></tr></table> <p>CONSTRUCTION TYPE</p> <p>V-B</p> <p>OCCUPANCY</p> <p>R-3/U</p> <p>STORIES</p> <p>3</p> <p>FIRE SPRINKLERS</p> <p>REQUIRED (NFPA-13D)</p> <p>EXISTING USE</p> <p>RESIDENTIAL- SINGLE FAMILY DWELLING</p> <p>YEAR BUILT</p> <p>30 ROBERTS RD: 1949 6 FORREST AVENUE: 1973</p> <p>LOT SLOPE</p> <p>LESS THAN 5 %</p>		REQUIRED		FRONT:	25'-0"	REAR:	20'-0"	SIDE:	10'-0"; 12'-0"; 20'-0"	SIDE ABUTTING STREET:	20'-0"	PROPOSED		FRONT:	25'-0"	REAR:	21'-2"	SIDE:	10'-0"; 12'-0"; 20'-0"	SIDE ABUTTING STREET:	20'-8"	ALLOWABLE		30'-0"	PROPOSED N/A	PROPOSED BUILDING W/ CELLAR PARKING		35'-0"	33'-4"	<p>PROJECT SITE</p>  <p>SHEET INDEX</p> <table><tr><td>A-0</td><td colspan="2">SHEET INDEX, PROJECT DESCRIPTION, VICINITY MAP, CONSULTANTS, GENERAL NOTES AND TABULATIONS</td></tr><tr><td>A-0.1</td><td colspan="2">BUILD IT GREEN CHECKLIST</td></tr><tr><td>A-1.0</td><td colspan="2">SITE PLAN</td></tr><tr><td>A-1.1</td><td colspan="2">SHADOW STUDY DIAGRAM</td></tr><tr><td>A-1.2</td><td colspan="2">SITE CROSS SECTIONS</td></tr><tr><td>A-1.3</td><td colspan="2">STREET PROFILES</td></tr><tr><td>A-1.4</td><td colspan="2">EXTERIOR LIGHTING PLAN</td></tr><tr><td>A-2.0</td><td colspan="2">EXISTING CONDITIONS TOPOGRAPHIC AND BOUNDARY SURVEY</td></tr><tr><td>A-2.1</td><td colspan="2">EXISTING DEMO PLAN</td></tr><tr><td>A-2.2</td><td colspan="2">EXISTING ELEVATIONS</td></tr><tr><td>A-2.3</td><td colspan="2">EXISTING DEMO PLAN / ELEVATIONS</td></tr><tr><td>A-3.0</td><td>CELLAR AND GARAGE PLANS</td><td>A-6.0 CROSS SECTION A-A</td></tr><tr><td>A-3.1</td><td>FIRST FLOOR PLANS</td><td>A-6.1 CROSS SECTION B-B</td></tr><tr><td>A-3.2</td><td>SECOND FLOOR PLANS</td><td>A-6.2 CROSS SECTION C-C</td></tr><tr><td>A-4.0</td><td>ROOF PLAN</td><td>L-1 LANDSCAPE PLAN</td></tr><tr><td>A-5.0</td><td>EXTERIOR ELEVATIONS</td><td>C-1 PRELIMINARY GRADING & DRAINAGE PLAN</td></tr><tr><td>A-5.1</td><td>EXTERIOR ELEVATIONS</td><td>C-2 EROSION CONTROL PLAN</td></tr><tr><td>A-5.2</td><td>EXTERIOR ELEVATIONS</td><td>C-3 DETAILS</td></tr></table>		A-0	SHEET INDEX, PROJECT DESCRIPTION, VICINITY MAP, CONSULTANTS, GENERAL NOTES AND TABULATIONS		A-0.1	BUILD IT GREEN CHECKLIST		A-1.0	SITE PLAN		A-1.1	SHADOW STUDY DIAGRAM		A-1.2	SITE CROSS SECTIONS		A-1.3	STREET PROFILES		A-1.4	EXTERIOR LIGHTING PLAN		A-2.0	EXISTING CONDITIONS TOPOGRAPHIC AND BOUNDARY SURVEY		A-2.1	EXISTING DEMO PLAN		A-2.2	EXISTING ELEVATIONS		A-2.3	EXISTING DEMO PLAN / ELEVATIONS		A-3.0	CELLAR AND GARAGE PLANS	A-6.0 CROSS SECTION A-A	A-3.1	FIRST FLOOR PLANS	A-6.1 CROSS SECTION B-B	A-3.2	SECOND FLOOR PLANS	A-6.2 CROSS SECTION C-C	A-4.0	ROOF PLAN	L-1 LANDSCAPE PLAN	A-5.0	EXTERIOR ELEVATIONS	C-1 PRELIMINARY GRADING & DRAINAGE PLAN	A-5.1	EXTERIOR ELEVATIONS	C-2 EROSION CONTROL PLAN	A-5.2	EXTERIOR ELEVATIONS	C-3 DETAILS
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<p>2. SITE VERIFICATION</p> <p>GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THOROUGHLY THE SITE AND SATISFY THEMSELVES AS TO THE CONDITIONS TO WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA COST TO THE OWNER WILL BE ALLOWED RESULTING FROM HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS AFFECTING HIS WORK.</p>																																																																																																																																																																												
<p>3. MEASUREMENTS</p> <p>CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS, FOR PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF ANY RELATED WORK. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO DO SO, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE CORRECTION OR ADJUSTMENT OF ANY SUCH RELATED WORK OR ERRORS.</p>																																																																																																																																																																												
<p>4. DIMENSIONS</p> <p>DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.</p>																																																																																																																																																																												
<p>5. DISCREPANCIES</p> <p>MINOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.</p>																																																																																																																																																																												
<p>6. MANUFACTURER'S SPECIFICATIONS</p> <p>CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL OR APPLY, AND PROTECT ALL PRODUCTS, MATERIALS, PROCESSES, METHODS, COATINGS, EQUIPMENT, APPLIANCES, HARDWARE, SOFTWARE, ETC. IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS & INSTRUCTIONS, TYPICAL. ALL MANUALS OR INSTRUCTIONS PROVIDED BY THESE MANUFACTURERS FOR PROPER OPERATION AND MAINTENANCE OF THE ABOVE ARE TO BE DELIVERED TO THE OWNER AT THE COMPLETION AND FINAL INSPECTION OF THE PROJECT.</p>																																																																																																																																																																												
<p>7. WINDOWS AND DOORS</p> <p>CONTRACTOR SHALL VERIFY THE QUANTITY, ROUGH OPENINGS AND TYPES OF DOORS AND WINDOW AND DOOR SCHEDULES IN RELATION TO FRAMING PER FIELD PRIOR TO ORDERING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.</p>																																																																																																																																																																												
<p>8. CALGREEN STANDARDS</p> <p>ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR, PER CGSBC SEC. 4.504.2.4</p> <p>PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER) PROJECTS MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGSBC SECTION 4.504.</p>																																																																																																																																																																												
<p>PROJECT DESCRIPTION</p> <p>The objective of this project is to create 4 dwelling units that embody the future direction of luxury housing. This project will deploy solar collectors on the roof to offset energy usage; include rain-water harvesting system for landscape irrigation needs; include accessibility on each floor level with an elevator; mask automobiles storage in a cellar level below the building; and be constructed of no-maintenance building materials.</p> <p>The location of the project is within walking distance to downtown shopping & businesses, schools and parks. The massing of the building and location of windows will provide protect the privacy of all residents in and around the building.</p> <p>The project has been designed to maximize Open Space. Each unit will have generous private ground floor yards and upper level balconys.</p>																																																																																																																																																																												

COVER SHEET

GENERAL NOTES
PROJECT INFORMATION
AREA TABULATIONS
PROJECT DESCRIPTION
VICINITY MAP
SHEET INDEX
CONSULTANT DIRECTORY

DATE : 05-24-17

SCALE : AS-NOTED

DRAWN BY : TS/DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN
PROJECT NO : 16616

SHEET NUMBER

A-0

EXHIBIT 2 1



NEW HOME RATING SYSTEM, VERSION 6.0

MULTIFAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a nonprofit organization that promotes healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points. Earn the following minimum points per category: Comfort (12), Energy (22), Indoor Air Quality (18), Resources (18) and Water (16). And meet the prerequisites (CALGreen Mandatory, ESR-11, and ESR-12).

Directions for use: Column 4 is a dropdown menu with the options of "Yes," "No," or "TBD," or a range of percentages to denote points. Select the appropriate approach and the appropriate points will appear in the final points achieved column.

The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information, please visit www.builditgreen.org/greenpointrated. Build It Green is not a code enforcement agency.

Project Name: Los Gatos Creekside Estates
A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green New Home Monitoring - Version 6.0.

Los Gatos Creekside Estates

Measures

CALGreen	
A. SITE	A1. Construction Footprint
780	A2. Job Site Construction Waste Diversion
780	A2.1 65% C&D Waste Diversion (Including Alternative Daily Cover)
780	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)
780	A2.3 Reporting Rate from Third Party - Verified Green-Use Waste Facility
780	A3. Recycled Content Base Material
780	A4. Heat Island Effect Reduction (Non-Road)
780	A5. Constructed Environmental Quality Management Plan Including Flush Chart
780	A6. Stormwater Control: Prescriptive Path
780	A6.1 Permeable Paving Material
780	A6.2 Flood-Resistant Foundation Features
780	A6.3 Non-Sealing Roofing Material
780	A6.4 Smart Stormwater Sheet Design
780	A7. Stormwater Control: Performance Path
B. FOUNDATION	B1. 1% Ash and/or Slag in Concrete
780	B2. Radio-Resistant Construction
780	B3. Foundation Drainage System
780	B4. Moisture Controlled Crawlspace
780	B5. Structural Pest Controls
780	B5.1 Termite Shield and Separated Exterior Vents/Conduits Connections
780	B5.2 Blast Trunks, Bases or Stumps at least 14 inches from the Foundation
C. LANDSCAPE	C1. 20% Evergreen Landscaping Percentage
780	C2. Plants Grouped by Water Needs (Hydrozoning)
780	C3. Three Inches of Mulch in Planting Beds
780	C4. Resource Efficient Landscapes
780	C4.1 No Invasive Species Listed by Cal-IPC
780	C4.2 Plant Species are Located to Grow in Natural Zone
780	C4.3 Drought Tolerant or California Native Mediterranean Species or Other Appropriate Species
780	C5. Minimal Turf in Landscape
780	C5.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide
780	C5.2 Turf on a Small Percentage of Landscaped Area
780	C6. Trees to Moderate Building Temperature
780	C7. High Efficiency Irrigation System
780	C8. One Inch of Compost in the Top Six to Twelve Inches of Soil
780	C9. Rainwater Harvesting System
780	C10. Recycled Wastewater Irrigation System
780	C11. Submeter or Dedicated Meter for Landscape Irrigation
780	C12. Landscape Meets Water Budget
780	C13. Environmentally Preferable Materials for Site
780	C13.1 Environmentally Preferable Materials for 75% of Non-Plant Landscape Elements and Features
780	C13.2 Play Structures and Surfaces Have an Average Recycled Content of 10%
780	C14. Reduced Light Pollution
780	C15. Large Native Trees
780	C16. Third Party Landscape Program Certification
780	C17. Maintenance Contract with Certified Professional
780	C18. Community Garden
D. STRUCTURAL FRAME AND BUILDING ENVELOPE	D1. Optimal Value Engineering
780	D1.1 Joist, Rafter, and Stud at 24 Inches on Center
780	D1.2 Non-Load Bearing Door and Window Headers 2x4 for Load
780	D1.3 Advanced Framing Measures
780	D2. Construction Material Efficiency
780	D3. Engineered Lumber
780	D3.1 Engineered Beams and Headers
780	D3.2 Engineered Joists or Web Trusses for Floor
780	D3.3 Engineered Lumber for Roof Rafters
780	D3.4 Engineered or Finger Jointed Studs for Vertical Applications
780	D3.5 OSB for Subfloor
780	D3.6 OSB for Wall and Roof Sheathing
780	D4. Insulated Headers
780	D5. FSC Certified Wood
780	D5.1 Dimensional Lumber, Studs and Timber
780	D5.2 FSC Products
780	D6. Solid Wall Systems
780	D6.1 At Least 80% of Floor
780	D6.2 At Least 80% of Exterior Walls
780	D6.3 At Least 80% of Roof
780	D7. Energy Needs on Roof Trusses
780	D8. Overhangs and Gutters
780	D9. Reduced Pollution Entering the Home from the Garage
780	D9.1 Detached Garage
780	D9.2 Attached Garage at or Attached Garage
780	D10. Structural Pest and Rot Controls
780	D10.1 All Wood Located at Least 12 Inches Above the Soil
780	D10.2 Wood Framing Framing with Grades or Factory-Hung/Installed or Wall (Exterior) Other Than Stone
780	D11. Moisture Resistant Materials in Wet Areas (such as Kitchens, Bathrooms, Utility Rooms, and Basements)
780	D12. Low-VOC Interior Wall and Ceiling Paints
780	D13. Low-VOC Cables and Adhesives
780	D14. Environmentally Preferable Materials for Interior Finish
780	D15. Low-VOC Cables and Adhesives
780	D16. Low-VOC Cables and Adhesives
780	D17. Low-VOC Cables and Adhesives
780	D18. Low-VOC Cables and Adhesives
780	D19. Low-VOC Cables and Adhesives
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780	D32. Low-VOC Cables and Adhesives
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780	D34. Low-VOC Cables and Adhesives
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780	D36. Low-VOC Cables and Adhesives
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REVISIONS

NO.	DESCRIPTION

SITE PLAN

DATE : 05-24-17

SCALE : 1/8" = 1'-0"

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-1.0

FIRE DEPARTMENT NOTES

FIRE PROTECTION WATER
AN AUTOMATIC NFPA 13 FIRE SPRINKLER SYSTEM APPROVED BY THE SANTA CLARA COUNTY FIRE DEPARTMENT SHALL BE INCLUDED IN ALL PORTIONS OF THE BUILDING. THREE SETS OF PLANS PREPARED BY A SPRINKLER CONTRACTOR SHALL BE SUBMITTED TO THE SANTA CLARA COUNTY FIRE DEPARTMENT (14700 WINCHESTER BLVD., LOS GATOS, CA 95032) FOR REVIEW AND APPROVAL. THE SPRINKLERS SHALL BE INSPECTED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO FINAL INSPECTION AND OCCUPANCY OF THE BUILDING.

A. AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, HYDRAULICALLY DESIGNED IN ACCORDANCE WITH NFPA STANDARD 13-2013 EDITION AND LOCAL ORDINANCES SHALL BE INSTALLED THROUGHOUT THE ENTIRE STRUCTURE. THE FIRE SPRINKLER SYSTEM SUPPLY VALVING, FIRE DEPARTMENT CONNECTION (FDC), ETC., SHALL BE INSTALLED AS REQUIRED TO COMPLY WITH NFPA 13 REQUIREMENTS.

B. FAST RESPONSE FIRE SPRINKLER HEADS SHALL BE INSTALLED THROUGHOUT THE GARAGE AND ALL CONTIGUOUS AREAS WITHIN THE STRUCTURE.

C. A STATE OF CALIFORNIA LICENSED FIRE PROTECTION CONTRACTOR SHALL PROVIDE (3) COPIES OF THE WORKING DRAWINGS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING OF WORK.

D. THE FIRE DISTRICT MUST ISSUE A PERMIT PRIOR TO THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM.

E. THE SPRINKLER CONTRACTOR MUST HAVE A CITY BUSINESS LICENSE AND WORKER'S COMPENSATION CERTIFICATE.

F. A PLAT CEILING IS REQUIRED IN AREAS INCORPORATING AN AUTOMATIC FIRE SPRINKLER SYSTEM TO ASSURE PROPER FUNCTIONING OF THE SPRINKLER HEADS.

G. THE BUILDING SHALL BE PROVIDED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM. SPRINKLER CONTROL VALVES SHALL BE LOCATED TO ALLOW CONTROL OF THE SPRINKLER RISER FROM OUTSIDE THE BUILDING. SUBMIT SHOP DRAWINGS (3 SETS) AND A PERMIT APPLICATION TO THE FIRE PREVENTION DIVISION FOR REVIEW AND APPROVAL BEFORE INSTALLING THE SYSTEM. CALL (408) 378-4010 FOR MORE INFORMATION.

SMOKE ALARMS
PER CBC #907.2.9.2, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC #907.2.11.

EGRESS DOORS
EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, THUMB TURN, OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED, UNLESS ANY OF THE EXCEPTIONS TO THE SECTION 1008.1.9.4 ARE MET. (CBC #1008.1.9)

PREMISES IDENTIFICATION / PROJECT ADDRESS
APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF 0.5 INCH. (CFC#505.1)

WATER SUPPLY REQUIREMENTS
PORTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE PORTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THE FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S).

CONSTRUCTION SITE FIRE SAFETY
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND THE FIRE DEPARTMENTS STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CH#33

BENCHMARK: LG31 ELEVATION 367.04
SET BRASS DISK IN MONUMENT WELL AT INTERSECTION OF ROBERTS ROAD AND INDUSTRIAL WAY

BOUNDARY IS SHOWN BASED ON RECORD AND LIMITED AND FOUND MONUMENT WITHIN TRACT NO. 6737.

FORREST AVENUE
N21°18'34"E
175.20'

ROBERTS ROAD

HATCHED AREA INDICATES MINIMUM 26' WIDE AERIAL FIRE APPARATUS ACCESS ROAD

SITE PLAN LEGEND

PROPERTY LINE	---	NEW GAS LINE	G	PROPOSED RESIDENCES	□
SETBACK LINE	- - -	NEW WATER LINE	W	PROPOSED CONCRETE DRIVEWAY	□
(E) GRADE CONTOUR LINE	~ ~ ~	NEW ELECTRIC LINE	E	PROPOSED PATIOS	□
PROPOSED GRADE CONTOUR LINE	- - -	JOINT TRENCH	JT	PROPOSED HARDSCAPE	□
EXISTING FENCE TO BE REMOVED	+	NEW SANITARY SEWER LINE	SS		
PROPOSED FENCE	+				
EXISTING BUILDINGS AND HARDSCAPE TO BE REMOVED	+				

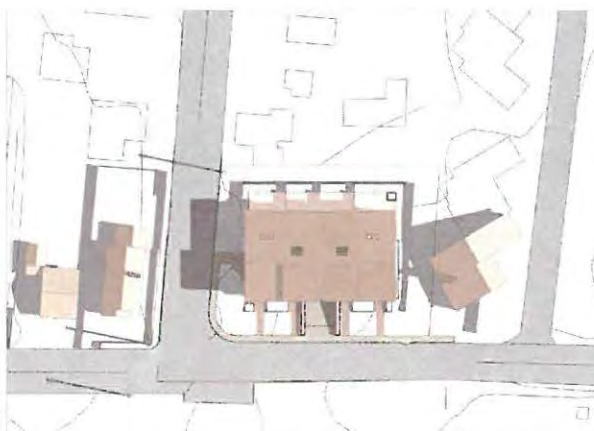
EXISTING TREE TO REMAIN	⊗
EXISTING TREE TO BE REMOVED	⊗
TREE PROTECTION FENCING	⊗
PROPOSED TREE	⊗
PROPOSED PLANTER	⊗

NOTE: SHADOW STUDY FOR ALL
DIAGRAMS DOES NOT
INCLUDE ANY EXISTING TREES

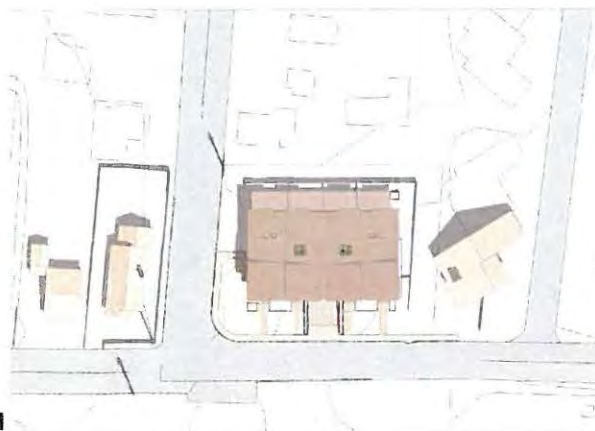


SPRING EQUINOX

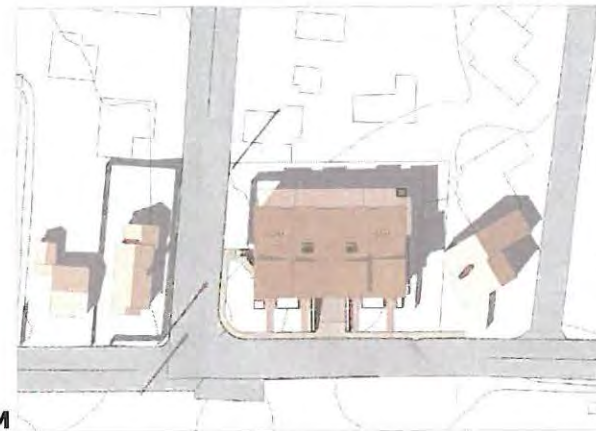
9:00 AM



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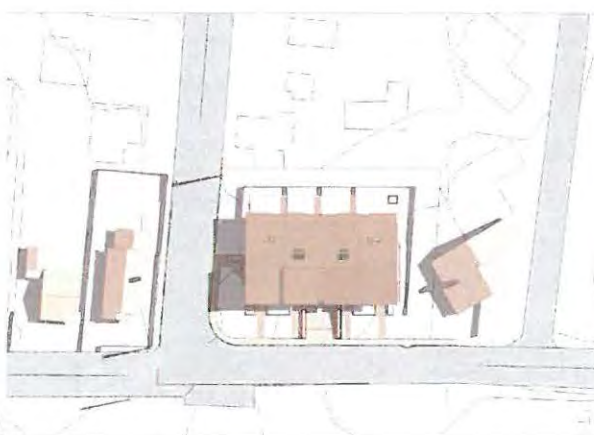


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SUMMER SOLSTICE

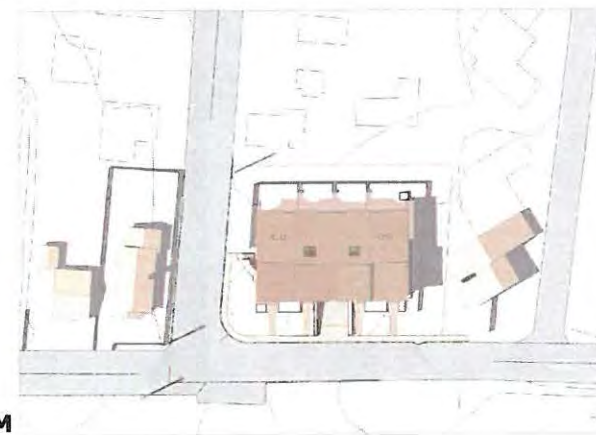
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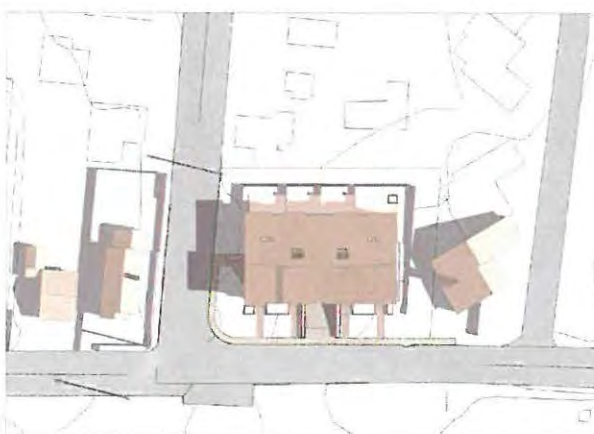


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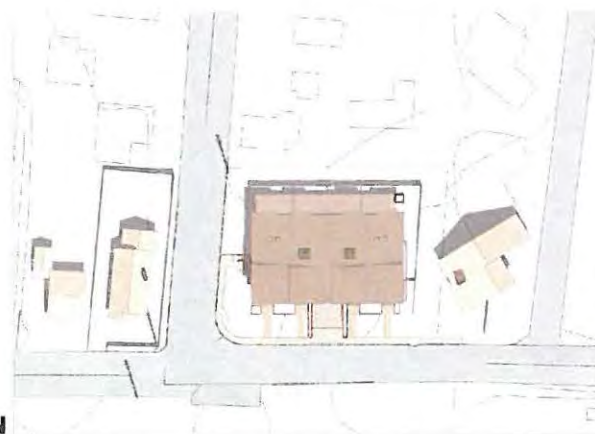


AUTUMNAL EQUINOX

9:00 AM



NOON



3:00 PM



WINTER SOLSTICE

9:00 AM



NOON



3:00 PM



ARCHITECTURE PLANNING INTERIORS

1475 S BASCOM AVE SUITE 208
CAMPBELL, CA 95008
(408) 871-1071 phone
(408) 871-1072 fax
www.metroarchitects.com

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for which they were not intended
without the written permission of
METRO DESIGN GROUP.

PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

**SHADOW
STUDY DIAGRAM**

DATE : 05-24-17

SCALE : N.T.S.

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-1.1

REVISIONS

NO.	DESCRIPTION

SITE SECTIONS

SURROUNDING PARCEL PLAN
SITE SECTIONS
GOOD NEIGHBOR FENCE DETAIL

DATE : 05-24-17

SCALE : AS NOTED

DRAWN BY : D.Z.

CHECKED BY : TS

ARCHITECT : TOM SLOAN

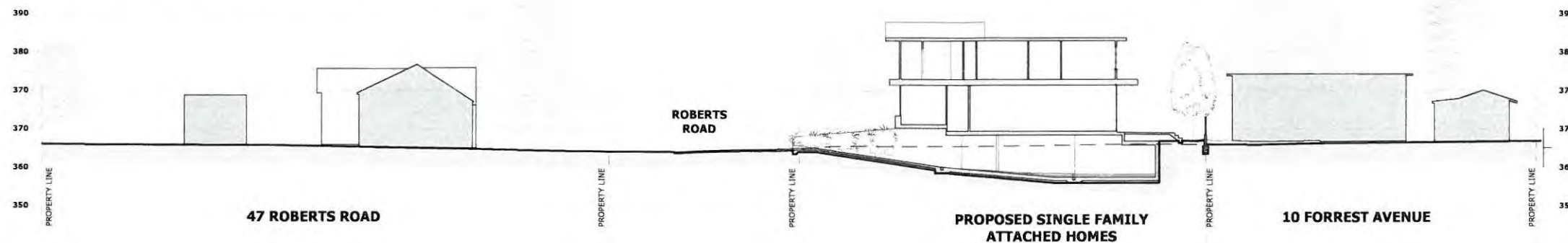
PROJECT NO : 16616

SHEET NUMBER

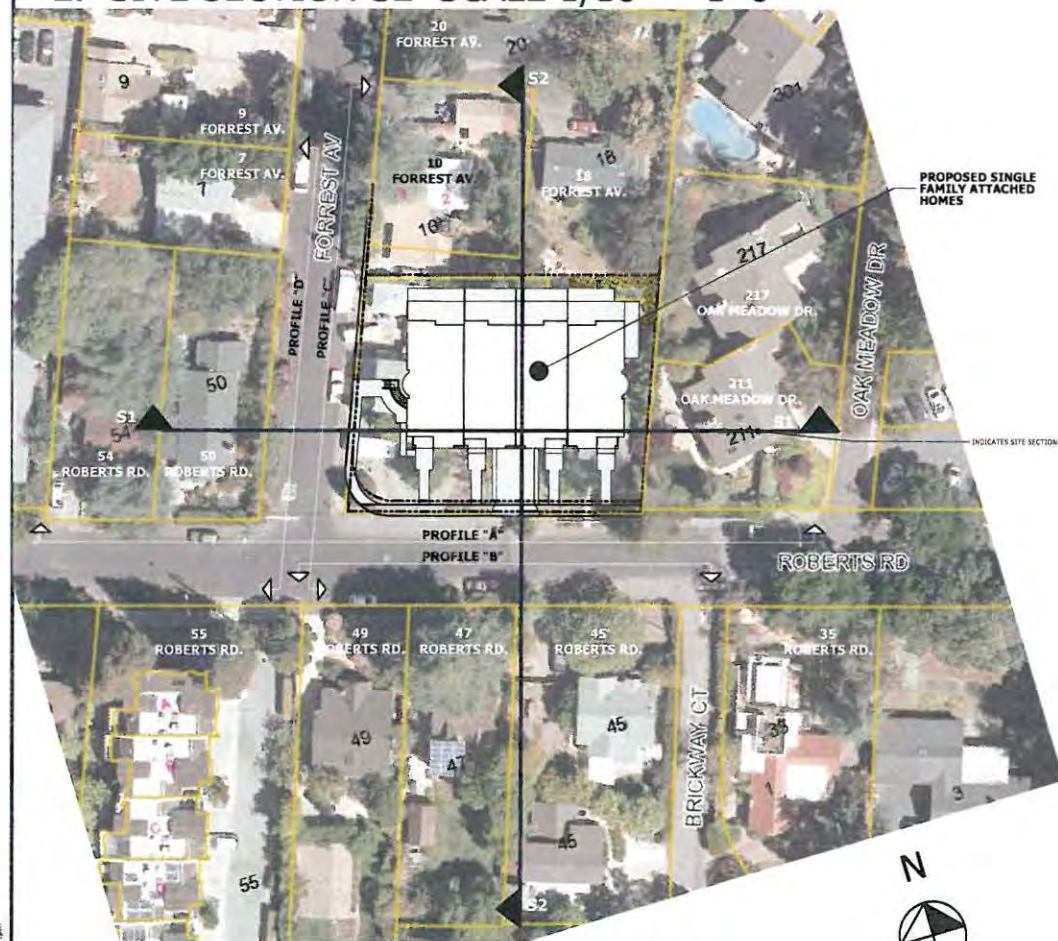
A-1.2



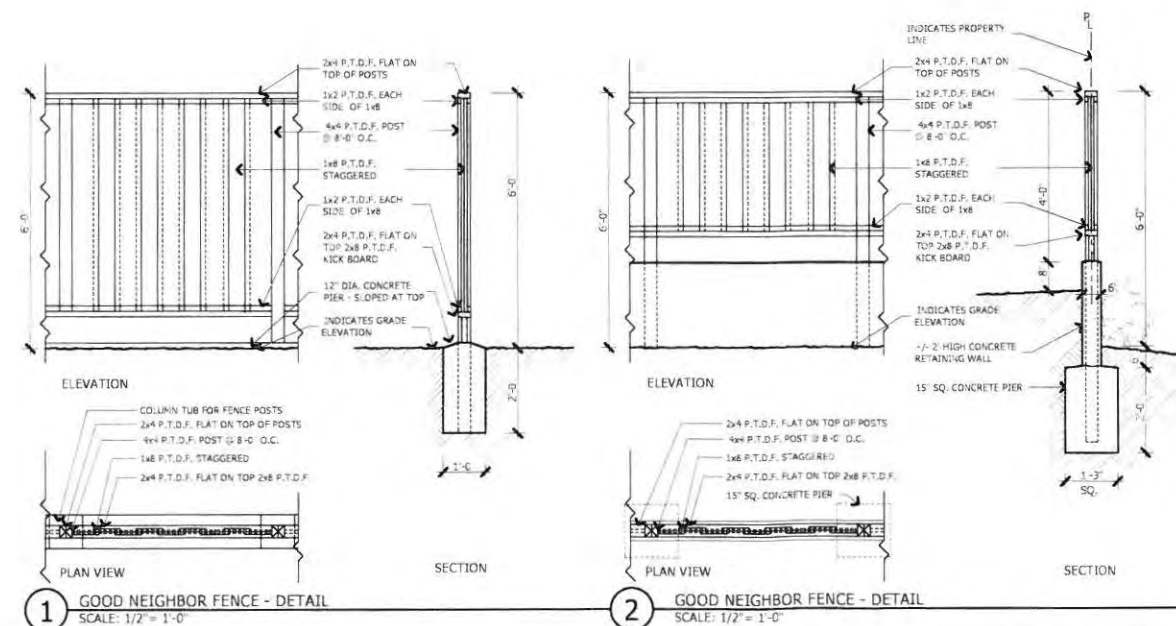
1. SITE SECTION S1 SCALE 1/16" = 1'-0"



2. SITE SECTION S2 SCALE 1/16" = 1'-0"



3. SURROUNDING PARCEL PLAN SCALE 1"=40'



1 GOOD NEIGHBOR FENCE - DETAIL
SCALE: 1/2" = 1'-0"

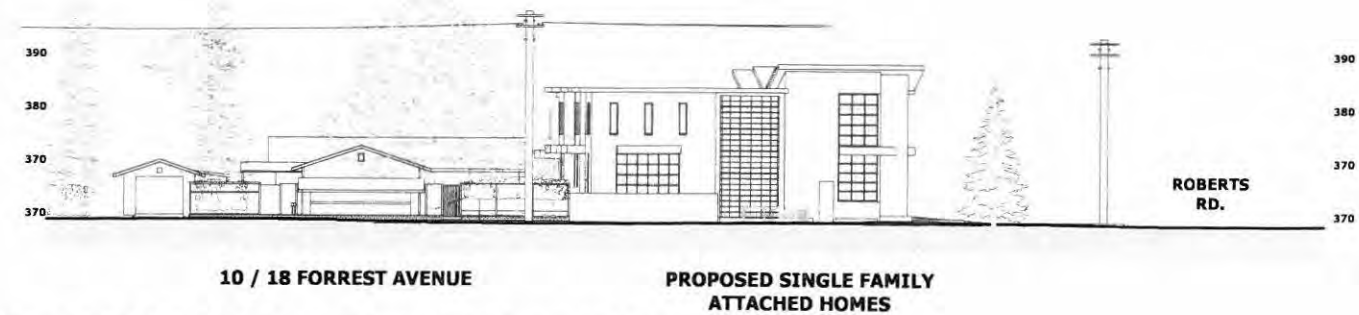
2 GOOD NEIGHBOR FENCE - DETAIL
SCALE: 1/2" = 1'-0"



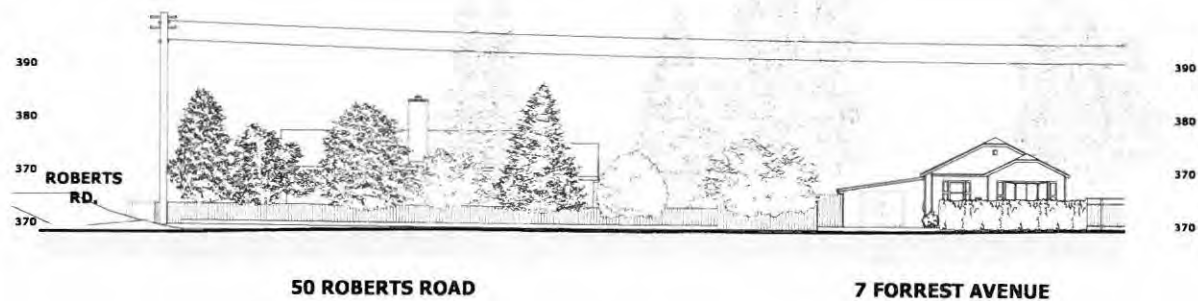
1. STREET PROFILE 'A' SCALE 1/16" = 1'-0"



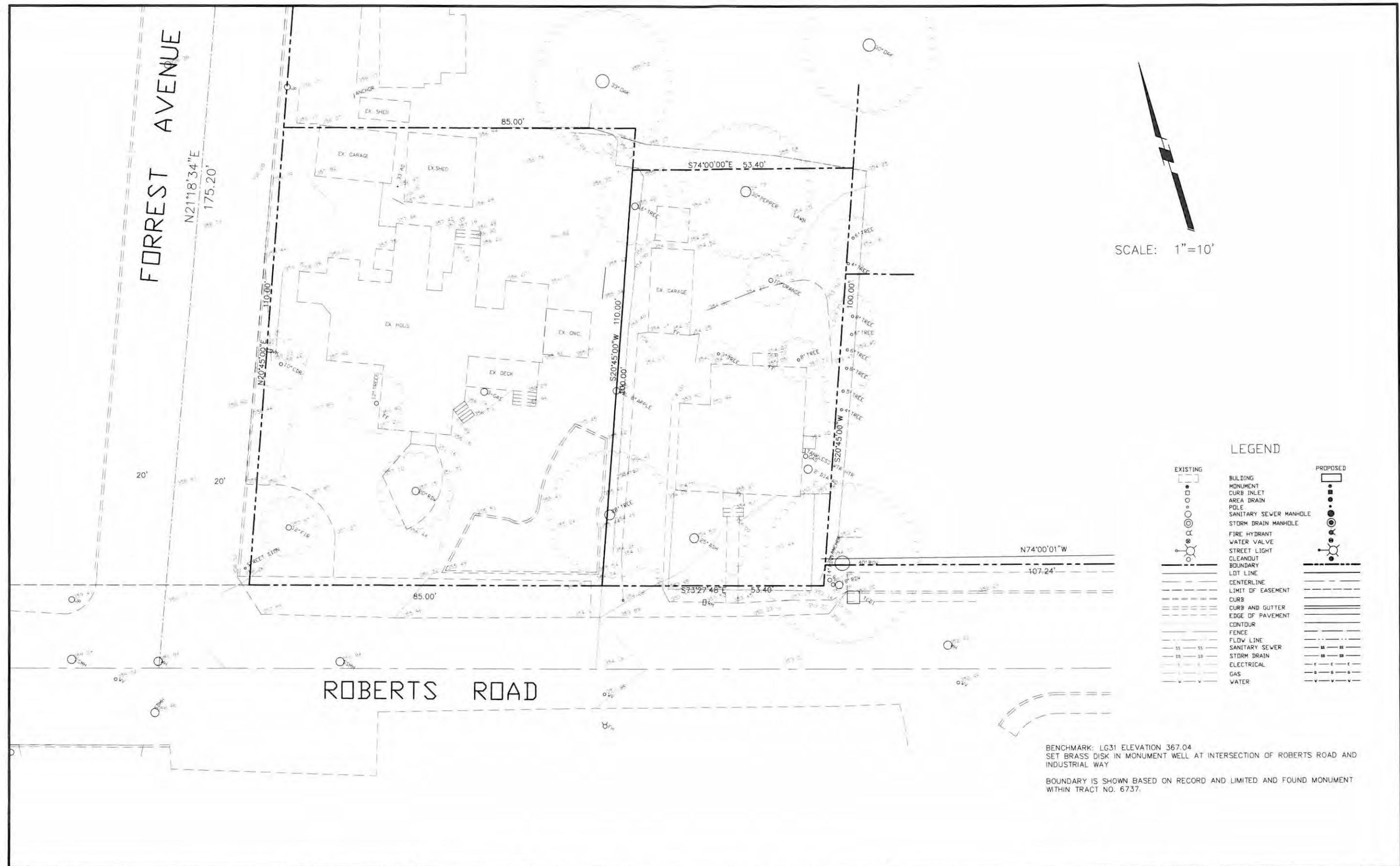
2. STREET PROFILE 'B' SCALE 1/16" = 1'-0"



3. STREET PROFILE 'C' SCALE 1/16" = 1'-0"



4. STREET PROFILE 'D' SCALE 1/16" = 1'-0"



BENCHMARK: LG31 ELEVATION 367.04
SET BRASS DISK IN MONUMENT WELL AT INTERSECTION OF ROBERTS ROAD AND INDUSTRIAL WAY

BOUNDARY IS SHOWN BASED ON RECORD AND LIMITED AND FOUND MONUMENT WITHIN TRACT NO. 6737.

NO.		BY	DATE	REVISION		BY	DATE	DATE: JULY 2016	
								SCALE: HOR. 1"=10'	
								VERT.	
								DESIGNED: JC	
								CHECKED: KC	
								PROJ. ENGR: HB	

BY: KAREL CYMBAL, RCE 34534		DATE:

14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244	
--------------------------------------------------------	--

	
WESTFALL ENGINEERS, INC.	
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244	

TOPOGRAPHIC MAP	
JOB NO. 2016-008	
SHEET 1 OF 1	

30 ROBERTS ROAD & 6 FOREST AVE., LOS GATOS, CA	
------------------------------------------------	--

PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

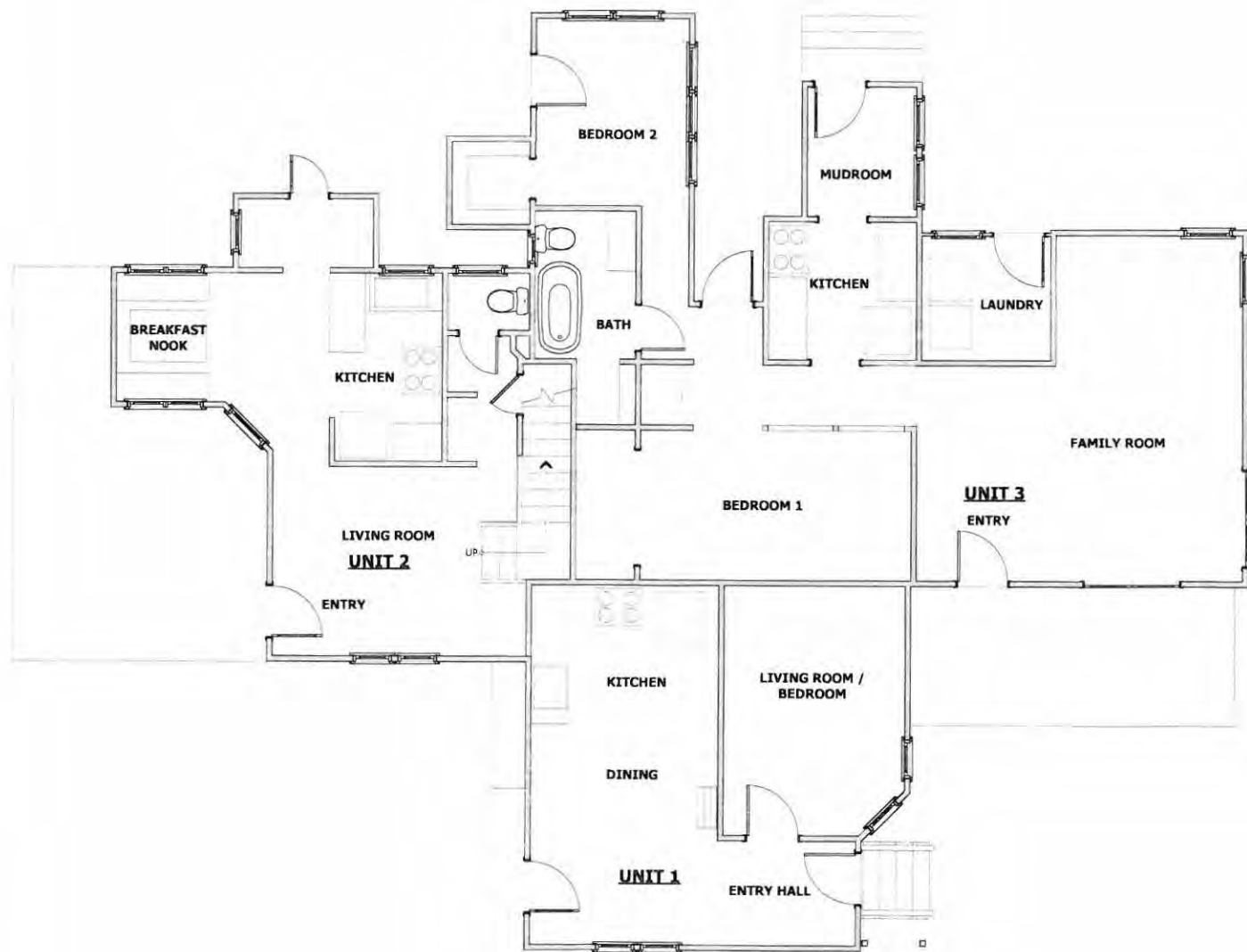
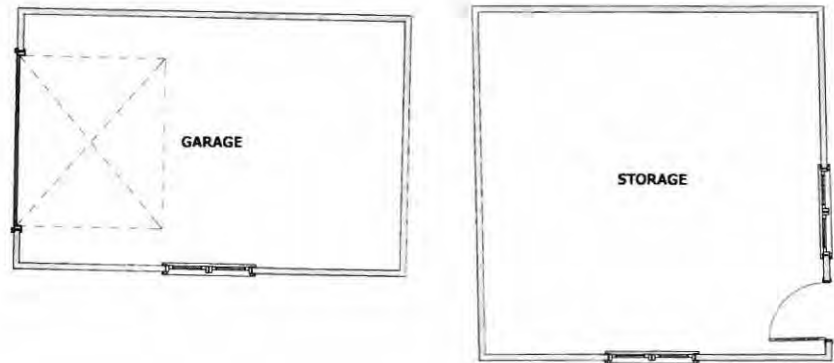
REVISIONS

**EXISTING/
DEMOLITION
FLOOR PLANS**

DATE : 05-24-17
SCALE : 1/4" = 1'-0"
DRAWN BY : DZ
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 16616

SHEET NUMBER

A-2.1



**FIRST FLOOR PLAN
EXISTING BUILDING TO BE REMOVED
6 FORREST AVENUE**



SECOND FLOOR PLAN

REVISIONS

**EXISTING/
DEMOLITION
ELEVATIONS**

DATE : 05-24-17

SCALE : 1/4" = 1'-0"

DRAWN BY : HSC

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-2.2



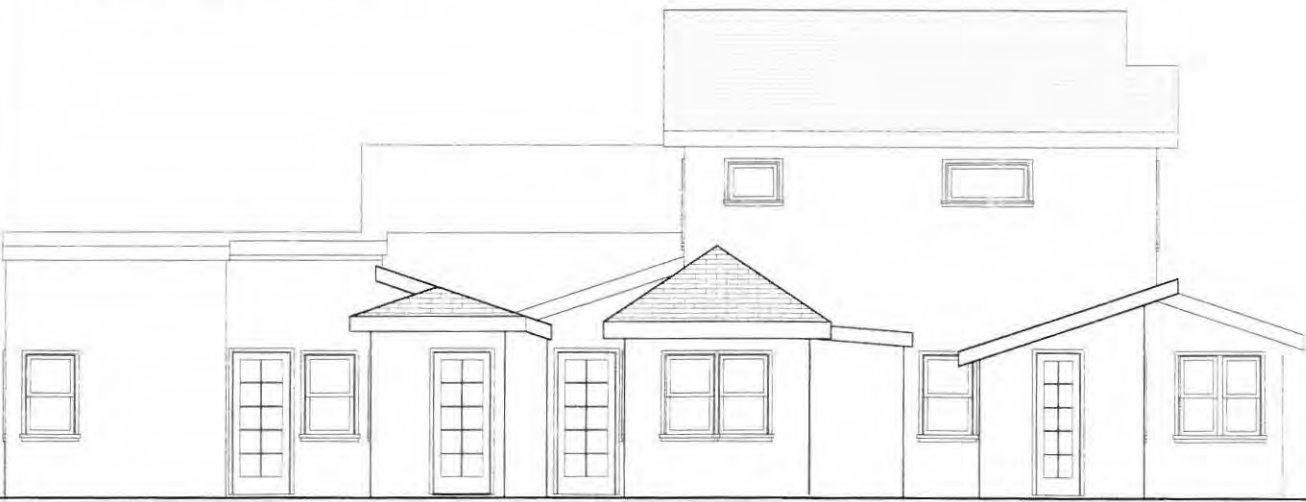
**FORREST AVE
EXISTING HOUSE - WEST ELEVATION**



**FORREST AVE
EXISTING HOUSE - EAST ELEVATION**



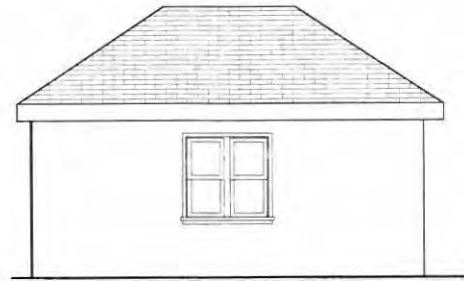
**FORREST AVE
EXISTING HOUSE - NORTH ELEVATION**



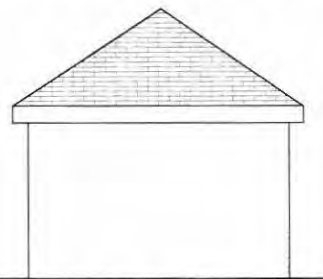
**FORREST AVE
EXISTING HOUSE - SOUTH ELEVATION**



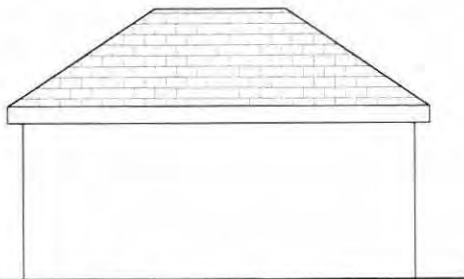
**FORREST AVE
EXISTING GARAGE - WEST ELEVATION**



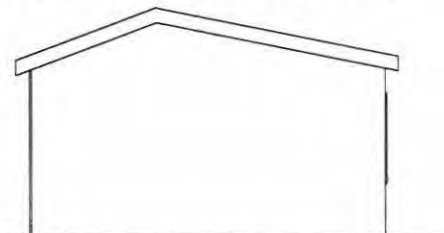
**FORREST AVE
EXISTING GARAGE - NORTH ELEVATION**



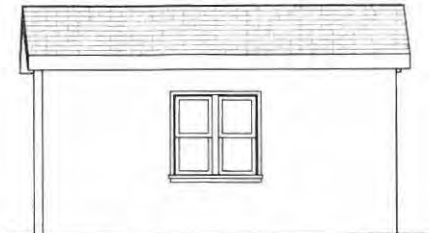
**FORREST AVE
EXISTING GARAGE - EAST ELEVATION**



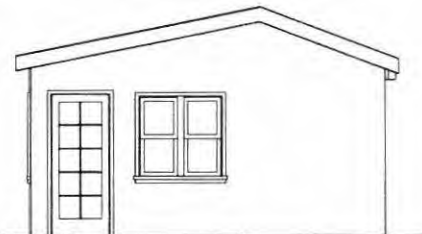
**FORREST AVE
EXISTING GARAGE - SOUTH ELEVATION**



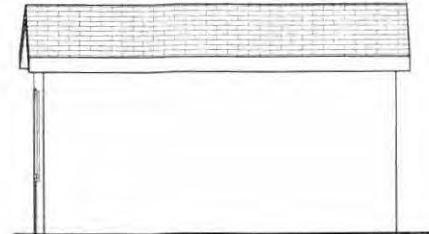
**FORREST AVE
EXISTING STORAGE - WEST ELEVATION**



**FORREST AVE
EXISTING STORAGE - NORTH ELEVATION**



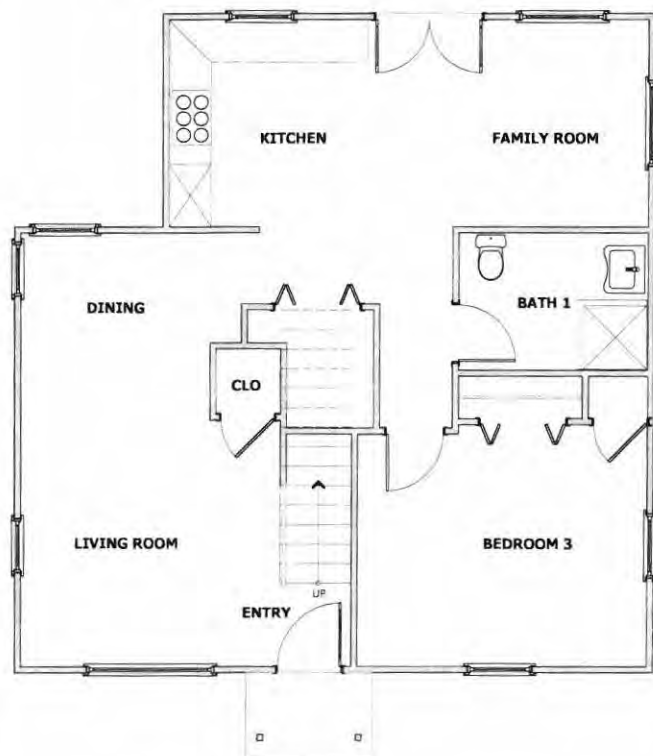
**FORREST AVE
EXISTING STORAGE - EAST ELEVATION**



**FORREST AVE
EXISTING STORAGE - SOUTH ELEVATION**



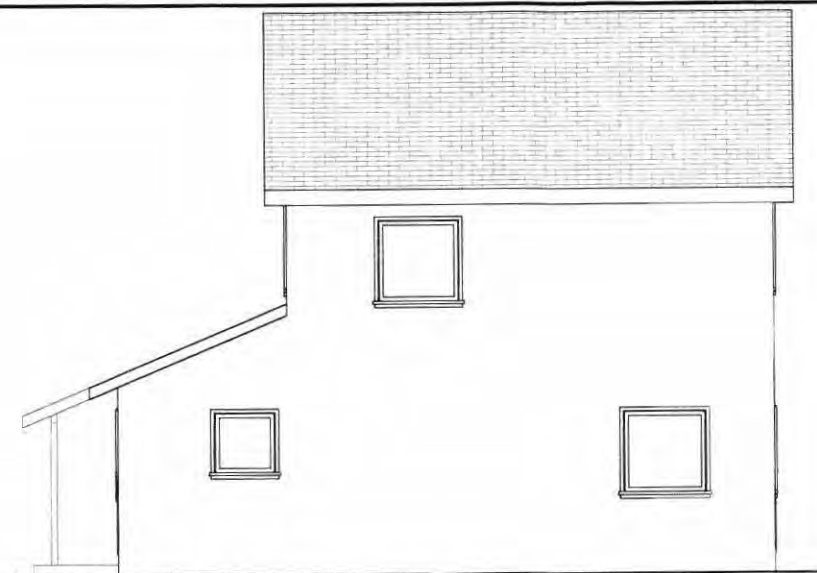
SECOND FLOOR PLAN



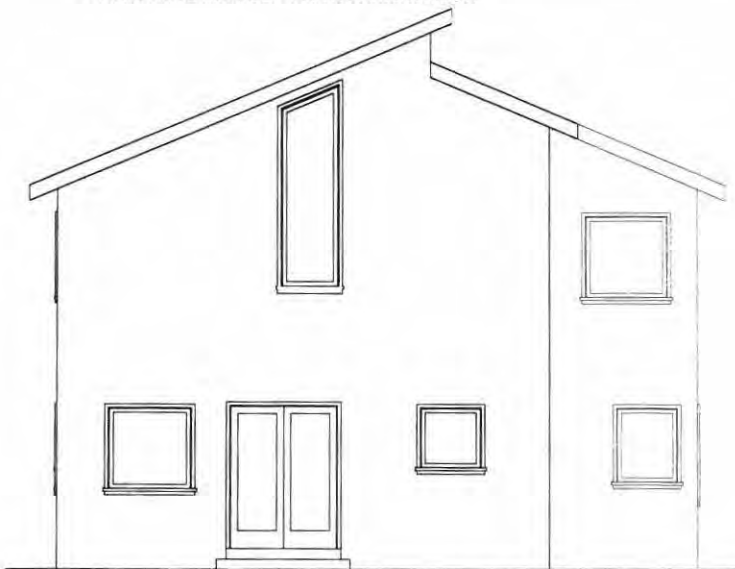
**FIRST FLOOR PLAN
EXISTING BUILDING TO BE REMOVED
30 ROBERTS ROAD**



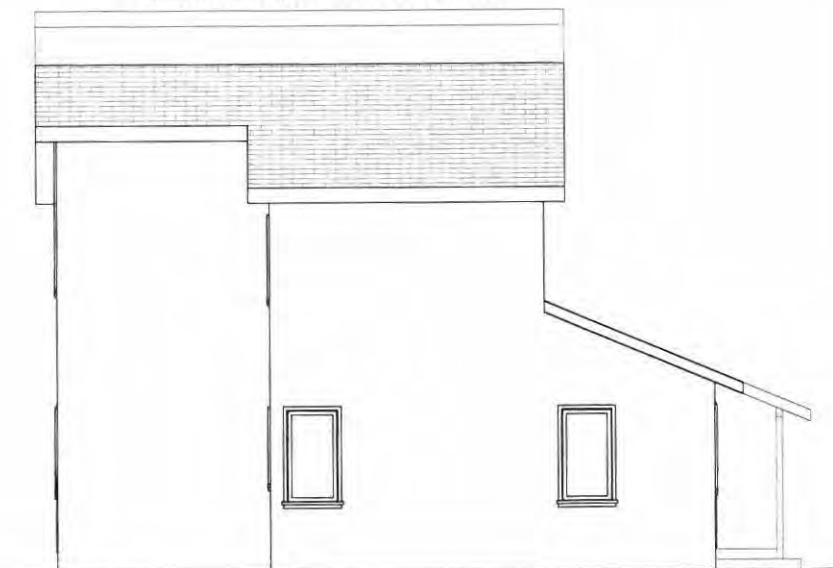
**ROBERTS RD
EXISTING HOUSE - NORTH ELEVATION**



**ROBERTS RD
EXISTING HOUSE - EAST ELEVATION**



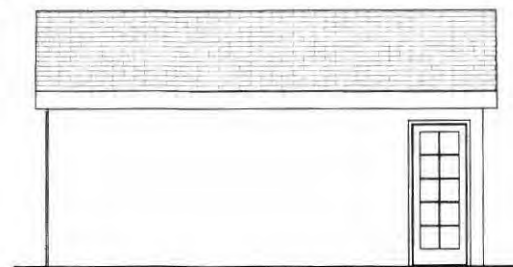
**ROBERTS RD
EXISTING HOUSE - SOUTH ELEVATION**



**ROBERTS RD
EXISTING HOUSE - WEST ELEVATION**



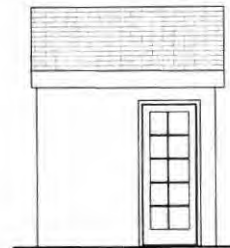
**ROBERTS RD
EXISTING GARAGE - NORTH ELEVATION**



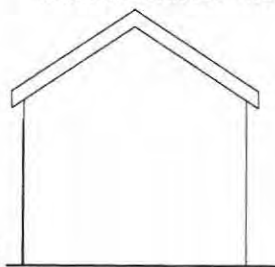
**ROBERTS RD
EXISTING GARAGE - EAST ELEVATION**



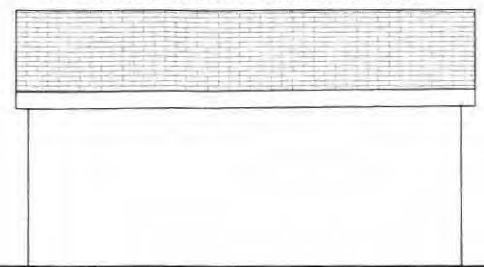
**ROBERTS RD
EXISTING SHED - NORTH ELEVATION**



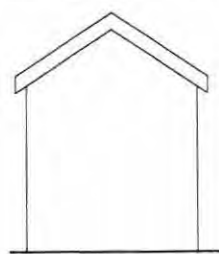
**ROBERTS RD
EXISTING SHED - EAST ELEVATION**



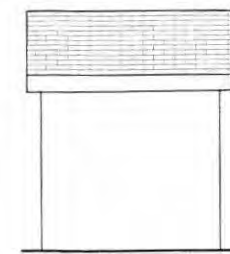
**ROBERTS RD
EXISTING GARAGE - SOUTH ELEVATION**



**ROBERTS RD
EXISTING GARAGE - WEST ELEVATION**



**ROBERTS RD
EXISTING SHED - SOUTH ELEVATION**



**ROBERTS RD
EXISTING SHED - WEST ELEVATION**



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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

PARKING PLAN

DATE : 05-24-17

SCALE : 1/4" = 1'-0"

DRAWN BY : TS

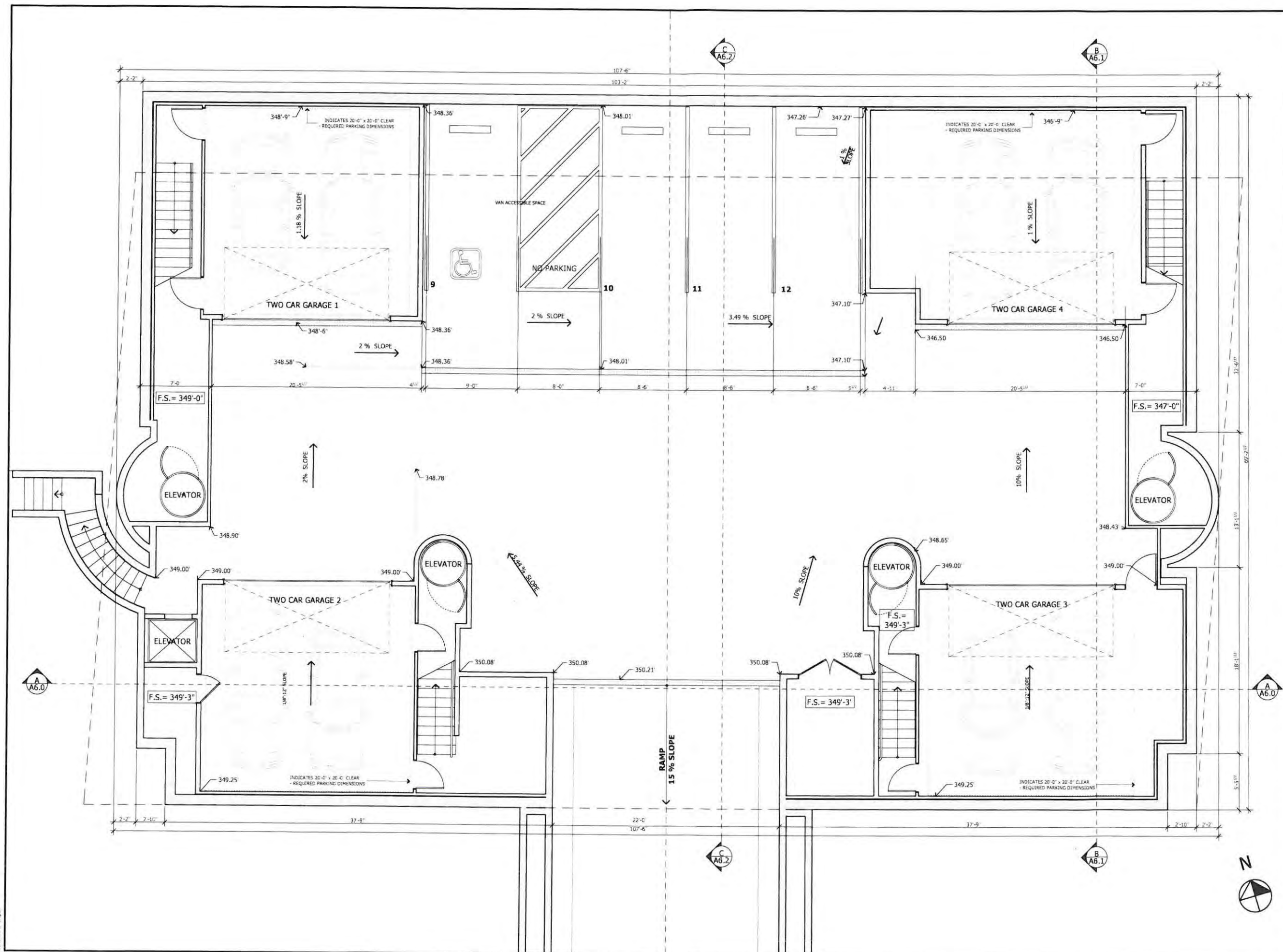
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-3.0





ARCHITECTURE - PLANNING - INTERIORS

1475 S BASCOM AVE SUITE 208
CAMPBELL, CA 95008
(408)871-1071 phone
(408)871-1072 fax
www.metroarchitects.com

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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

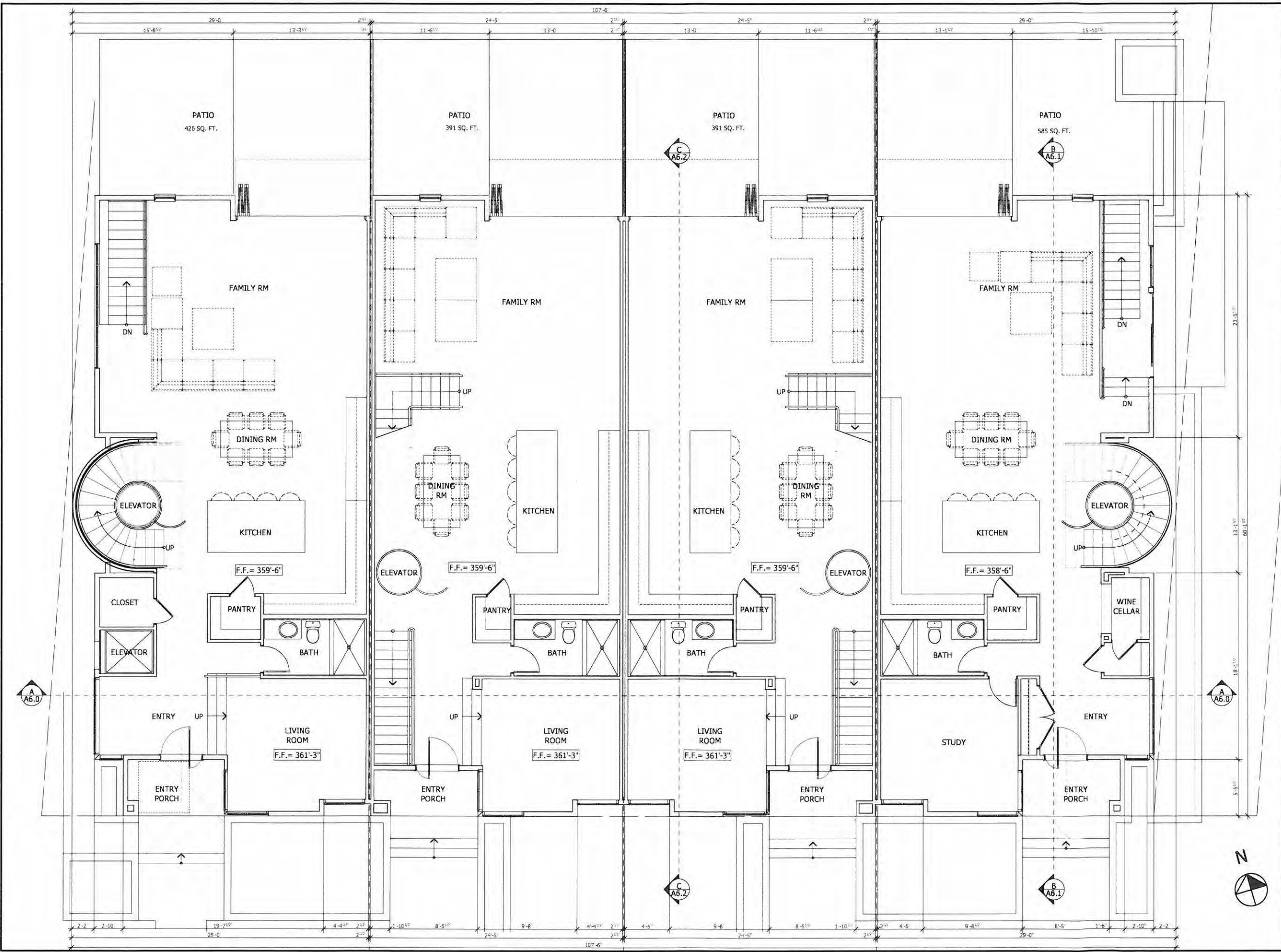
REVISIONS

**FIRST FLOOR
PLAN**

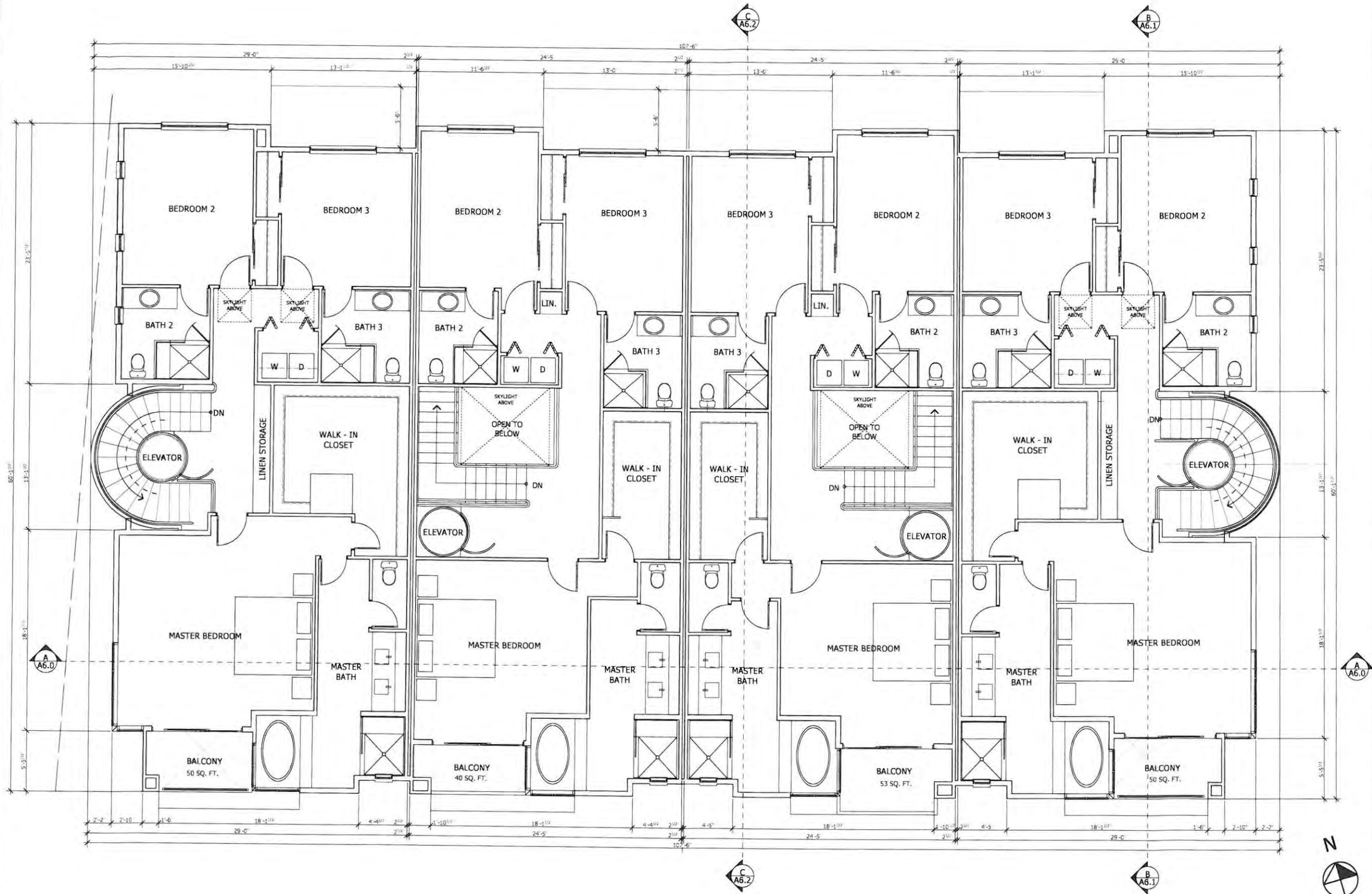
DATE : 05-24-17
SCALE : 1/4" = 1'-0"
DRAWN BY : TS
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 16616

SHEET NUMBER

A-3.1



5/24/2017 3:03 PM
Toshiba S-1717.pdf



REVISIONS

**PROPOSED
ROOF PLAN**

DATE : 05-24-17

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

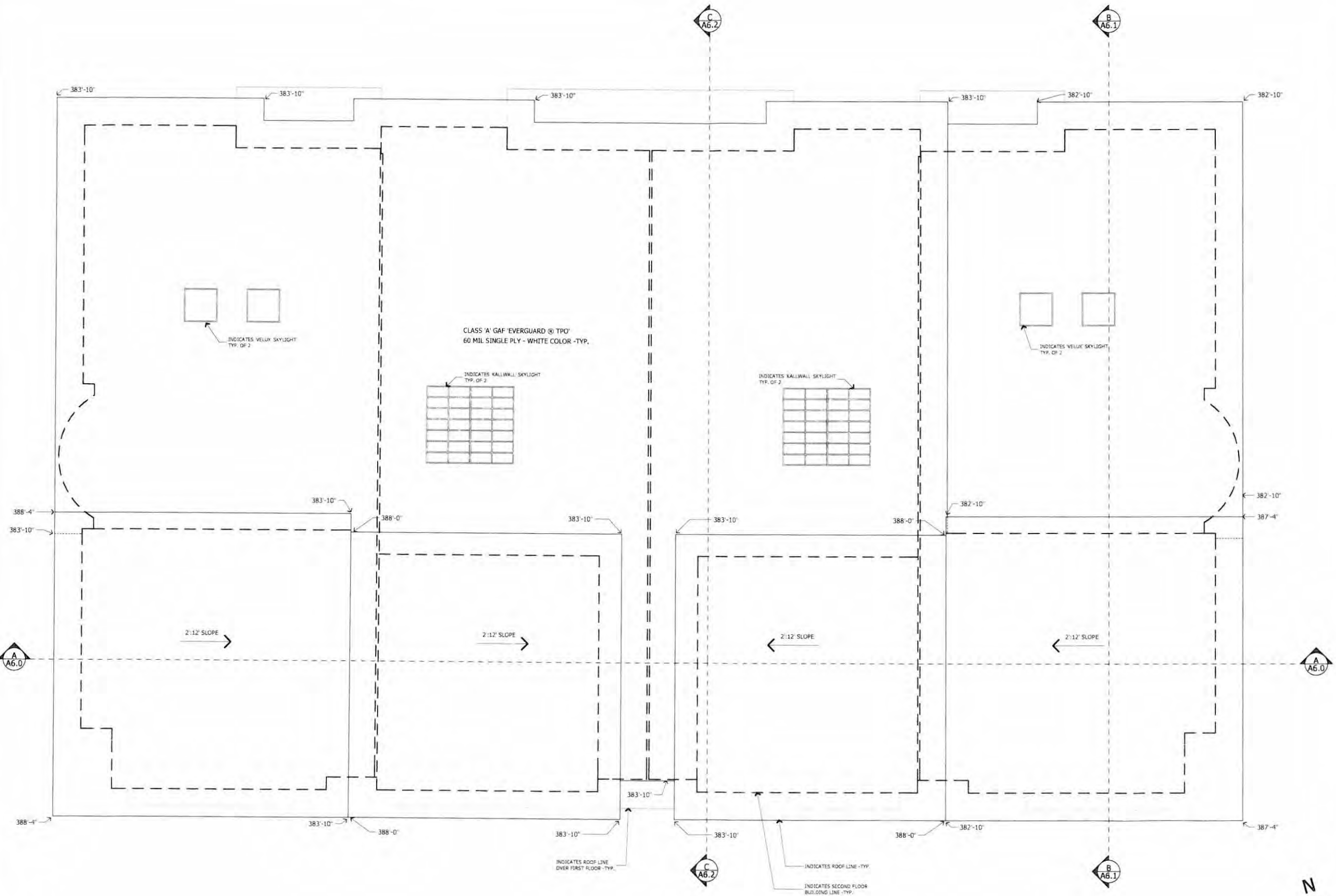
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-4.0



REVISIONS

PROPOSED
EXTERIOR
ELEVATIONS

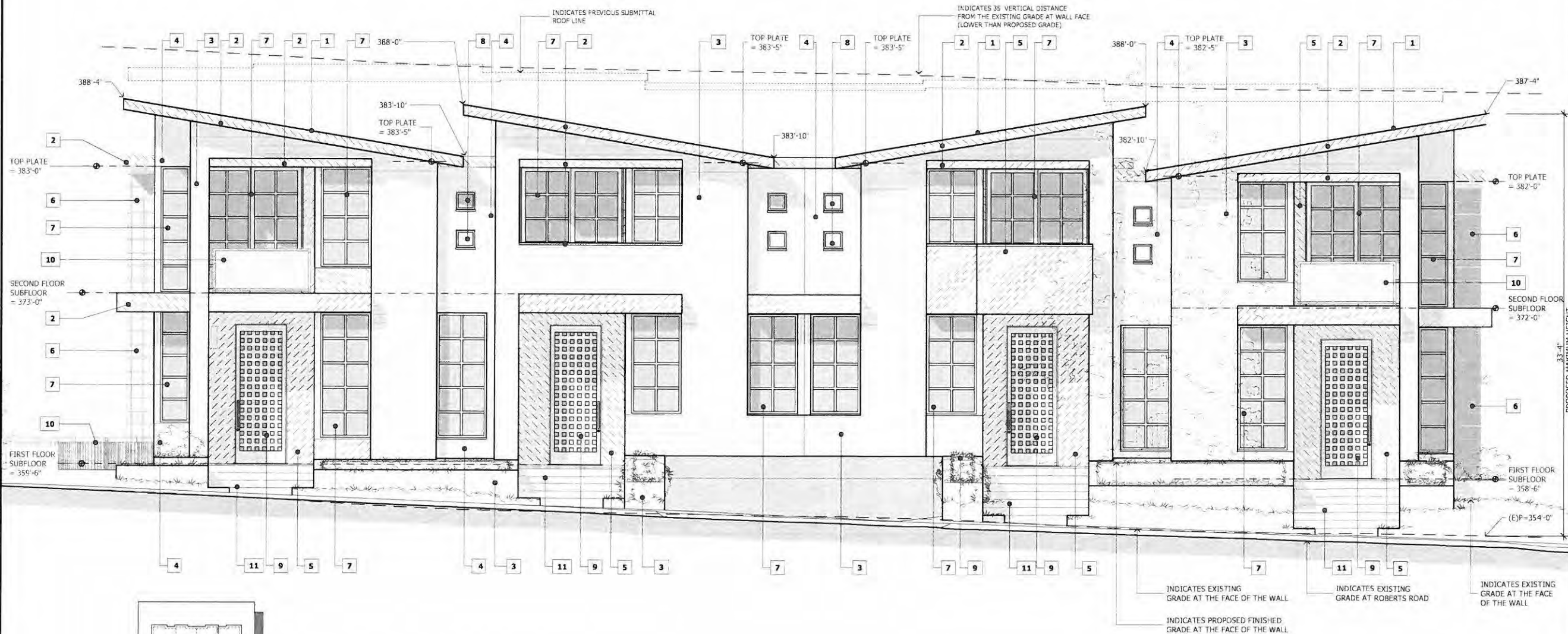
FRONT ELEVATION, SOUTH
DATE : 05-24-17
SCALE : 1/4" = 1'-0"
DRAWN BY :
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 16616

SHEET NUMBER

A-5.0

EXTERIOR FINISHES

- 1 ROOF: CLASS 'A' GAF 'EVERGUARD' TPO 60 MIL SINGLE PLY - MANSARD COLOR
- 2 ROOF FASCIA, EAVE SOFFIT, TRIMS: CUSTOM 24 GA. 'GALVALUME' METAL - DARK BRONZE COLOR TO MATCH WINDOWS/DOORS
- 3 EXTERIOR WALLS: WOOD SIDING - 8" EXPOSURE MEDIUM BROWN COLOR
- 4 EXTERIOR WALLS: COLOR INTEGRAL STUCCO PLASTER - XXXXX COLOR
- 5 EXTERIOR WALLS: METAL SIDING BRONZE COLOR TO MATCH WINDOWS/DOORS
- 6 EXTERIOR WALLS: 'KALWALL' - WALL SYSTEM TRANSLUCENT PANELS
- 7 WINDOWS & EXTERIOR DOORS: ALUMINUM WOOD CLAD - CLEAR GLASS 'DARK BRONZE' ANODIZED ALUMINUM
- 8 WINDOWS: ALUMINUM WOOD CLAD - TRANSLUCENT GLASS 'DARK BRONZE' ANODIZED ALUMINUM
- 9 ENTRY DOOR: CUSTOM STEEL PIVOT DOOR DARK BRONZE COLOR
- 10 GUARDRAIL: STEEL - 'DARK BRONZE' COLOR AND SAFETY GLASS WHERE OCCURS
- 11 DRIVEWAY, WALKWAYS AND PATIOS PERMEABLE PAVERS: POURED IN PLACE CONCRETE LIGHT BROWN COLOR



PROPOSED FRONT ELEVATION: SOUTH

SCALE : 1/4" = 1'-0"

REVISIONS

PROPOSED EXTERIOR ELEVATIONS

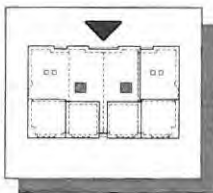
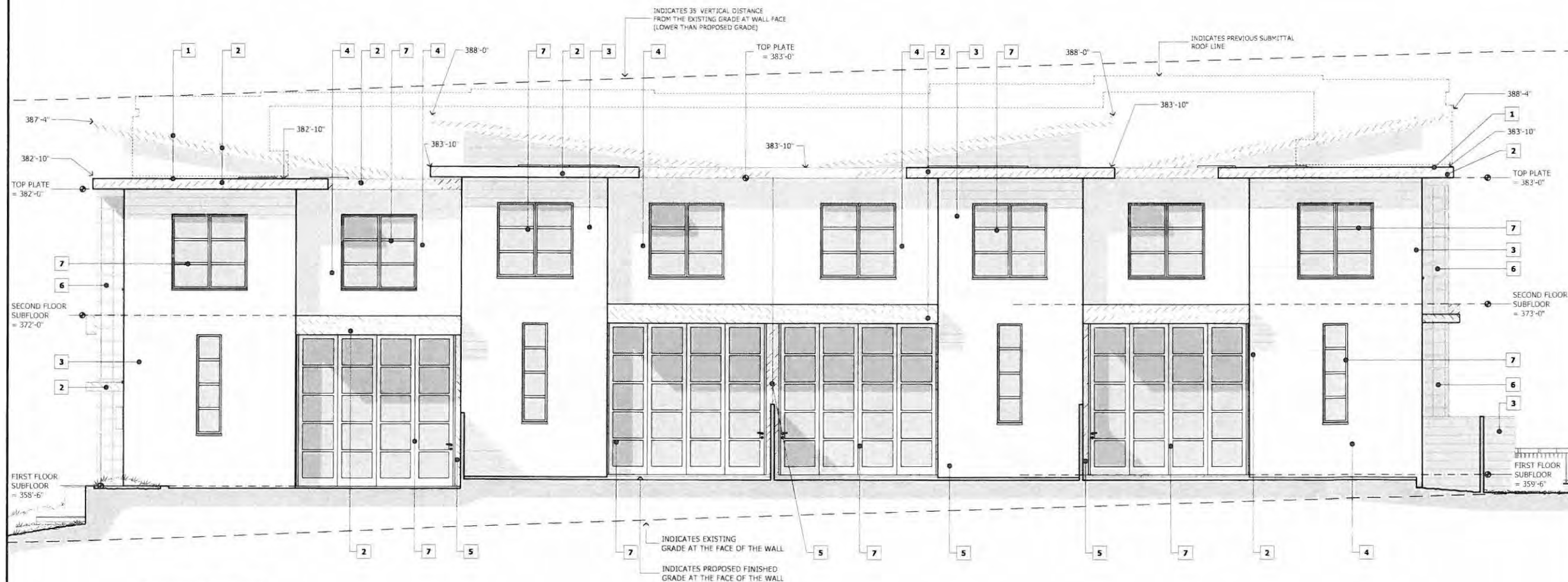
REAR ELEVATION, NORTH
DATE : 05-24-17
SCALE : 1/4" = 1'-0"
DRAWN BY : DZ
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 16616

SHEET NUMBER

A-5.1

EXTERIOR FINISHES

- | | | |
|----|-------------------------------------------------|----------------------------------------------------------------------------|
| 1 | ROOF: | CLASS A 'GAF' EVERGUARD ® 'TPO' 60 MIL SINGLE PLY - MANSARD COLOR |
| 2 | ROOF FASCIA,
EAVE SOFFIT, TRIMS: | CUSTOM 24 GA. 'GALVALUME' METAL - DARK BRONZE COLOR TO MATCH WINDOWS/DOORS |
| 3 | EXTERIOR WALLS: | WOOD SIDING - 8" EXPOSURE MEDIUM BROWN COLOR |
| 4 | EXTERIOR WALLS: | COLOR INTEGRAL STUCCO PLASTER - XXXXXX COLOR |
| 5 | EXTERIOR WALLS: | METAL SIDING BRONZE COLOR TO MATCH WINDOWS/DOORS |
| 6 | EXTERIOR WALLS: | 'KALWALL' - WALL SYSTEM TRANSLUCENT PANELS |
| 7 | WINDOWS &
EXTERIOR DOORS: | ALUMINUM WOOD CLAD -CLEAR GLASS 'DARK BRONZE' ANODIZED ALUMINUM |
| 8 | WINDOWS: | ALUMINUM WOOD CLAD -TRANSLUCENT GLASS 'DARK BRONZE' ANODIZED ALUMINUM |
| 9 | ENTRY DOOR: | CUSTOM STEEL PIVOT DOOR 'DARK BRONZE' COLOR |
| 10 | GUARDRAIL: | STEEL - 'DARK BRONZE' COLOR AND SAFETY GLASS WHERE OCCURS |
| 11 | DRIVEWAY, WALKWAYS AND PATIOS PERMEABLE PAVERS: | POURED IN PLACE CONCRETE LIGHT BROWN COLOR |



PROPOSED REAR ELEVATION: NORTH

SCALE : 1/4" = 1'-0"



SCALE : 1/4" = 1'-0"

5/24/2017 3:03 PM Tanaka 5-17-17.pln

REVISIONS

PROPOSED
SECTIONS

DATE : 05-24-17

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

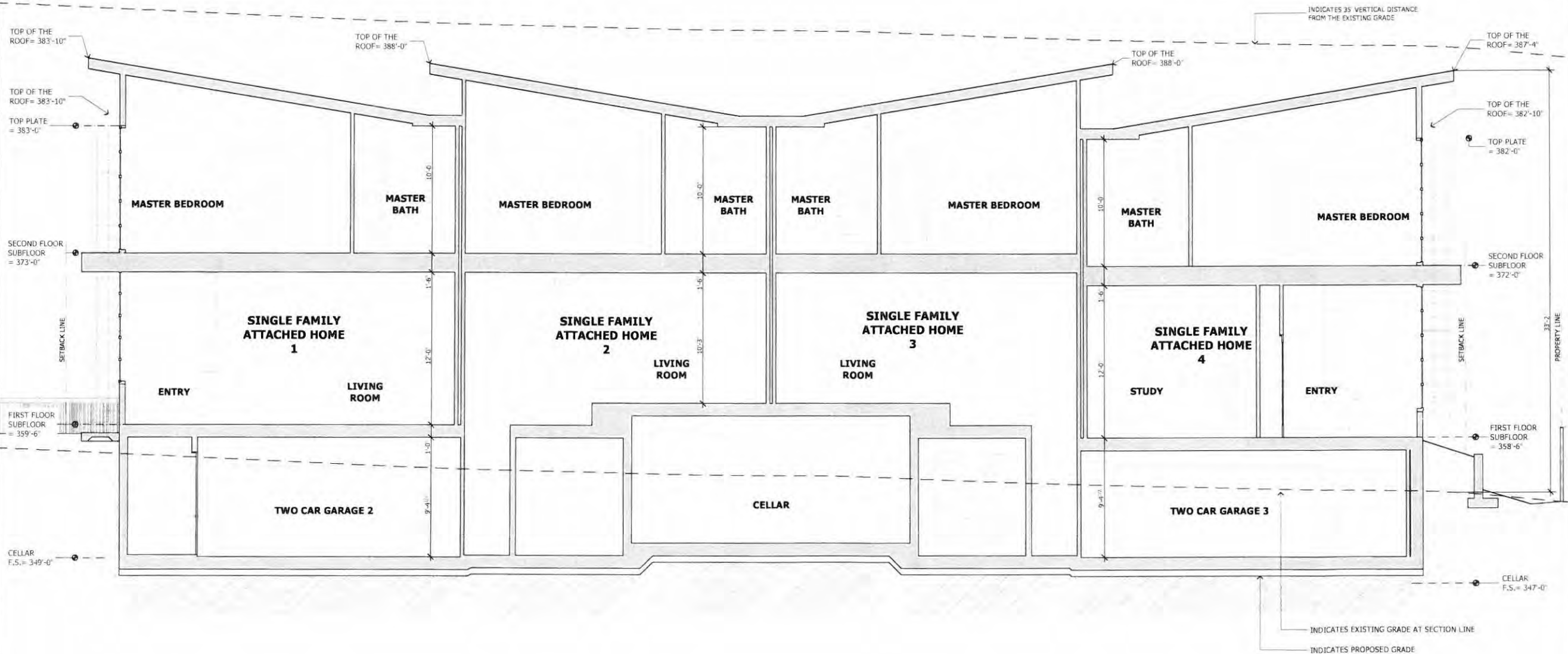
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

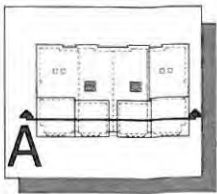
SHEET NUMBER

A-6.0



SECTION A-A

SCALE : 1/4" = 1'-0"



REVISIONS

PROPOSED
SECTIONS

DATE : 05-24-17

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

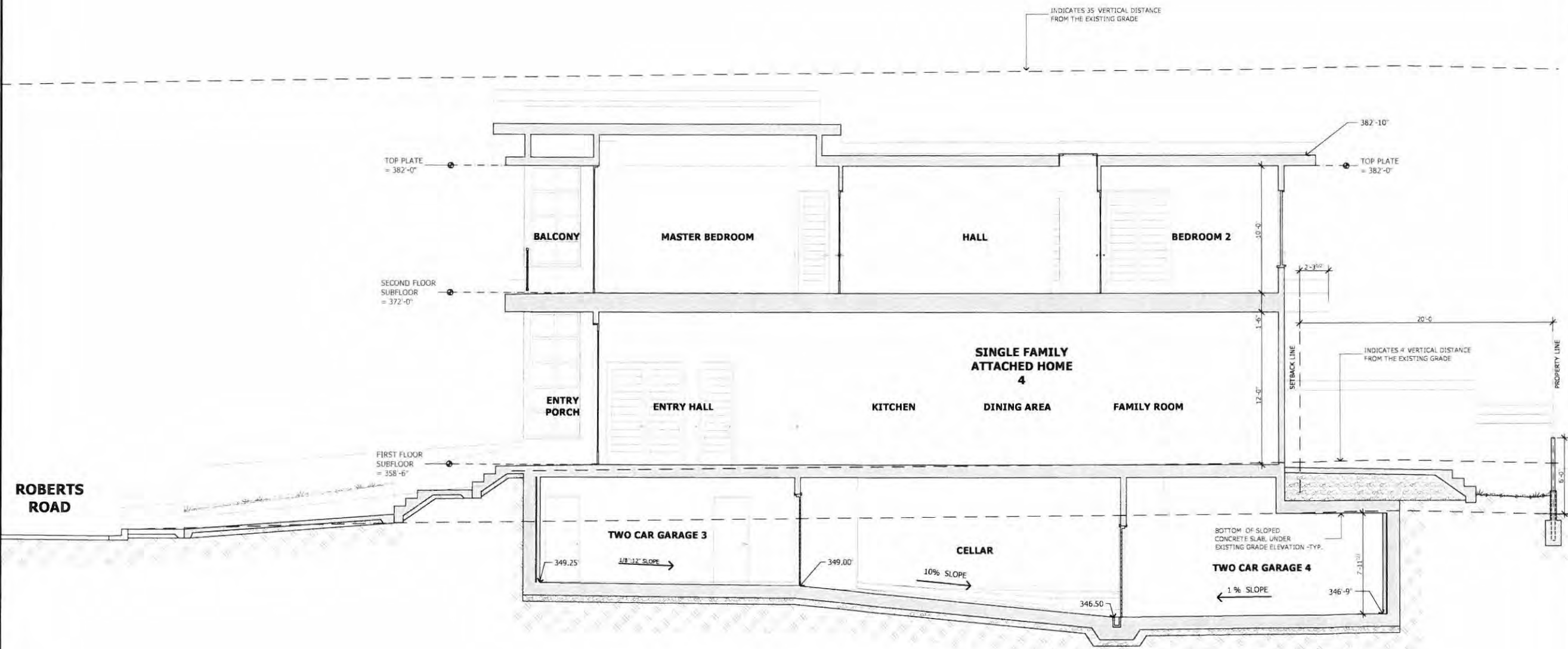
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

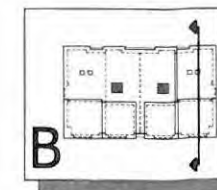
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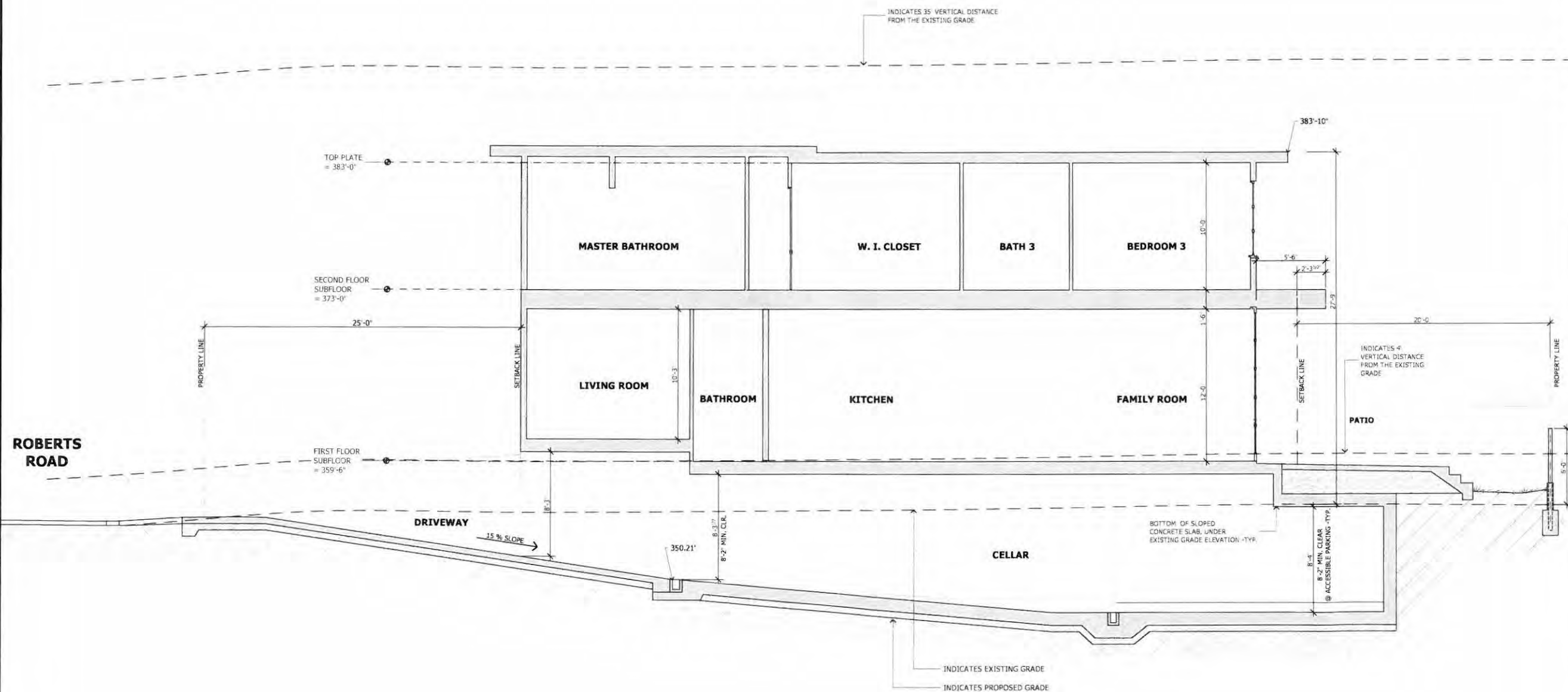
A-6.1



SECTION B-B

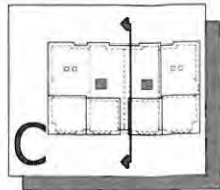
SCALE : 1/4" = 1'-0"





SECTION C-C

SCALE : 1/4" = 1'-0"



REVISIONS

LANDSCAPE PLAN

DATE : 05-24-17

SCALE : 1/8" = 1'-0"

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

L-1.0

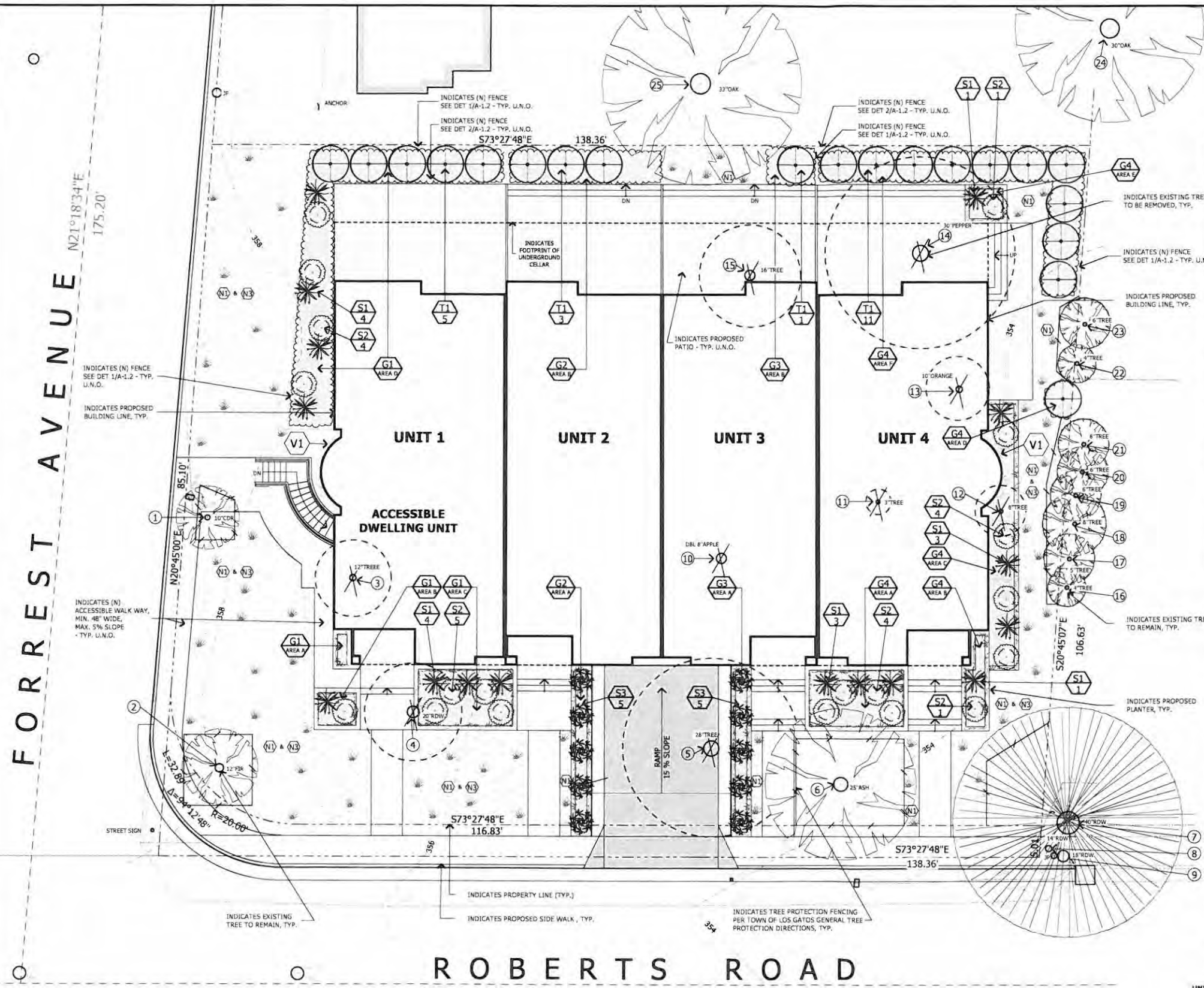
EXISTING TREE LEGEND			
TREE NO.	TREE NAME	TREE SIZE	STATUS
1	CEDAR	10"	TO REMAIN
2	FIR	12"	TO REMAIN
3	TREE	12"	TO BE REMOVED
4	REDWOOD	20"	TO BE REMOVED
5	TREE	28"	TO BE REMOVED
6	ASH	25"	TO REMAIN
7	REDWOOD	40"	TO REMAIN
8	REDWOOD	14"	TO REMAIN
9	REDWOOD	18"	TO REMAIN
10	APPLE	8", 8"	TO BE REMOVED
11	TREE	3"	TO BE REMOVED
12	TREE	8"	TO BE REMOVED
13	CITRUS	10"	TO BE REMOVED
14	PEPPER	30"	TO BE REMOVED
15	TREE	16"	TO BE REMOVED
16	FERN - PODOCARPUS GRACILIOR	4"	TO REMAIN
17	FERN - PODOCARPUS GRACILIOR	5"	TO REMAIN
18	FERN - PODOCARPUS GRACILIOR	8"	TO REMAIN
19	FERN - PODOCARPUS GRACILIOR	6"	TO REMAIN
20	FERN - PODOCARPUS GRACILIOR	6"	TO REMAIN
21	FERN - PODOCARPUS GRACILIOR	8"	TO REMAIN
22	FERN - PODOCARPUS GRACILIOR	4"	TO REMAIN
23	FERN - PODOCARPUS GRACILIOR	6"	TO REMAIN
24	COAST LIVE OAK	30"	TO REMAIN
25	COAST LIVE OAK	33"	TO REMAIN

PLANT LEGEND				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY
DROUGHT TOLERANT SHRUBS / GRASSES				
G1	LAVANDULA ANGUSTIFOLIA	LAVENDER	1 GAL	16
G2	LOMANDRA LONGIFOLIA	LOMANDRA	1 GAL	19
G3	JASMINUM MESNYI (J. PRIMULINUM)	PRIMROSE JASMINE	1 GAL	10
GROUND COVER				
G4	MULCH			
SCREENING TREES / SHRUBS				
T1	PODOCARPUS GRACILIOR	FERN PODOCARPUS	24" BOX	20
VINES				
V1	JASMINUM POLYANTHUM	PINK JASMINE	1 GAL	IN FIELD
NATIVE DROUGHT TOLERANT GRASSES AND GROUND COVERS				
N1	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	IN FIELD
N2	ARTEMISA CALIFORNICA - MONTANA	CALIFORNIA SAGEBRUSH	1 GAL	IN FIELD
N3	CEANOTHUS - YANKEE POINT	WILD LILAC	1 GAL	IN FIELD
NOTES:				
1. GROUND COVER AREAS - DENOTED G1 - MULCH - INDICATES MAXIMUM 500 SQ. FT. OF IRRIGATED AREA				
2. GROUND COVER AREAS UNDER EXISTING TREES - NON-IRRIGATED DECORATIVE MULCH				

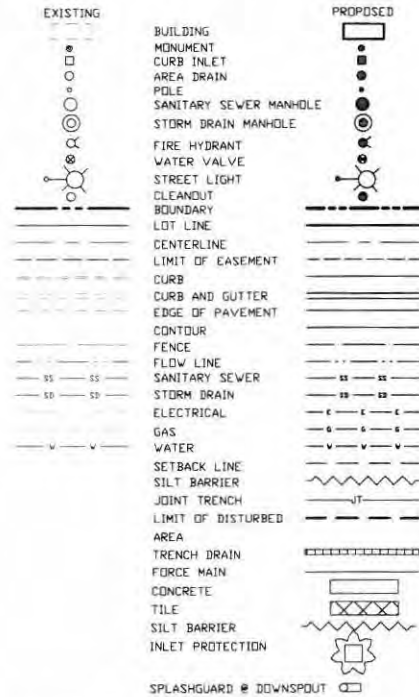
TABULATION OF IRRIGATED AREAS			
UNIT	AREA	AREA	AREA
UNIT 1	G1 AREA A	UNIT 2	G2 AREA A
AREA A	7 SQ. FT.	AREA A	46 SQ. FT.
AREA B	31 SQ. FT.	AREA B	37 SQ. FT.
AREA C	131 SQ. FT.	AREA C	37 SQ. FT.
AREA D	321 SQ. FT.	AREA D	83 SQ. FT.
TOTAL	490 SQ. FT.	TOTAL	151 SQ. FT.
UNIT 3	G3 AREA A	UNIT 4	G4 AREA A
AREA A	46 SQ. FT.	AREA A	131 SQ. FT.
AREA B	37 SQ. FT.	AREA B	35 SQ. FT.
AREA C	37 SQ. FT.	AREA C	135 SQ. FT.
AREA D	83 SQ. FT.	AREA D	18 SQ. FT.
TOTAL	151 SQ. FT.	AREA E	25 SQ. FT.
		AREA F	250 SQ. FT.
		TOTAL	594 SQ. FT.



LEGEND			
PROPERTY LINE	PROPOSED RESIDENCES	EXISTING TREE TO REMAIN	PROPOSED SHRUBS
(E) GRADE CONTOUR LINE	PROPOSED CONCRETE DRIVEWAY	EXISTING TREE TO BE REMOVED	PROPOSED VINES
PROPOSED GRADE CONTOUR LINE	PROPOSED PATIOS	TREE PROTECTION FENCING	PROPOSED GROUND COVER
EXISTING FENCE TO BE REMOVED	PROPOSED HARDSCAPE	PROPOSED PLANTER	-denotes irrigated areas
PROPOSED FENCE		-denotes irrigated areas	PROPOSED TREE
			DROUGHT RESISTANT NATIVE GRASSES



LEGEND



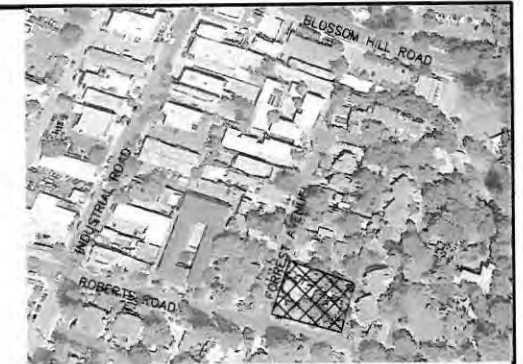
EARTHWORK QUANTITIES

DESCRIPTION	CUT (CY)	FILL (CY)
BUILDING	2482	0
DRIVEWAY	95	41
LANDSCAPE AREA/PATIO	7	78
TOTAL IMPORT	2584	119
EXPORT	2465	0

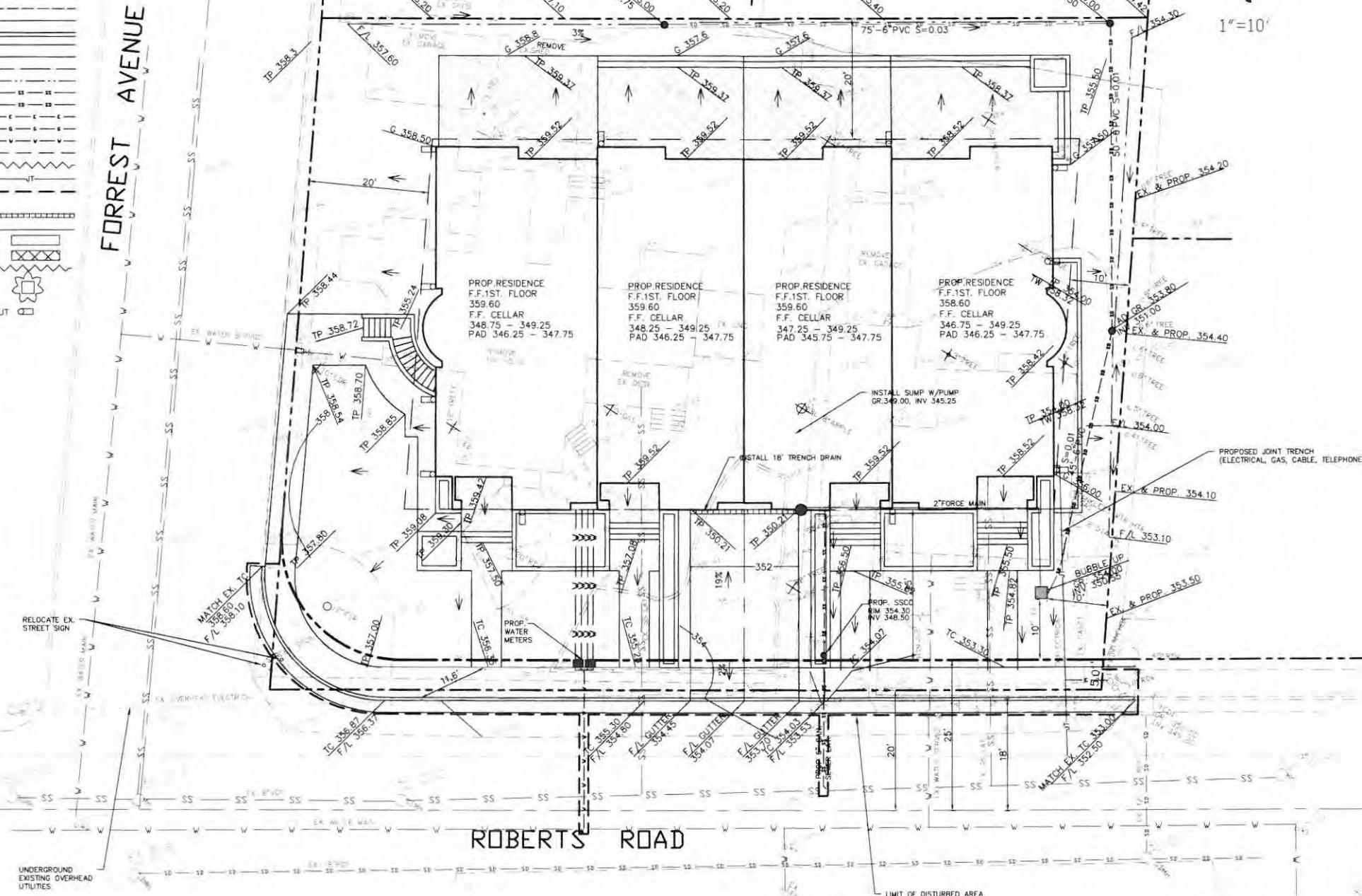
SURFACES (S.F.)

DESCRIPTION	EXISTING	PROPOSED
BUILDINGS	5292	6996
DRIVEWAY AC	995	706
PATIOS, WALKS	417	1868
TOTAL IMPERVIOUS SURFACES	4604	9572
LANDSCAPE	10008	5040
TOTAL PERVIOUS SURFACES	10008	5040
TOTAL SITE AREA	14612	14612

BENCHMARK: LG31 ELEVATION 367.04
SET BRASS DISK IN MONUMENT WELL AT INTERSECTION OF ROBERTS ROAD AND INDUSTRIAL WAY
BOUNDARY IS SHOWN BASED ON RECORD AND LIMITED AND FOUND MONUMENT WITHIN TRACT NO. 6737.
AVERAGE SLOPE IS 1.3%.



VICINITY MAP



- NOTES:
1. ALL NEW, RELOCATED, OR TEMPORARILY REMOVED UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER AND ALL OTHER COMMUNICATIONS LINES SHALL BE INSTALLED UNDERGROUND.
 2. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER TOWN STANDARDS.

NO.	BY	DATE	REVISION	BY	DATE
1	JC	MAY 2017			
2	JC				
3	JC				
4	JC				
5	JC				
6	JC				
7	JC				
8	JC				
9	JC				
10	JC				



WESTFALL ENGINEERS, INC.

14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

PRELIMINARY GRADING AND DRAINAGE PLAN
LOS GATOS CREEKSIDE ESTATES

30 ROBERTS ROAD & 6 FORREST AVENUE
LOS GATOS, CALIFORNIA

JOB NO.	2016-008
SHEET	C1
OF	3

LEGEND

BUILDING	
BOUNDARY	
LOT LINE	
CENTERLINE	
LIMIT OF EASEMENT	
CURB	
CURB AND GUTTER	
EDGE OF PAVEMENT	
CONTOUR	
FENCE	
FLOW LINE	
SANITARY SEWER	
STORM DRAIN	
ELECTRICAL	
GAS	
WATER	
SETBACK LINE	
SILT BARRIER	
JOINT TRENCH	
LIMIT OF DISTURBED AREA	
TRENCH DRAIN	
FORCE MAIN	
CONCRETE	
TILE	
SILT BARRIER	
INLET PROTECTION	
DOWNSPOUT	

FORREST AVENUE

ROBERTS ROAD

BENCHMARK: LG31 ELEVATION 367.04
SET BRASS DISK IN MONUMENT WELL AT INTERSECTION OF ROBERTS ROAD AND INDUSTRIAL WAY
BOUNDARY IS SHOWN BASED ON RECORD AND LIMITED AND FOUND MONUMENT WITHIN TRACT NO. 6737.

1"=10'

NOTES:

INSTALL CONSTRUCTION ENTRANCE PARALLEL WITH ROBERTS ROAD ALONG EXISTING EDGE OF PAVEMENT. LIMIT EXIT PERPENDICULAR TO THE ROAD.

NO.	BY	DATE	REVISION	BY	DATE	DATE: MAY 2017
						SCALE: HOR. 1"=10'
						VERT.
						DESIGNED: JC
						CHECKED: KC
						PROJ. ENGR: JC

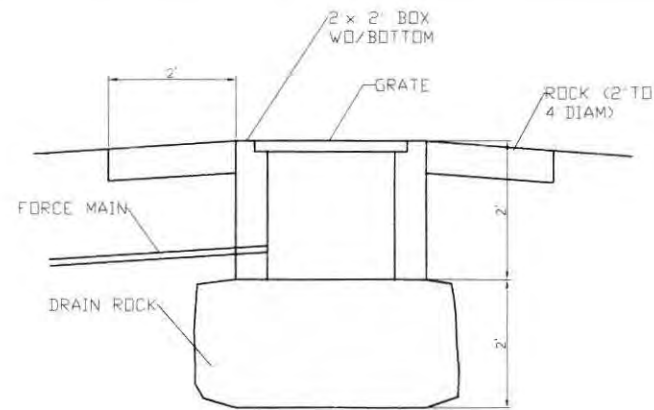
BY: KAREL CYMBAL, RCE 34534
DATE:



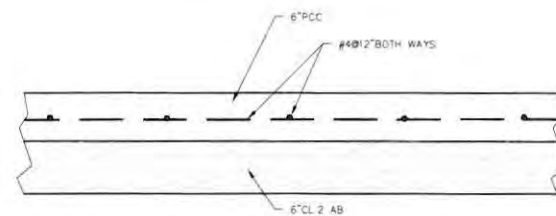
WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

EROSION CONTROL PLAN
LOS GATOS CREEKSIDE ESTATES
30 ROBERTS ROAD & 6 FORREST AVENUE
LOS GATOS, CALIFORNIA

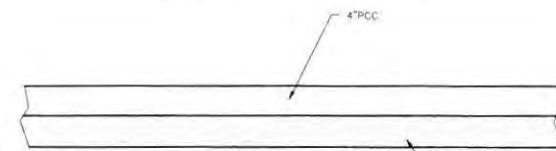
JOB NO.
2016-008
SHEET
C2
OF
3



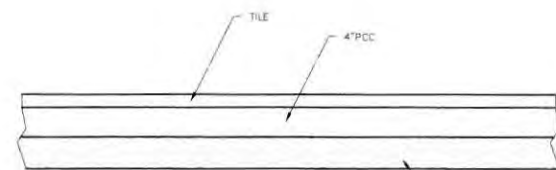
BUBBLE UP
ENERGY DISSIPATOR



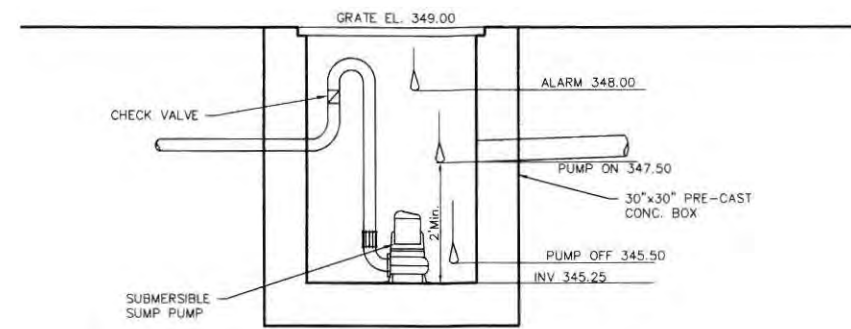
DRIVEWAY SECTION



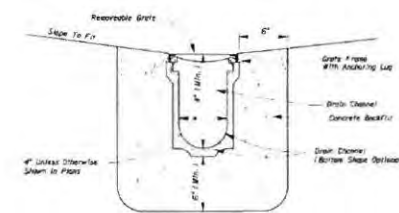
SIDEWALK SECTION



PATIO SECTION



STORM DRAIN SUMP WITH PUMP



TRENCH DRAIN

NO.	BY	DATE	REVISION	BY	DATE	DATE: MAY 2017
						SCALE: HOR. 1"=10'
						VERT.
						DESIGNED: JC
						CHECKED: KC
						PROJ. ENGR: JC

BY: KAREL CYMBAL, RCE 34534
DATE:



WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

DETAILS
LOS GATOS CREEKSIDE ESTATES
30 ROBERTS ROAD & 6 FORREST AVENUE
LOS GATOS, CALIFORNIA

JOB NO.
2016-008
SHEET
C3
OF 3