

## **ORDINANCE 2141**

ORDINANCE OF THE TOWN OF LOS GATOS AMENDING ORDINANCE NO. 1396 AND ORDINANCE NO. 2092 RELATING TO THE DEVELOPMENT OF THE EXISTING COMMERCIAL PORTION OF THE SITE AND AMENDING THE ZONING MAP FROM R-1:8:PD TO RM:5-12 PD FOR THE PROPERTY LOCATED AT 15350 WINCHESTER BLVD.

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS FOLLOWS:

### **SECTION I**

The Town Code of the Town of Los Gatos is hereby amended to change the zoning at 15350 Winchester Blvd as shown on the map which is attached hereto marked Exhibit A and is part of this Ordinance from R-1:8:PD (Single Family Residential, minimum lot size 8,000 square feet, Planned Development) to RM:5-12 PD (Multiple Family Residential, 5 to 12 dwelling units per acre, Planned Development).

### **SECTION II**

The PD (Planned Development Overlay) zone established by this Ordinance authorizes the following construction and use of improvements:

1. Demolition of the existing one story duplex, detached garage and shed.
2. Demolition of the Villa Felice restaurant including administrative offices and support services and the motel.
3. Construction of 28 market rate single family residences and five Below Market Price units.
4. Landscaping, streets, parking, open space and other site improvements shown and required on the Official Development Plan.
5. All other residential uses and improvements listed in Ordinance No. 1396 for the existing Villa Felice Townhouse development are still valid.
6. Uses permitted are those specified in the underlying RM ( Multiple Family Residential) zone by Sections 29.40.610 (Permitted Uses) and 29.20.185 (Conditional Uses) of the Zoning Ordinance, as those sections exist at the time of the adoption of this Ordinance, or as they may be amended in the future, subject to any restrictions or other requirements specified elsewhere in this ordinance including, but not limited to, the Official Development Plan.

However, no use listed in Section 29.20.185 is allowed unless specifically authorized by this Ordinance, or by Conditional Use Permit.

### **SECTION III**

#### **COMPLIANCE WITH OTHER DEVELOPMENT STANDARDS**

All provisions of the Town Code apply, except when the Official Development Plan specifically shows otherwise.

### **SECTION IV**

Architecture and Site Approval is required before the demolition of the duplex and construction work for the new dwelling units, whether or not a permit is required for the work and before any permit for construction is issued. Construction permits shall only be in a manner complying with Section 29.80.130 of the Zoning Ordinance.

### **SECTION V**

The attached Exhibit A (Map) and Exhibit B (Development Plans), are part of the Official Development Plan. The following must be complied with before issuance of any grading, demolition or construction permits:

#### **TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT (Planning Division)**

1. **ARCHITECTURE AND SITE APPROVAL REQUIRED.** The Official Development Plans and this ordinance establish the allowed uses and intensity of development. The Official Development Plans are conceptual in nature such that minor deviations may be approved through the Architecture and Site approval process if necessary to achieve architectural excellence. These deviations may include finished floor elevations, minor grade changes, increase of separation between houses, plate height reductions and other design features which reduce the intensity of the development without impacting the quality of the life for the future residents. The Development Review Committee may be the deciding body of the Architecture and Site applications.
2. **SETBACKS.** The minimum setbacks permitted are documented on the approved Horizontal Control Plan attached as Exhibit B.
3. **HOUSE SIZES.** No additional square footage shall be permitted for any of the units.
4. **TREE REMOVAL PERMIT.** A Tree Removal Permit shall be obtained prior to the issuance of a Building, Grading or Encroachment Permit.
5. **RECYCLING.** All wood, metal, glass and aluminum materials generated from the demolished

structures shall be deposited to a company which will recycle the materials. Receipts from the company(s) accepting these materials, noting type and weight of material, shall be submitted to the Town prior to the Town's demolition inspection.

6. TENTATIVE MAP. The Development Review Committee may be the deciding body of the tentative map.
7. \*EXISTING MASONRY WALL. Existing masonry walls along project boundaries should be maintained at all times during construction to protect all adjacent residents from construction noise. The existing masonry wall along the northern project boundary that is proposed to be replaced either, 1) should be retained until the noisier phases of project construction are complete (ie: grading, paving, house framing, etc) or 2) should be replaced at the commencement of project construction, prior to project grading activities.
8. FENCES. All fencing and walls shall be reviewed during the Architecture and Site approval process.
9. \*CONSULTING ARBORIST. All recommendations identified in the Arborist Report and prepared by Arbor Resources, dated December 17, 2004, and any other supplemental report(s) by the Arborist in relationship to this project, shall be implemented and incorporated during the Architecture and Site approval process and in the final building plans. The applicant shall continue to work with the consultant regarding the grade changes around existing trees prior to Architecture and Site approval.
10. FINAL LANDSCAPE PLAN. The Town's Consulting Arborist shall review the final plans during the Architecture and Site approval process. At that time, the arborist shall determine the required tree protection measures and the proposed tree removal mitigation which shall be incorporated in the final building plans.
11. ADDITIONAL TREES. To mitigate the removal of the Monterey Pine trees along the southern property boundary, 15 -36 inch box trees and five 48 to 86 inch box trees shall be planted in the backyards of Lots 1 through 12. Twelve additional 36 inch box trees shall be planted along the northern property line. The applicant shall work with the adjacent homeowner associations to determine the tree specie(s). These trees shall be included in the final landscape plan.
12. GENERAL. All existing trees shown to remain on the plan and newly planted trees are specific subjects of approval of this plan and must remain on site.
13. NEW TREES. The new trees to be planted shall be double-staked, using rubber tree ties and shall be planted prior to occupancy.
14. \*RAPTORS. If it is not possible to schedule construction between September and January, the project applicant shall be required to conduct a pre-construction survey for nesting raptors by a qualified ornithologist in order to ensure that no raptor nests will be disturbed during project construction. This survey will be conducted no more than 15 days prior to the initiation of construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to the initiation of these activities during the late part of the breeding season (May through August). During this survey, the ornithologist will inspect all trees in and immediately adjacent to the impact areas for raptor nests. If an active raptor nest is found close enough to the construction area to be disturbed by these activities, the ornithologist, in consultation with CDFG, will determine the extent of a construction-free buffer zone to be established around the nest.
15. NEIGHBORHOOD SIGN. A neighborhood identification sign is permitted and shall be reviewed during the Architecture and Site approval process.
16. SHARED DRIVEWAYS. Small scale residential no driveway parking signs shall be installed where there are shared driveways. These signs and placement will be reviewed during the Architecture and Site approval process and shall be installed prior to final occupancy of those units.

17. BMP UNITS. The developer shall work with the Director of Community Services during the Architecture and Site approval process to make the required arrangements for the BMP units. The BMP units must receive approved building permits prior to the issuance of the building permit for the 28<sup>th</sup> market rate unit. The BMP contract shall be completed prior to issuance of a building permit.
18. DEED RESTRICTION. Prior to issuance of a building permit, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's office, stating that the required BMP units must be sold as a below market priced unit pursuant to the Town's BMP regulations.
19. SOLAR. During the Architecture and Site approval process, all new residences, to the extent feasible, shall be designed to take full advantage of passive solar opportunities.
20. WINDOWS. All second story windows with a north orientation along the northern property line (lots 17 through 21), shall be recessed high clerestory windows. All first and second story windows along a side elevation which immediately abuts a yard of a neighboring property, shall be recessed high clerestory windows or frosted to allow for privacy. These windows shall be further reviewed during the Architecture and Site approval process.
21. ADDITIONAL UNIT. One additional unit may be permitted if the applicant and the adjacent Villa Felice Townhouse development agree to eliminate the existing parking easement. The addition of this unit will require a minor amendment to the Planned Development and Architecture and Site approval, both of which may be approved by the Development Review Committee. Additional environmental review may be required for this unit.
22. GATE CONNECTIONS. During the Architecture and Site process, the applicant shall explore the possibility of providing gate connections to the northern and southern neighborhoods. The applicant shall meet with and receive input from these neighborhoods regarding the connections.
23. HOUSE SIZES. No additional square footage shall be permitted for any of the units except for cellars if approved during the initial Architecture and Site approval process.
24. PARKING. During the Tentative Map/Architecture and Site process, the applicant shall explore the possibility of adding "pocket" visitor parking spaces. These spaces shall not impact the proposed ambiance of the main roadway the ambiance of a living unit nor shall it impact pedestrian circulation.

***(Building Division)***

25. \*CULTURAL RESOURCES. In the event that archaeological traces are encountered, all construction within a 50-meter radius of the find will be halted, the Community Development Director will be notified, and an archaeologist will be retained to examine the find and make appropriate recommendations.
26. \*REMAINS. If human remains are discovered, the Santa Clara County Coroner will be notified. The Coroner will determine whether or not the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he will notify the Native American Heritage Commission, who will attempt to identify descendants of the deceased Native Americans.
27. \*REPORT. If the Community Development Director finds that the archaeological find is not a significant resource, work will resume only after the submittal of a preliminary archaeological report and after provisions for reburial and ongoing monitoring are accepted. Provisions for identifying descendants of a deceased Native American and for reburial will follow the protocol set forth in Appendix K of the CEQA Guidelines. If the site is found to be a significant archaeological site, a mitigation program will be prepared and submitted to the Community Development Director for

consideration and approval, in conformance with the protocol set forth in Section 15064.5 of the CEQA Guidelines.

28. \*FINAL REPORT. A final report will be prepared when a find is determined to be a significant archaeological site, and/or when Native American remains are found on the site. The final report will include background information on the completed work, a description and list of identified resources, the disposition and curation of these resources, any testing, other recovered information, and conclusions.
29. PERMITS REQUIRED: A building permit shall be required for demolition of existing structures and the construction of the new residences. Separate building permits are required for site retaining walls; separate electrical, mechanical, and plumbing permits shall be required as necessary.
30. CONDITIONS OF APPROVAL: The Conditions of Approval for the Architecture and Site applications must be blue-lined in full on the cover sheet of the construction plans.
31. SIZE OF PLANS: Four sets of construction plans, maximum size 24" x 36."
32. DEMOLITION REQUIREMENTS: Obtain a Building Department Application and a Bay Area Air Quality Management Application from the Building Service Counter. Once the demolition form has been completed and all signatures obtained, return the completed form to the Building Service Counter with the J# Certificate, three (3) sets of site plans to include all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
33. \*GREASE TRAP. The abandoned grease trap and affected surrounding soils shall be removed as part of the demolition process.
34. \*LEAD-BASED PAINT. Lead-based paint should be handled in compliance with federal and state OSHA requirements as described in the lead survey report.
35. STREET NAMES & HOUSE NUMBERS: The developer shall submit requests for new street names and/or house numbers from the Office of the Town clerk prior to the building permit application process.
36. SOILS REPORT: A soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the building permit application. This report shall be prepared by a licensed civil engineer specializing in soils mechanics. ALTERNATE: Design the foundation for an allowable soils 1,000 psf design pressure. (Uniform Building Code Volume 2 - Section 1805)
37. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report; and, the building pad elevation, on-site retaining wall locations and elevations are prepared according to approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items:
  - a. Building pad elevation
  - b. Finish floor elevation
  - c. Foundation corner locations
38. RESIDENTIAL TOWN ACCESSIBILITY STANDARDS: The residences shall be designed with adaptability features for single family residences per Town Resolution 1994-61:
  - a. Wooden backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers and bathtubs located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars.
  - b. All passage doors shall be at least 32 inches wide on the accessible floor.

- c. Primary entrance shall have a 36-inch wide door including a 5' x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level with an 18-inch clearance.
  - d. Door buzzer, bell or chime shall be hard wired at primary entrance.
- 39. TITLE 24 ENERGY COMPLIANCE: California Title 24 Energy Compliance forms CF-1R and MF-1R must be blue-lined on the plans.
- 40. TOWN FIREPLACE STANDARDS: New wood burning fireplaces shall be an EPA Phase II approved appliance as per Town Ordinance 1905. Tree limbs shall be cut within 10-feet of chimneys.
- 41. SPECIAL INSPECTIONS: When a special inspection is required by UBC Section 1701, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permit. The Town Special Inspection form must be completely filled-out, signed by all requested parties and be blue-lined on the construction plans. Special Inspection forms are available from the Building Division Service Counter or online at [www.losgatosca.gov](http://www.losgatosca.gov).
- 42. NONPOINT SOURCE POLLUTION STANDARDS: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at San Jose Blue Print.
- 43. PLANS: The construction plans shall be prepared under the direct supervision of a licensed architect or engineer. (Business and Professionals Code Section 5538)
- 44. APPROVALS REQUIRED: The project requires the following agencies approval before issuing a building permit:
  - a. Community Development: Sandy Baily at 354-6873
  - b. Engineering Department: Fletcher Parsons at 395-3460
  - c. Parks & Public Works Department: (408) 399-5777
  - d. Santa Clara County Fire Department: (408) 378-4010
  - e. West Valley Sanitation District: (408) 378-2407
  - f. Local School District: (Contact the Town Building Service Counter for the appropriate school district and to obtain the school form.)
  - g. Bay Area Air Quality Management District: (415) 771-6000

**TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS**  
***(Engineering Division)***

- 45. NPDES MAINTENANCE COVENANT. The homeowner's association shall enter into a maintenance covenant with the Town for maintenance of the stormwater filtration device. The covenant will specify that certain routine maintenance shall be performed by the homeowner's association and will specify maintenance reporting requirements. The covenant shall be recorded prior to release of the first occupancy permit.
- 46. ABOVE GROUND UTILITY LAYOUT. The applicant shall submit a 75-percent progress printing to the Town for review of above ground utilities including backflow prevention devices, fire department connections, gas and water meters, off-street valve boxes, hydrants, site lighting, electrical/communication/cable boxes, transformers, and mail boxes. Above ground utilities shall be reviewed and approved by the Community Development Department prior to issuance of the grading permit.

47. JOINT TRENCH PLANS. Joint trench plans shall be reviewed and approved by the Town prior to issuance of the grading permit.
48. PUBLIC IMPROVEMENT SECURITY. The applicant shall supply suitable securities for all public improvements that are a part of the development in a form acceptable to the Town in the amount of 100% (performance) and 100% (labor and material) prior to recordation of the final map. Applicant shall provide two (2) copies of documents verifying the cost of the public improvements to the satisfaction of the Engineering Division of the Parks and Public Works Department.
49. PUBLIC IMPROVEMENTS. The following improvements shall be installed by the developer. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, and guaranteed by contract, Faithful Performance Security and Labor & Materials Security before the issuance of a building permit or the recordation of a map. The improvements must be completed and accepted by the Town prior to release of the final three Certificates of Occupancy.
  - a. Winchester Boulevard Sidewalk. The pedestrian travel path at the project entrance shall be modified to comply with ADA cross-slope requirements. This may require realignment of the public sidewalk as well.
  - b. Private Fire Service. The FDC and valve boxes associated with the private fire service shall be removed under the demolition permit. The curved portion of walk in the vicinity of the valve boxes shall be removed and replaced in a straight alignment prior to acceptance of the public improvements.
50. GRADING PERMIT. A grading permit is required for site grading and drainage. The grading permit application (with grading plans) shall be made to the Engineering Division of the Parks & Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location, driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). A separate building permit, issued by the Building Department on E. Main Street is needed for grading within the building footprint.
51. PRECONSTRUCTION MEETING. Prior to issuance of a grading or demolition permit or the commencement of any site work, the general contractor shall:
  - a. Along with the project applicant, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
  - b. Acknowledge in writing that they have read and understand the project conditions of approval, and will make certain that all project sub-contractors have read and understand them prior to commencing work and that a copy of the project conditions of approval will be posted on site at all times during construction.
52. RETAINING WALLS. A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
53. SOILS REPORT. One copy of the soils report shall be submitted with the grading permit application. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.

54. SOILS REVIEW. Prior to issuance of any permit, the applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. The applicant's soils engineer's approval shall then be conveyed to the Town either by letter or by signing the plans.
55. SOILS ENGINEER CONSTRUCTION OBSERVATION. During construction, all excavations and grading shall be inspected by the applicant's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report, and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing should be documented in an "as-built" letter/report prepared by the applicants soils engineer and submitted to the Town before final release of any occupancy permit is granted.
56. \*GEOTECHNICAL RECOMMENDATIONS. The geotechnical recommendations presented in the report titled "Geotechnical Report, Villa Felice Residential, 15350 Winchester Blvd, Los Gatos, CA" shall be incorporated into the final design.
57. FINAL MAP. A final map shall be recorded. Two copies of the final map shall be submitted to the Engineering Division of the Parks & Public Works Department for review and approval. Submittal shall include closure calculations, title reports and appropriate fee. The map shall be recorded before grading or building permits are issued.
58. FINAL CC&R'S. Final CC&R's shall be approved by the Town Attorney prior to recordation of the final map. The CC&R's shall include provisions for road improvements, vehicle parking enforcement procedures and the use and restrictions for the side yard easements.
59. EXISTING EASEMENTS. Existing easements shall be abandoned concurrently with recordation of the final map.
60. PRIVATE EASEMENTS. Agreements detailing rights, limitations, and responsibilities of involved parties shall accompany each private easement. The easements and associated agreements shall be recorded simultaneously with the final map.
61. UTILITY COMPANY REVIEW. Letters from the electric, telephone, cable, and trash companies indicating that the proposed improvements and easements are acceptable shall be provided prior to recordation of the final map.
62. DEMOLITION. Existing buildings shall be demolished prior to recordation of the final map.
63. PRIVATE EASEMENTS. Agreements detailing rights, limitations, and responsibilities of involved parties shall accompany each private easement. The easements and associated agreements shall be recorded simultaneously with the final map.
64. SIDEWALK/CURB IN-LIEU FEE. A curb and sidewalk in-lieu fee of \$13,275 shall be paid prior to Map recordation. This fee is based on 295-feet of 4.5-foot wide sidewalk at \$10/SF in accordance with Town policy and as specified in the Town FY2004-05 Comprehensive Fee Schedule. This measurement corresponds to the University Avenue property frontage.
65. PRIVATE SIDEWALK. The on-site private sidewalk shall be connected to the public sidewalk on Winchester Boulevard.
66. PUBLIC SIDEWALK. The public sidewalk in the vicinity of the project entrance shall be modified to comply with ADA cross-slope requirements.
67. DESIGN CHANGES. The applicant's registered engineer shall notify the Town Engineer, in writing, at least 72 hours in advance of all differences between the proposed work and the design indicated on the plans. Any proposed changes shall be subject to the approval of the Town before altered work is started. Any approved changes shall be incorporated into the final "as-built" drawings.



68. INSURANCE. One million dollars (\$1,000,000) of liability insurance holding the Town harmless shall be provided in a format acceptable to the Town Attorney before recordation of the map.
69. PLAN CHECK FEES. Plan check fees shall be deposited with the Town prior to submittal of plans to the Engineering Division of the Parks and Public Works Department.
70. INSPECTION FEES. Inspection fees shall be deposited with the Town prior to issuance of any Permit or recordation of the Final Map.
71. TREE REMOVAL. Copies of all necessary tree removal permits shall be provided prior to issuance of a demolition permit.
72. GENERAL. All public improvements shall be made according to the latest adopted Town Standard Drawings and the Town Standard Specifications. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
73. ENCROACHMENT PERMIT. All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security.
74. PUBLIC WORKS INSPECTIONS. The developer or his representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in rejection of work that went on without inspection.
75. SURVEYING CONTROLS. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
  - a. Retaining wall--top of wall elevations and locations
  - b. Toe and top of cut and fill slopes
76. NEIGHBOR ACCESS. Access to neighboring properties shall be maintained at all times during construction.
77. EROSION CONTROL. Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks & Public Works Department. A Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the San Francisco Bay Regional Water Quality Control Board for projects disturbing more than one acre. A maximum of two weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The grading, drainage, erosion control plans and SWPPP shall be in compliance with applicable measures contained in the amended provisions C.3 and C.14 of Order 01-024 of the amended Santa Clara County NPDES Permit.
78. DUST CONTROL. Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three times daily, or apply (non-toxic) soil stabilizers on

all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets will be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed 25 MPH. All trucks hauling soil, sand, or other loose debris shall be covered.

79. \*DUST CONTROL (SITES > 4 ACRES). The following measures shall be implemented at construction sites greater than four acres in area:
- a. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
  - b. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.)
  - c. Limit traffic speeds on unpaved roads to 15 mph.
  - d. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
  - e. Replant vegetation in disturbed areas as quickly as possible.
80. CONSTRUCTION MANAGEMENT PLAN. The applicant shall submit a construction management plan that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, construction trailer, and proposed outhouse locations.
81. CONSTRUCTION STREET PARKING. No vehicle having a manufacturer's rated gross vehicle weight exceeding ten thousand (10,000) pounds shall be allowed to park on the portion of a street which abuts property in a residential zone without prior approval from the Town Engineer (§ 15.40.070).
82. SITE DRAINAGE. Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed.
83. NONPOINT SOURCE POLLUTION PREVENTION. Stormwater treatment measures shall be certified in accordance with C3 requirements. On-site drainage systems shall include filtration devices such as a bio-swales, sediment basins and/or permeable pavement. Infiltration trenches shall be provided along the private street system. Filtration systems shall satisfy C.3 numeric sizing criteria.
84. STORM DRAINAGE. Private storm drain systems shall be designed to accommodate the 10-yr peak storm runoff within the pipe, and the 100-yr peak within the street (between curbs). One-foot minimum freeboard shall be provided between the 100-yr water surface elevation and the adjacent finished floor elevation. The overland release path between the new private street (near Lot 16) and University Avenue shall be "hardened" to accommodate the 100-year event. As an alternative to "hardening" the surface, gallery inlets and underground pipe capable of accommodating the 100-year event may be provided. Surface drainage at Lots 12 through 16 shall be directed towards the new street and away from the top of slope. The overland release path and "hardened" surface and surface drainage for Lots 12 through 16 shall be evaluated as part of the Architecture and Site review.
85. SILT AND MUD IN PUBLIC RIGHT-OF-WAY. It is the responsibility of contractor and home owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis.

Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.

86. UTILITIES. The developer shall install all utility services, including telephone, electric power and all other communications lines underground, as required by Town Code §27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service.
87. RESTORATION OF PUBLIC IMPROVEMENTS. The developer shall repair or replace all existing improvements not designated for removal that are damaged or removed because of developer's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc. shall be repaired and replaced to a condition equal to or better than the original condition. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
88. FENCING. Any fencing proposed within 200-feet of an intersection shall comply with Town Code Section §23.10.080.
89. AS-BUILT PLANS. After completion of the construction of all work, the original plans shall have all changes (change orders and field changes) clearly marked. The "as-built" plans shall again be signed and "wet-stamped" by the civil engineer who prepared the plans, attesting to the changes. The original "as-built" plans shall be review and approved the Engineering Inspector. A Mylar and AutoCAD disk of the approved "as-built" plans shall be provided to the Town before the Faithful Performance Security or final Occupancy Permit is released. The AutoCAD file shall include only the following information and shall conform to the layer naming convention: a) Building Outline, Layer: BLDG-OUTLINE; b) Driveway, Layer: DRIVEWAY; c) Retaining Wall, Layer: RETAINING WALL; d) Swimming Pool, Layer: SWIMMING-POOL; e) Tennis Court, Layer: TENNIS-COURT; f) Property Line, Layer: PROPERTY-LINE; g) Contours, Layer: NEWCONTOUR. All as-built digital files must be on the same coordinate basis as the Town's survey control network and shall be submitted in AutoCAD version 2000 or higher.
90. SANITARY SEWER LATERAL. Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used or reused. Install a sanitary sewer lateral clean-out at the property line.
91. CONSTRUCTION NOISE. Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
92. \*HAULING OF SOIL. Hauling of soil on or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.). Prior to the issuance of a building permit, the developer shall work with the Town Building and Engineering Department Engineering Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or ff the project site. This may include, but is not limited to provisions for the developer/owner to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control.
93. SITE LIGHTING. Site lighting on the Planned Development drawings is conceptual. Site lighting shall be reviewed during Architecture and Site review. Fixture details, mounting heights, and site

- photo metrics should be included for review in the Architecture and Site application package.
94. PERMIT SEQUENCING. Flexibility in the sequencing of permits as specified in these conditions will be allowed subject to the approval of both the Director of Community Development and the Director of Parks and Public Works. A bond will be required for the demolition work if demolition is allowed to occur subsequent to map recordation.

#### **TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT**

95. PUBLIC FIRE HYDRANTS. Public fire hydrant(s) shall be provided at location(s) to be determined by the Fire Department and the San Jose Water Company. Hydrant(s) shall have a minimum single flow of 1,000 GPM at 20 psi residual, with spacing not to exceed 500 feet. Prior to applying for a building permit, the applicant shall provide civil drawings reflecting all fire hydrants serving the site. To prevent building permit delays, the developer shall pay all required fees to the water company ASAP.
96. HYDRANT LOCATION IDENTIFIER. Prior to project final inspection, the general contractor shall ensure that an approved ("Blue Dot") fire hydrant location identifier has been placed in the roadway, as directed by the Fire Department.
97. TIMING OF REQUIRED WATER SUPPLY HYDRANTS. Installations of required fire service(s) and fire hydrant(s) shall be tested and accepted by the Fire Department, prior to the start of framing or delivery of bulk combustible materials. Building permit issuance may be withheld until required installations are completed, tested and accepted.
98. FIRE ACCESS ROADS. The applicant shall provide access roadways with a paved all weather surface, a minimum unobstructed width of 20 feet, vertical clearance of 13 feet six inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installations shall conform with Fire Department Standard Details and Specifications sheet A-1.
99. FIRE LANE MARKINGS. The applicant shall provide marking for all roadways within the project. Markings shall be per fire department specifications. Installations shall also conform to Local Government Standards and Fire Department Standard Details and Specifications A-6.
100. TIMING OF ROADWAY INSTALLATIONS. Required access roads, up through first lift of asphalt, shall be installed and accepted by the Fire Department prior to the start of construction. Bulk combustible materials shall not be delivered to the site until installation is complete. During construction, emergency access roads shall be maintained clear and unimpeded unless alternative solutions are approved by the Fire Department. Prior to issuance of a building permit, the developer shall contact the Fire Department to discuss their plan for maintaining the emergency access road during construction. Note that building permit issuance may be withheld until installations are completed.
101. PREMISES IDENTIFICATION. Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background.

\*Required as Mitigation Measures

#### **SECTION VI**

In the event that any part of this ordinance is held to be invalid, the invalid part or parts shall be severed from the remaining portions which shall remain in full force and effect.

## SECTION VII

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on March 21, 2005, and adopted by the following vote as an ordinance of the Town of Los Gatos at a meeting of the Town Council of the Town of Los Gatos on April 4, 2005 and takes effect 30 days after it is adopted.

### COUNCIL MEMBERS:

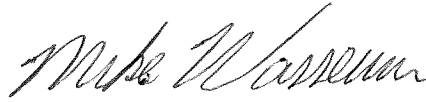
AYES: Steve Glickman, Diane McNutt, Joe Pirzynski, Mayor Mike Wasserman

NAYS: Barbara Spector

ABSENT: None

ABSTAIN: None

SIGNED:

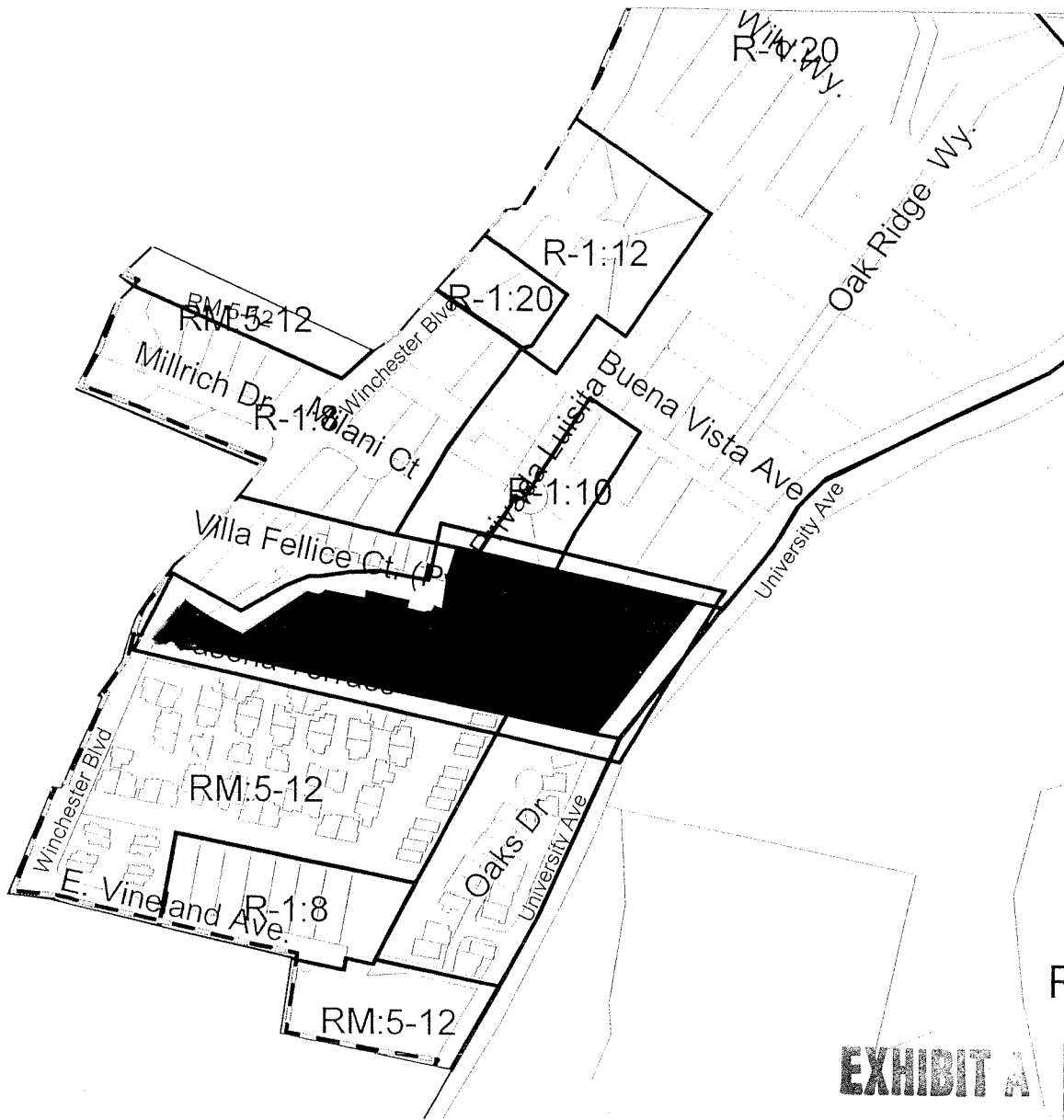


MAYOR OF THE TOWN OF LOS GATOS  
LOS GATOS, CALIFORNIA

ATTEST:

CLERK OF THE TOWN OF LOS GATOS  
LOS GATOS, CALIFORNIA

15350 Winchester Blvd.



# TOWN OF LOS GATOS

Application No. PD-04-5. Change of zoning map  
amending the Town Zoning Ordinance.

☒ Zone Change  
☐ Prezoning

from R-1:8:PD to RM:5-12:PD  
to \_\_\_\_\_

Forwarded by Planning Commission date 2/9/05

Approved by Town Council date 4-4-05 Ord. 2141

Town Clerk Mahlon Krauss Mayor Mike Williams **EXHIBIT A**



**VILLA**  
**FELICE**  
**LOS GATOS, CA**

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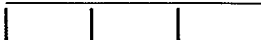
**SANTA CLARA  
DEVELOPMENT**  
An affiliate of Robinson Communities

2185 The Alameda, Ste. 150  
San Jose, CA 95126  
408.345.1767

DATE: 3.30.05

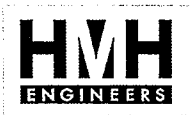
PROJECT #: 03-642

SCALE:



NORTH

SHEET #:



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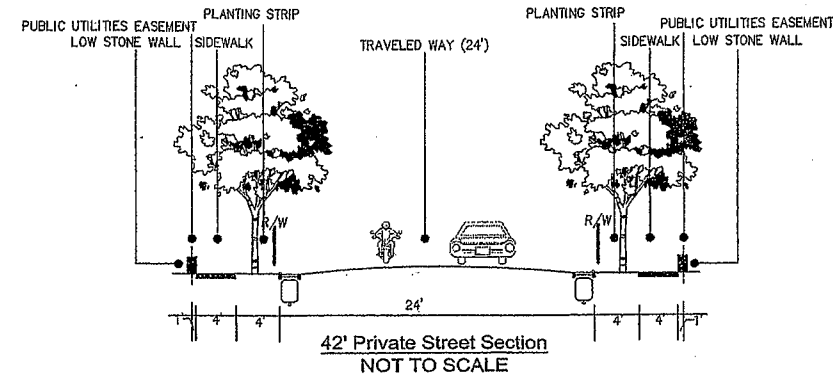


# GENERAL NOTES:

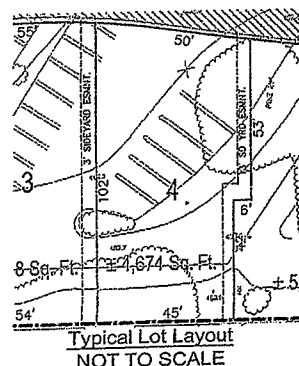
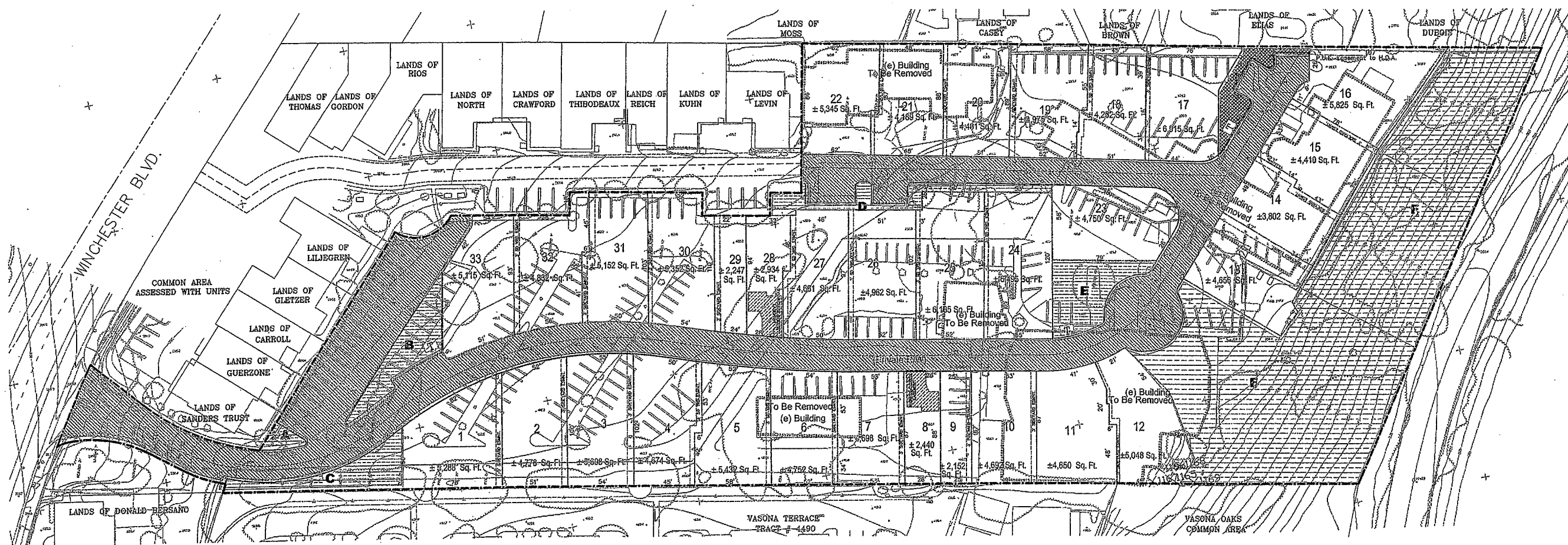
- PROJECT NAME: VILLA FELICE
- OWNERS: DONALD BERSANO  
15350 WINCHESTER BOULEVARD
- SUBDIVIDER: SANTA CLARA DEVELOPMENT COMPANY  
2185 THE ALAMEDA  
SAN JOSE, CA 95126
- ENGINEER: HMH, INCORPORATED  
1570 OAKLAND ROAD, SUITE 200  
SAN JOSE, CA 95131  
(408) 487-2200  
DANNY RAYMOND, RCE #26616
- STREET LOCATION: 15350 WINCHESTER BOULEVARD
- EXISTING ZONING: R-1: B: PD
- EXISTING GP DESIGNATION: LOW DENSITY RESIDENTIAL (5 DU/AC)/ COMMERCIAL
- EXISTING USE: COMMERCIAL/RESIDENTIAL
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL (RM: 5-12: PD)
- WATER SUPPLY: SAN JOSE WATER COMPANY
- SEWAGE DISPOSAL: WEST VALLEY SANITATION DISTRICT
- ASSESSOR'S PARCEL NO.: 424-29-024,025,026
- STREET TREES: SHALL CONFORM TO TOWN OF LOS GATOS STANDARDS
- TOTAL SITE AREA: ±5.9 ACRES (GROSS)
- PROPOSED DEDICATION: ±0.0 ACRES
- NET SITE AREA: ±5.9 NET ACRES
- PROPOSED LOTS: 33
- Provide 2 public fire hydrant(s) at location(s) to be determined by the Fire Department and San Jose Water Company. Hydrant shall have a minimum single flow of 1,000 GPM at 20psi residual, with spacing not to exceed 500 feet. Prior to applying for building permit, provide civil drawings reflecting all fire hydrants serving the site.
- Multiple parcel maps may be filed prior to the expiration of the Tentative Map.

- Prior to project final inspection, the general contractor shall ensure that an approved ("Blue Dot") fire hydrant location identifier has been placed in the roadway, as directed by the fire department.
- Installations of required fire service(s) and fire hydrant(s) shall be tested and accepted by the fire department prior to the start of framing or delivery of bulk combustible materials. Building permit issuance may be withheld until required installations are completed, tested, and accepted.
- If any portion of the structure(s) are greater than 150 feet of travel distance from the centerline of the roadway containing public fire hydrants, an approved residential fire sprinkler system throughout all portions of the building will be required.
- Required access roads, up through first lift of asphalt, shall be installed and accepted by the Fire Department prior to the start of construction. Bulk combustible materials shall not be delivered to the site until installation is complete. During construction, emergency access roads shall be maintained clear and unimpeded. Note that building permit issuance may be withheld until installations are completed.
- Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background.
- Roof rainwater leaders are to be discharged onto energy dissipaters (splash blocks), which are designed to spread out the rain water so that it enters landscape areas as sheet flow. Runoff from the site should not be collected into a pipe system, concentrated and discharged down slope. Control off-site drainage, flowing to the site similarly. No improvements shall obstruct or divert runoff to the detriment of an adjacent, down stream or down slope property. Retaining walls shall include provisions for drainage.
- Final grading plans shall include a complete erosion control plan. Interim erosion control measures to be carried out during construction and before installation of the final landscaping shall be included. Interim erosion control methods should include silt fences or straw bale dikes (with location and details) and the town standard seeding specification.
- Demolition of existing structures to be completed as part of the demolition permit process and prior to the acquisition of final Building Permit Approval.

- Any existing sanitary sewer lateral proposed to be reused must be televised by West Valley Sanitation District and approved by the Town before reuse. A sanitary lateral clean-out shall be installed at the property line, if one does not already exist within two (2) feet of the property line. Any trenching with the dripline of all trees shall be hand dug and so noted on the plans. All utilities serving the site shall be underground.
- Street lights will be installed per the requirements of the Town of Los Gatos, Director of Public Works.
- Project frontage on Winchester Boulevard will be improved as required by the Town Los Gatos Director of Public Works.
- The Ingress & Egress and Emergency Access Easement 18' Wide (I&E, EAE & PIEE) as shown upon that certain Parcel Map recorded April 5th, 1982 in Book 498 of Maps at Pages 23 and 24, Santa Clara County and that certain Parcel Map recorded December 23rd, 2002 in Book 756 of Maps at Pages 54 and 55, Santa Clara County, and which easements lie within the boundary of herein map but which easements are not shown hereon, are now abandoned pursuant to Government Section 66499.20 1/2.

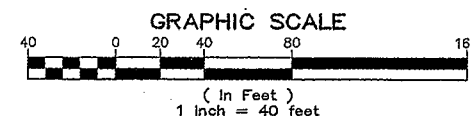


LOCATION MAP  
N.T.S.



## LEGEND

|  |                  |  |                                 |  |                                 |
|--|------------------|--|---------------------------------|--|---------------------------------|
|  | Project Boundary |  | Common Lots                     |  | Landscape, and P.U.E. Easements |
|  | Lot Line         |  | Electrical Transformer Easement |  | Existing Building               |
|  | Center Line      |  |                                 |  |                                 |
|  | Easements        |  |                                 |  |                                 |
|  | Fill/Cut         |  |                                 |  |                                 |
|  | Right of Way     |  |                                 |  |                                 |
|  |                  |  | Ingress/Egress Eastment         |  |                                 |



Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030



2185 The Alameda  
San Jose, CA 95126  
408.345.1767

REVISION:  
REVISION:  
DRAWING NAME:

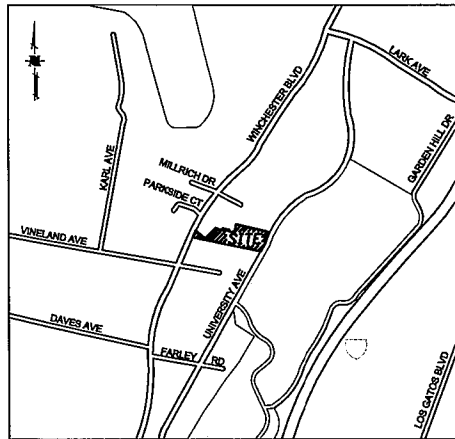
SCALE 1" = 40'

NORTH  
SHEET # C-1  
DATE: Jan. 10, 2005

TENTATIVE MAP







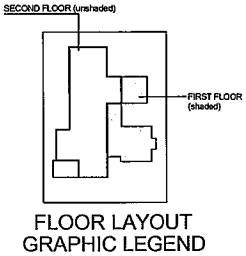
LOCATION MAP  
N.T.S.

Project Information

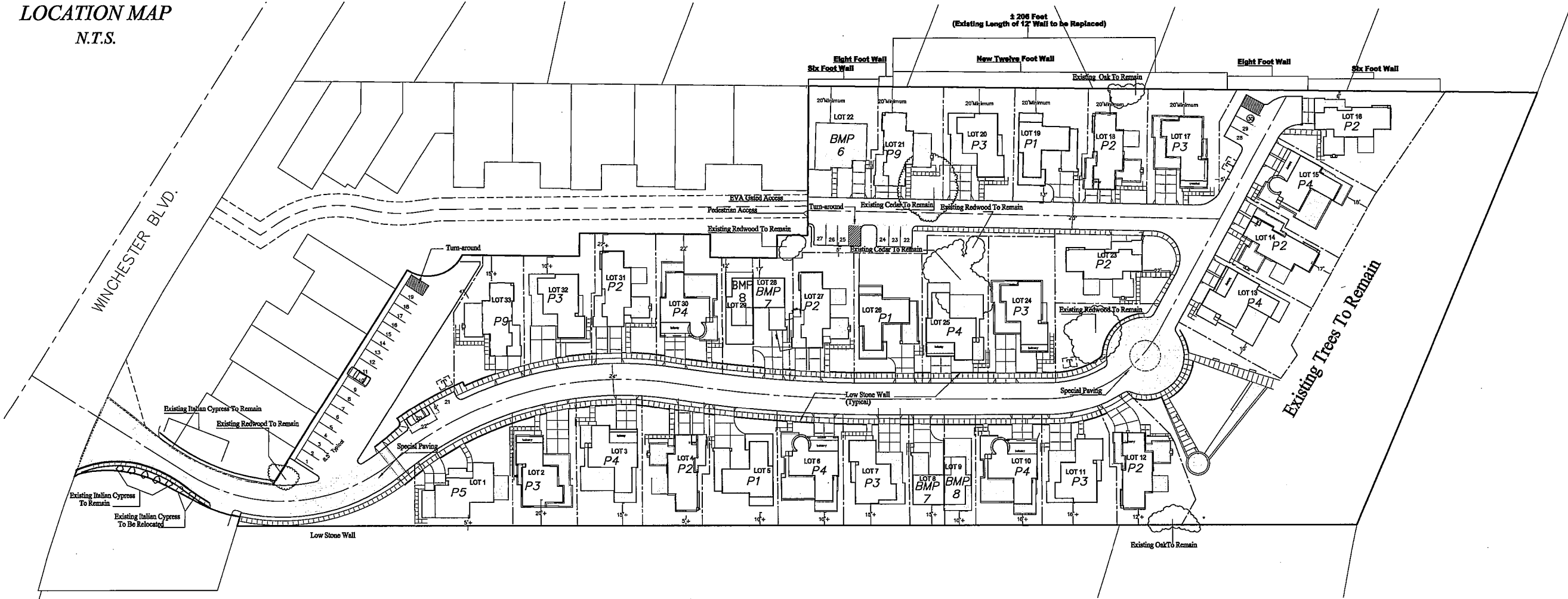
| Site Area                                |                     |
|--|---------------------|
| Gross Area                               | 5.91 Acres          |
| Gross Floor Area Total                   |                     |
| Livable Gross First Floor Area           | ±41,933 Square Feet |
| Livable Gross Second Floor Area          | ±34,895 Square Feet |
| Garage Gross Floor Area                  | ±14,060 Square Feet |
| Floor Area Ratio                         |                     |
| Lot Area Coverage                        | 23%                 |
| Parking Spaces                           |                     |
| TOTAL 125 Spaces -( 30 Visitor Parking)  |                     |
| 34 Apron Parking Spaces,61 Garage Spaces |                     |

Project Information

| Impervious Surface Calculations                     |                             |
|---|-----------------------------|
| Existing Impervious Surface<br>(percentage of area) | ±207,443 Square Feet<br>81% |
| Proposed Impervious Surface<br>(percentage of area) | ±154,953 Square Feet<br>60% |
| Open Space Calculations                             |                             |
| Open Space Area Total                               | ±102,486 Square Feet        |
| Common Open Space Area                              | ±55,722 Square Feet         |
| Private Open Space Area                             | ±46,764 Square Feet         |
| Total Percentage of Open Space                      |                             |
| 40%   |                             |



33 Proposed Dwelling Units

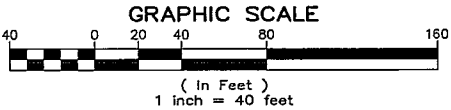


LEGEND

|       |                        |
|-------|------------------------|
| ----- | Project Boundary       |
| ----- | Lot Line               |
| ----- | Low Stone Wall         |
| ----- | Fence Line             |
| ----- | Center Line            |
| ----- | Special Paving Surface |

General Information

| SETBACKS: (minimum)      |                                |
|--------------------------|--------------------------------|
| Front Setback:           | 10'                            |
| Side Setback (interior): | 3'                             |
| Side Setback (corner):   | 5'                             |
| Rear Setback             | 5'                             |
| DRIVEWAYS:               |                                |
| Drive Lengths:           | 12' or less and 18' or greater |
| Drive Widths:            | 8' or greater                  |
| AREA CALCULATIONS:       |                                |
| Private Street           | ±43,889 square feet            |
| Sidewalks/Paths          | ±8,034 square feet             |
| Parking Areas            | ±10,221 square feet            |



VILLA  
FELICE

Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030

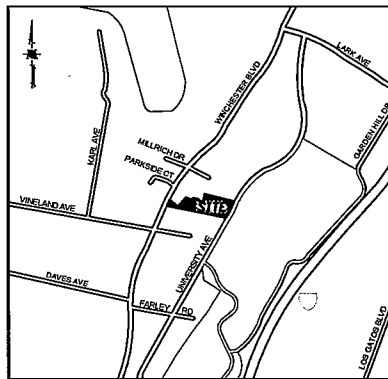


2185 The Alameda  
San Jose, CA 95126  
408.345.1767

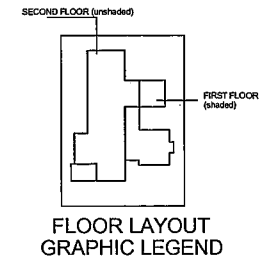
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| REVISION:     |                |
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| SCALE         | 1"=40'         |
| NORTH         |                |
| SHEET #:      | C-2            |
| DATE:         | MARCH 14, 2005 |

CONCEPTUAL SITE  
PLAN

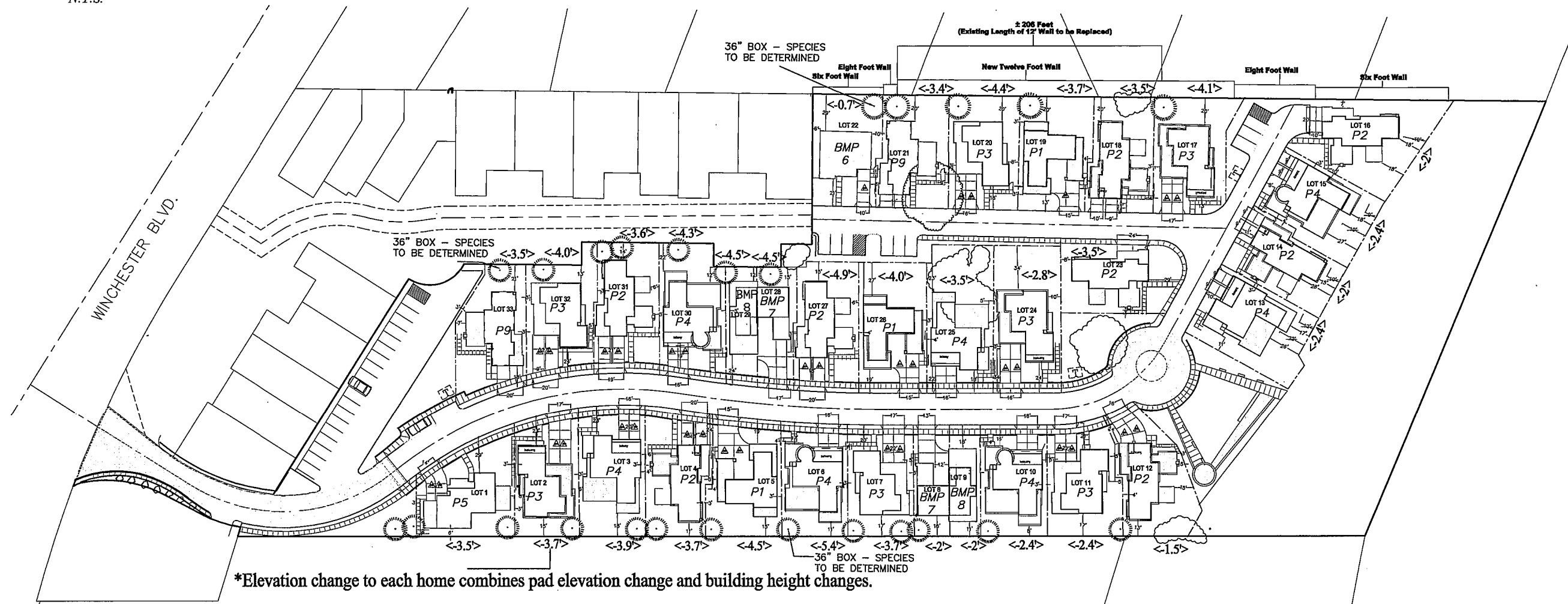




LOCATION MAP  
N.T.S.



Proposed Dwelling Units  
33 Dwelling Units

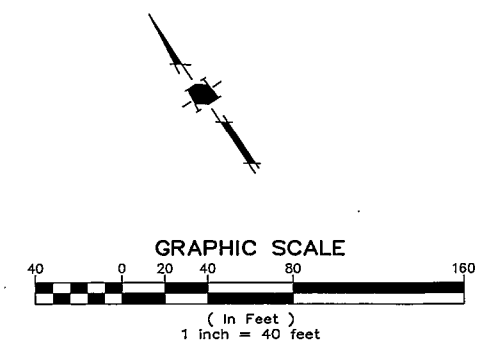


\*Elevation change to each home combines pad elevation change and building height changes.

CHANGES MADE TO PREVIOUS SITE PLAN ARE SHOWN IN BLUE.  
Trees shown in blue are in a 36" box. Species to be determined

# LEGEND

- Project Boundary
- Lot Line
- Parking



# VILLA FELICE

Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030



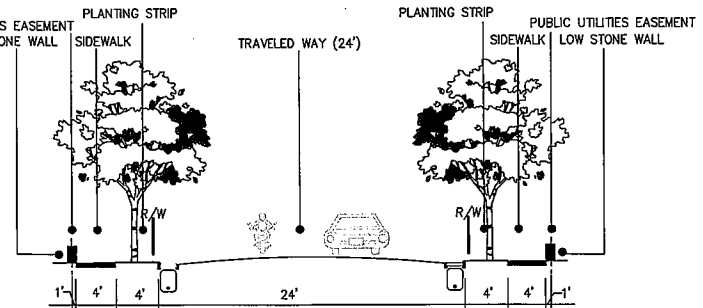
2185 The Alameda  
San Jose, CA 95126  
408.345.1767

|               |                |
|---------------|----------------|
| REVISION:     |                |
| REVISION:     |                |
| DRAWING NAME: |                |
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| NORTH:        |                |
| SHEET #:      | C-2A           |
| DATE:         | MARCH 14, 2005 |

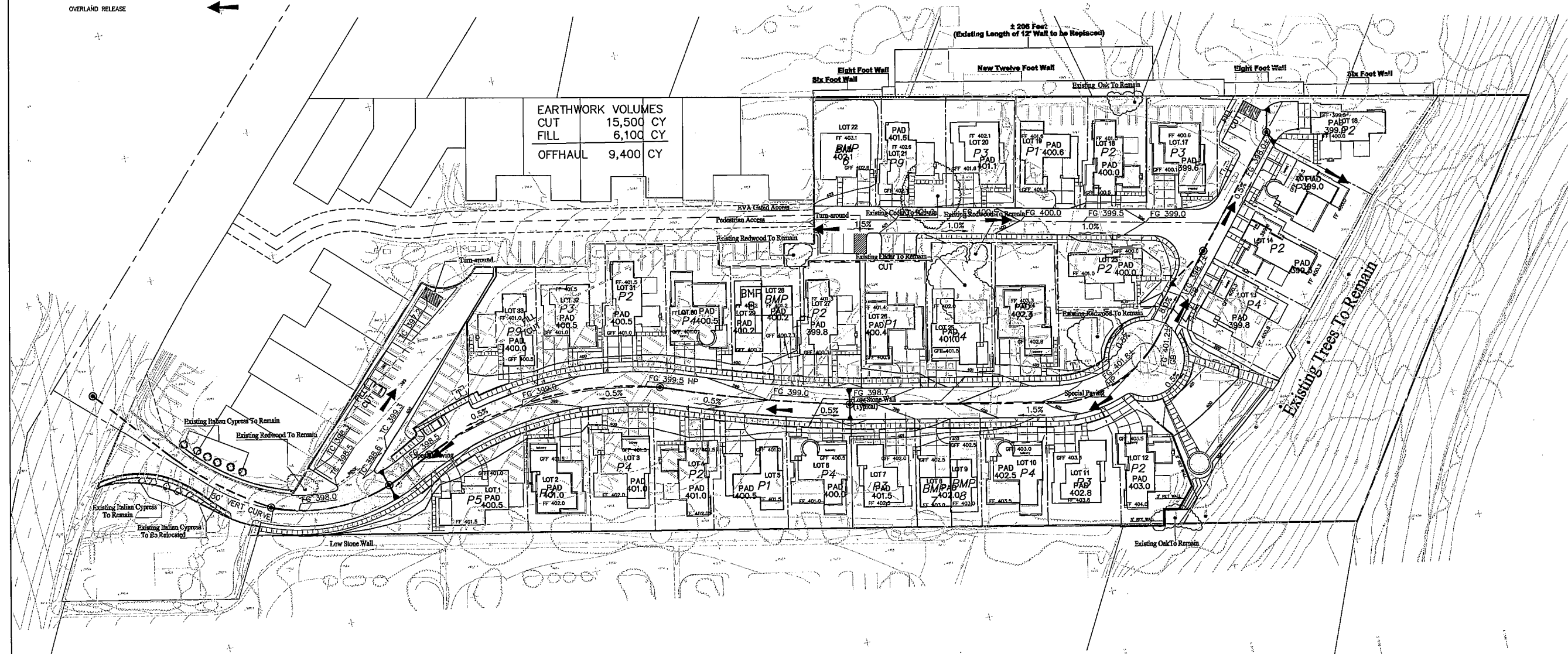
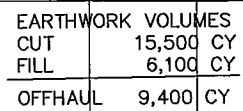
## HORIZONTAL CONTROL PLAN



The image displays two columns of symbols. The left column, titled 'TO BE CONST.', contains 10 symbols: a dashed line, a solid line, a dashed line with a dot, a solid line with a dot, a dashed line with a triangle, a solid line with a triangle, a dashed line with a circle, a solid line with a circle, a dashed line with a square, and a solid line with a square. The right column, titled 'EXISTING', contains 10 symbols: a dashed line, a solid line, a dashed line with a dot, a solid line with a dot, a dashed line with a triangle, a solid line with a triangle, a dashed line with a circle, a solid line with a circle, a dashed line with a square, and a solid line with a square. Below the symbols is a small table with two columns: 'TO BE CONST.' and 'EXISTING'. The first row shows a dashed line and a solid line. The second row shows a dashed line with a dot and a solid line with a dot. The third row shows a dashed line with a triangle and a solid line with a triangle. The fourth row shows a dashed line with a circle and a solid line with a circle. The fifth row shows a dashed line with a square and a solid line with a square.



**42' Private Street Section**  
**NOT TO SCALE**



Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030



**SANTA CLARA  
DEVELOPMENT**  
*An affiliate of Ribco Communities*

2185 The Alameda  
San Jose, CA 95126  
408.345.1767

REVISION: \_\_\_\_\_

REVISION: \_\_\_\_\_

DRAWING NAME: \_\_\_\_\_

SCALE: 1" = 40'



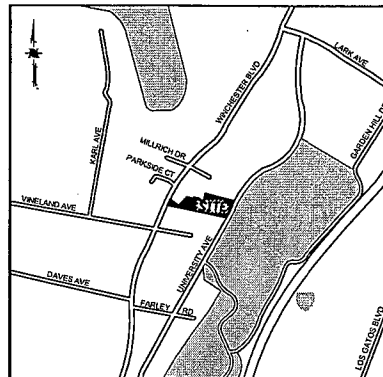
NORTH

SHEET #: C-3

DATE: March 14, 2005

# PRELIMINARY GRADING PLAN

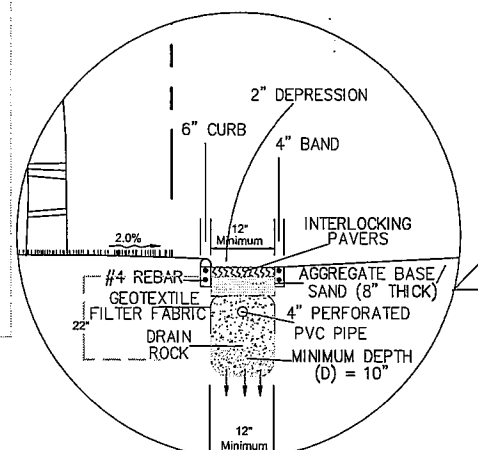
SWA  
Group



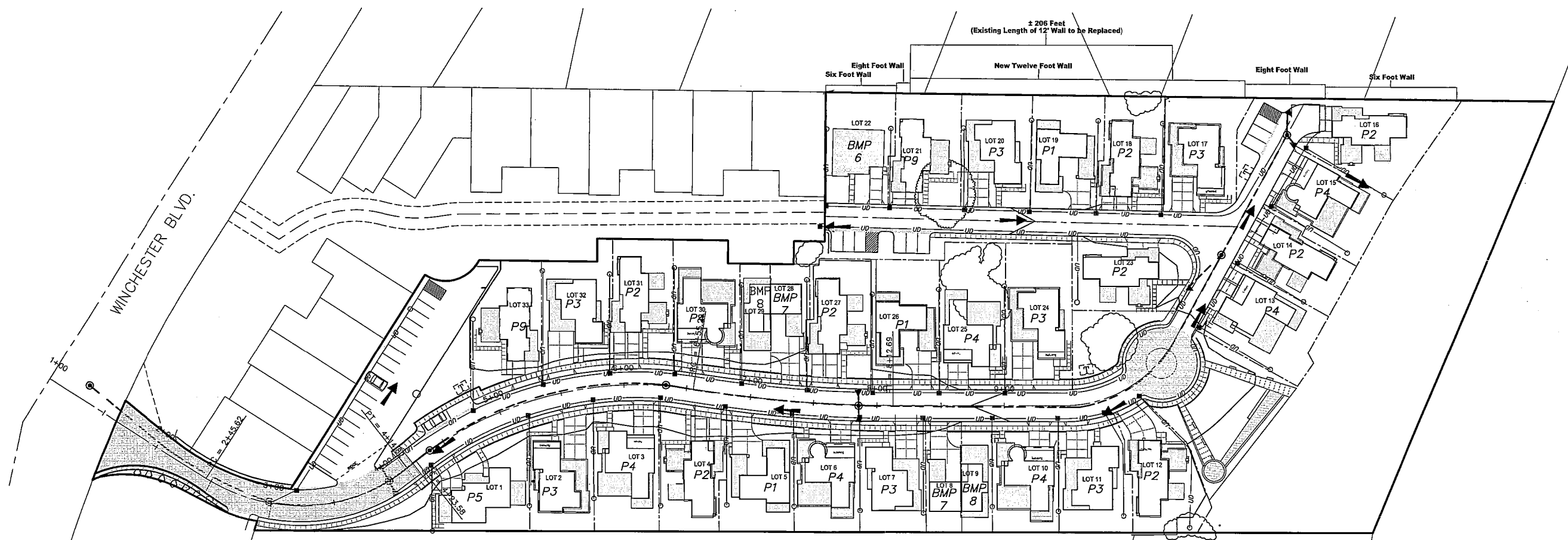
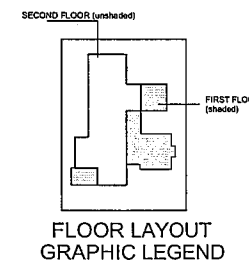
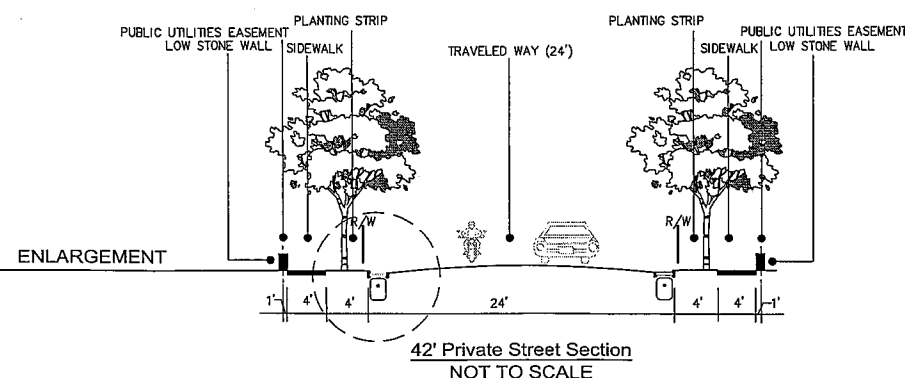
LOCATION MAP  
N.T.S.

#### SIZING CALCULATIONS:

Flow Rate ( Design Storm) -  $0.2"/hr = 0.0167/hr$   
 Tributary Width - 20'  
 $Volume = (0.0167/hr)(20')/(0.4) = 0.833 \text{ Cf/Lf/Hr}$   
 Trench Width = 1'  
 $Trench \text{ Volume} = (L)(D)(W) = 0.833 \text{ Cf}$   
 $0.833 \text{ Cf} / (L)(W) = D = 0.83' = 10"$

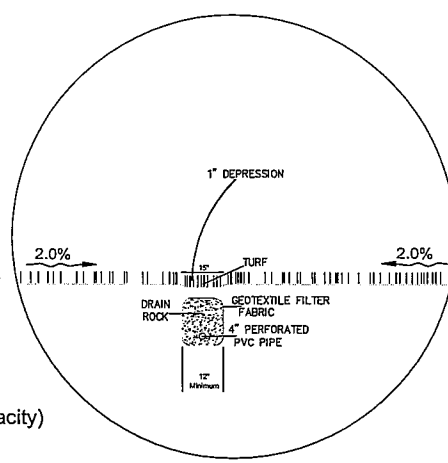


STREET AND DRIVEWAY SWALE

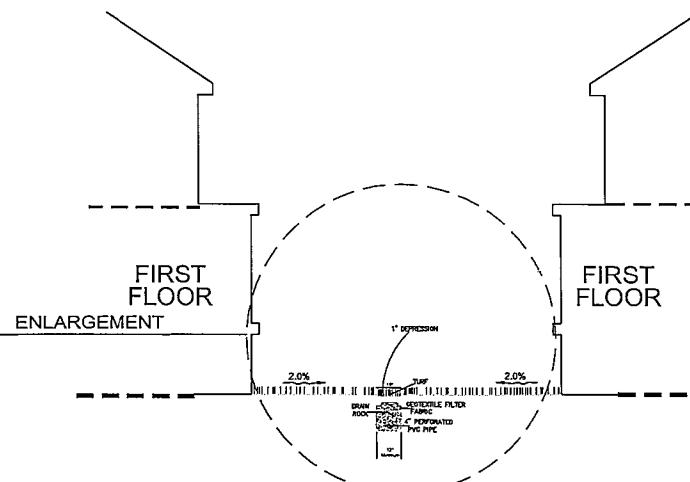


#### LEGEND

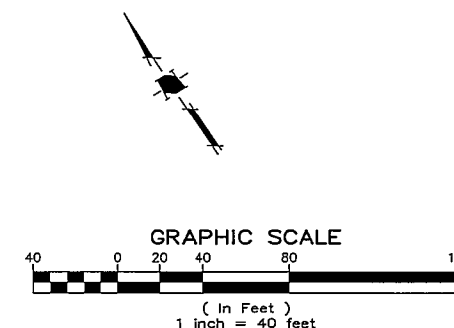
- Project Boundary
- - - Lot Line
- UD Under Drain
- 12X12" Santa Rosa Precast Drain Inlet (Traffic Rated)
- Area Without Treatment In Street
- Overland Release
- Clean Out (typical)
- Storm Drain (10 yr. capacity)
- Clean Out (typical)



TYPICAL SIDE YARD SWALE



NOTE:  
Underdrain lines are to be offset 3 feet from the house foundations.



Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030



SANTA CLARA  
DEVELOPMENT  
An affiliate of Robinson Communities

2185 The Alameda  
San Jose, CA 95126  
408.345.1767

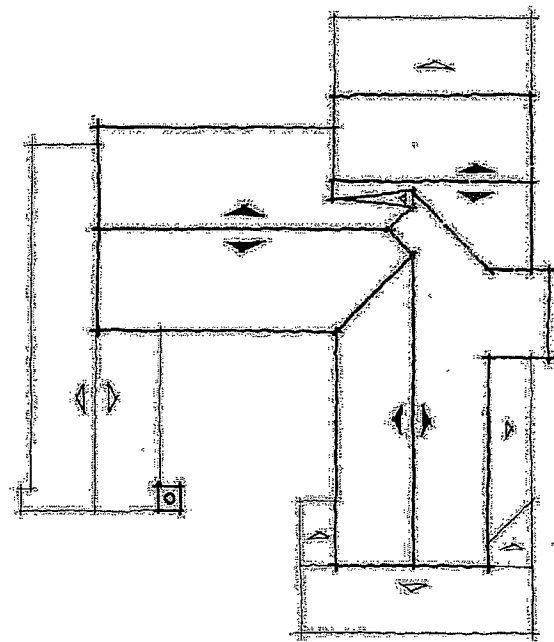
REVISION:  
REVISION:  
DRAWING NAME:  
SCALE 1"=40'  
NORTH  
SHEET #: C-4  
DATE: JAN. 10, 2005

CONCEPTUAL  
STORM DRAIN  
PLAN

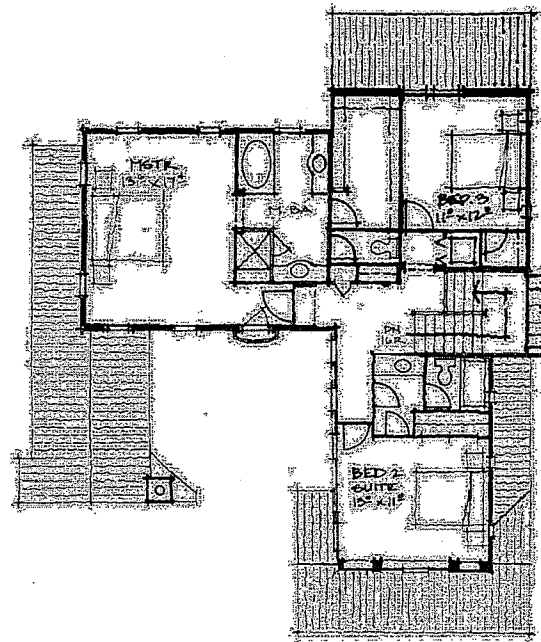


HMH  
ENGINEERS

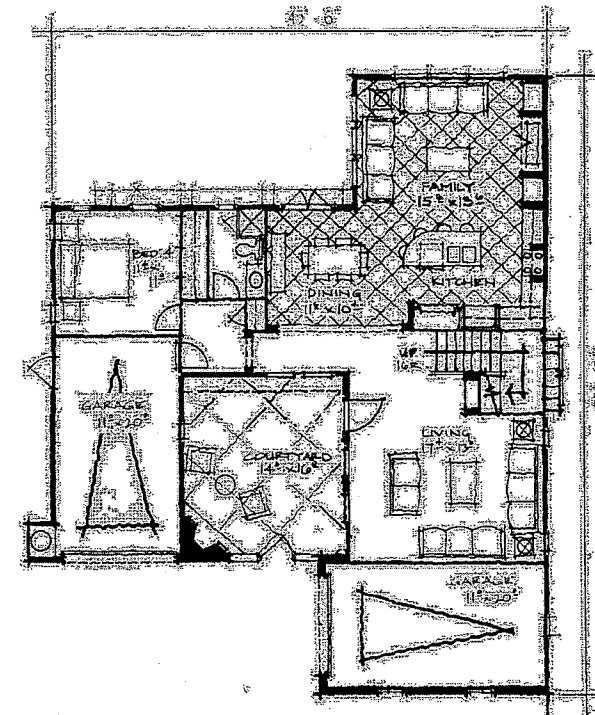
SWA  
Group



Roof Plan  
35:12 Roof Pitch Typical



Second Floor  
+/- 1027 s.f.



First Floor  
+/- 1183 s.f.

Total  
+/- 2210 s.f.

# Villa Felice



SANTA CLARA  
DEVELOPMENT  
2155 The Alameda, Ste. 100  
San Jose, CA 95126  
408.241.1767

DATE: 3.30.05

PROJECT #: 05-00

SCALE: 1/8" = 1'-0"

10 5 16

NORTH

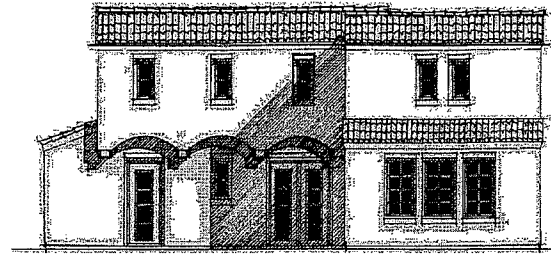
SHEET #: A-1

CONCEPTUAL  
FLOOR PLANS  
PLAN 1

**mv&p**

INTERNATIONAL  
INC.

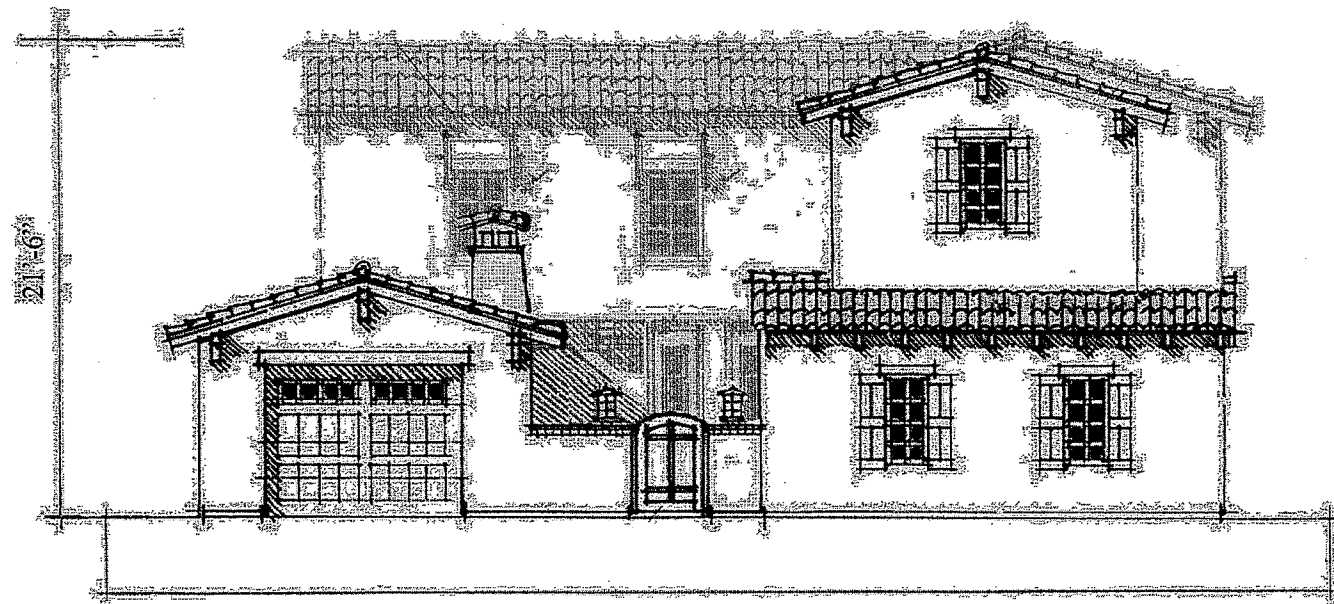
McLarand, Vasquez & Partners Int'l.



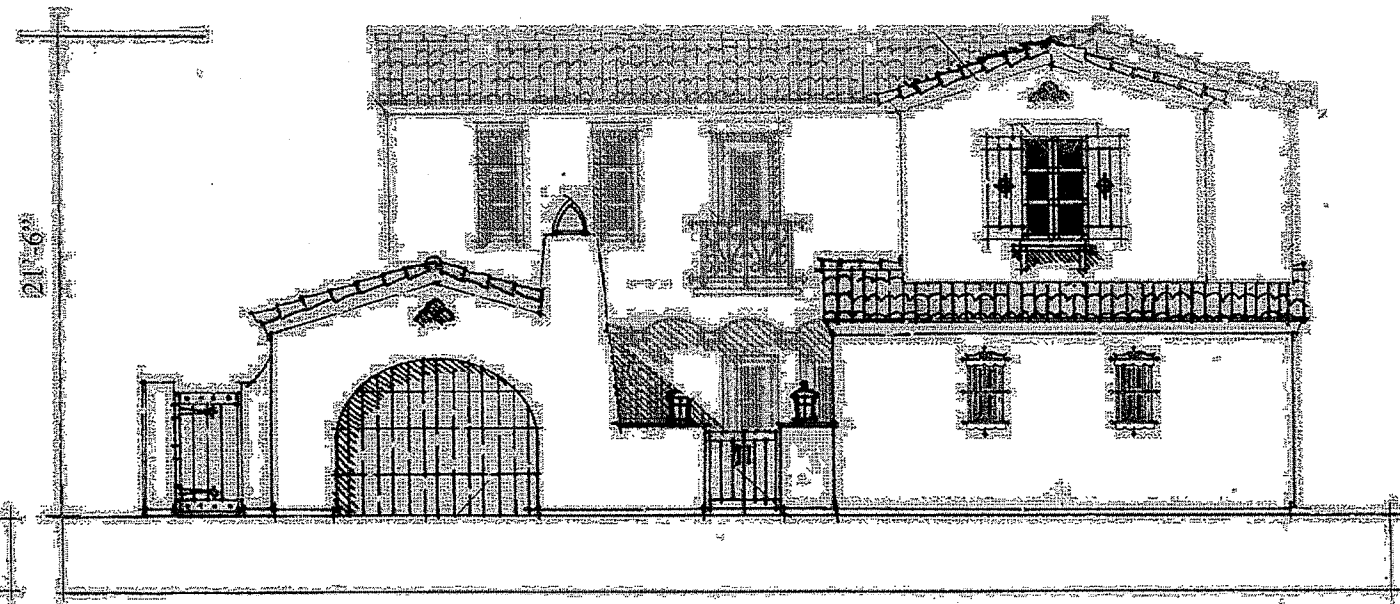
Plan 1A  
Rear Elevation  
(Elevation plots on all lots except lot 19)  
Scale: 1/8" = 1' - 0"

Materials Legend:

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Shifter Tiles
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Gables
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Deck
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent



Plan 1B  
Early California  
Scale: 1/4" = 1' - 0"



Plan 1A  
Classic Spanish  
Scale: 1/4" = 1' - 0"

# Villa Felice



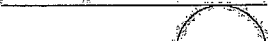
SANTA CLARA  
DEVELOPMENT

2185 The Alameda, Ste. 350  
San Jose, CA 95126  
408.343.1767

DATE: 03.30.05

PROJECT #: 03-642

SCALE:



NORTH

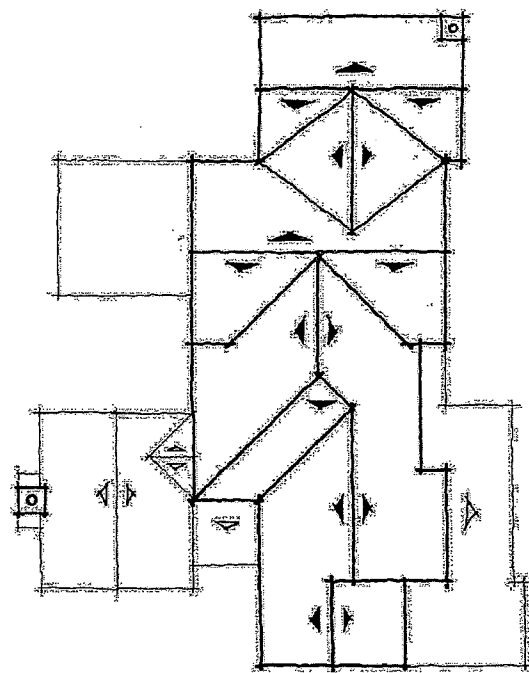
SHEET # A-2

CONCEPTUAL  
ELEVATIONS  
PLAN 1

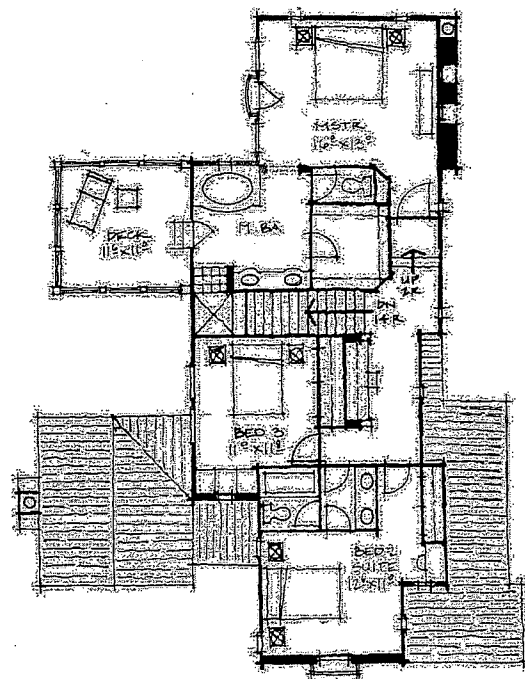


McLarand, Vasquez & Partners Int'l.

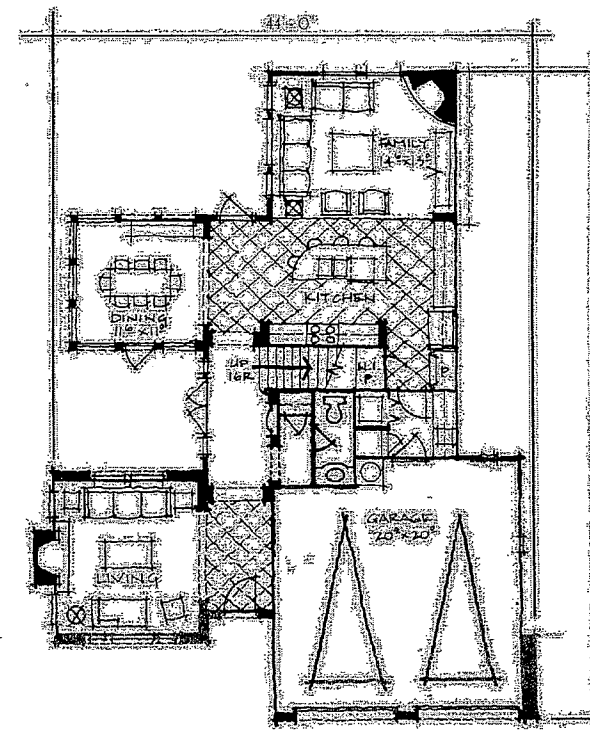




Roof Plan  
35 : 12 Typical



Second Floor  
+/- 1224 s.f.



First Floor  
+/- 1090 s.f.

Total  
+/- 2314 s.f.

# Villa Felice



SANTA CLARA  
DEVELOPMENT

2185 The Alameda, Ste. 150  
San Jose, CA 95126  
408.349.1767

DATE: 8.30.05

PROJECT #: 05642

SCALE: 1/8" = 1'-0"

0 2 6

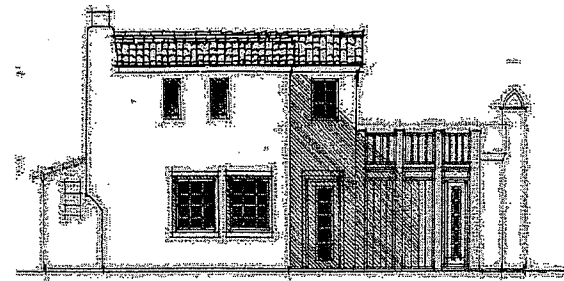
NORTH

SHEET #: A-3

CONCEPTUAL  
FLOOR PLANS  
PLAN 2



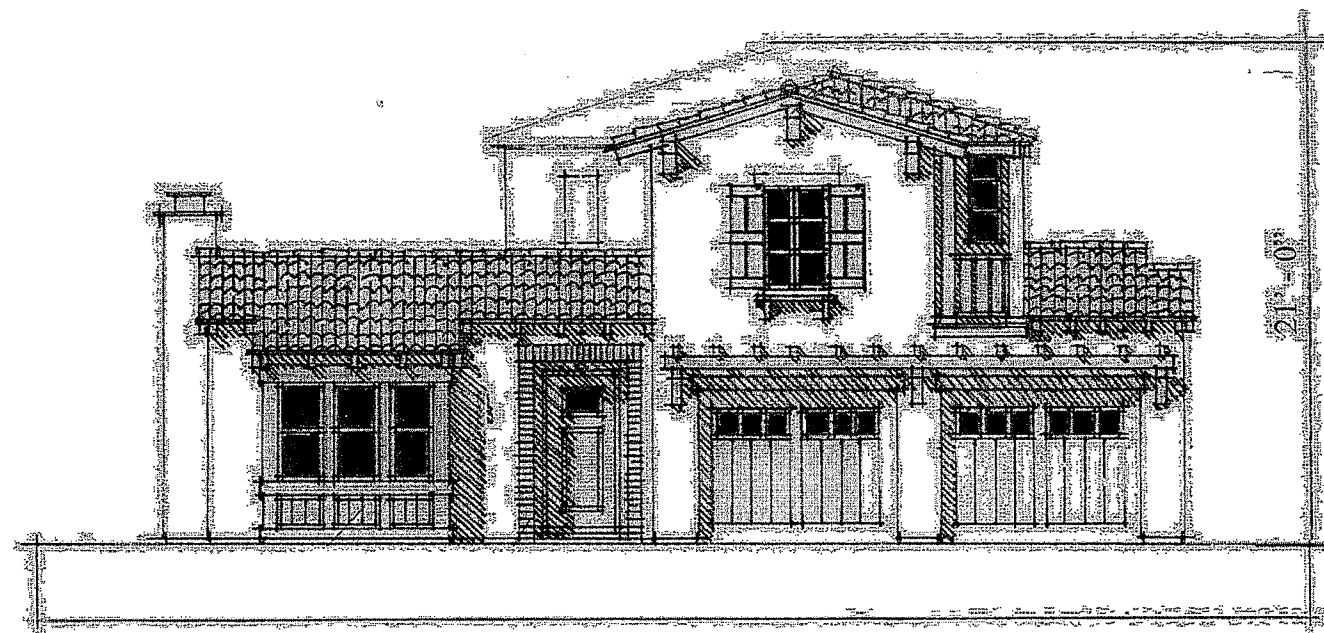
McLarand, Vasquez & Partners Int'l.



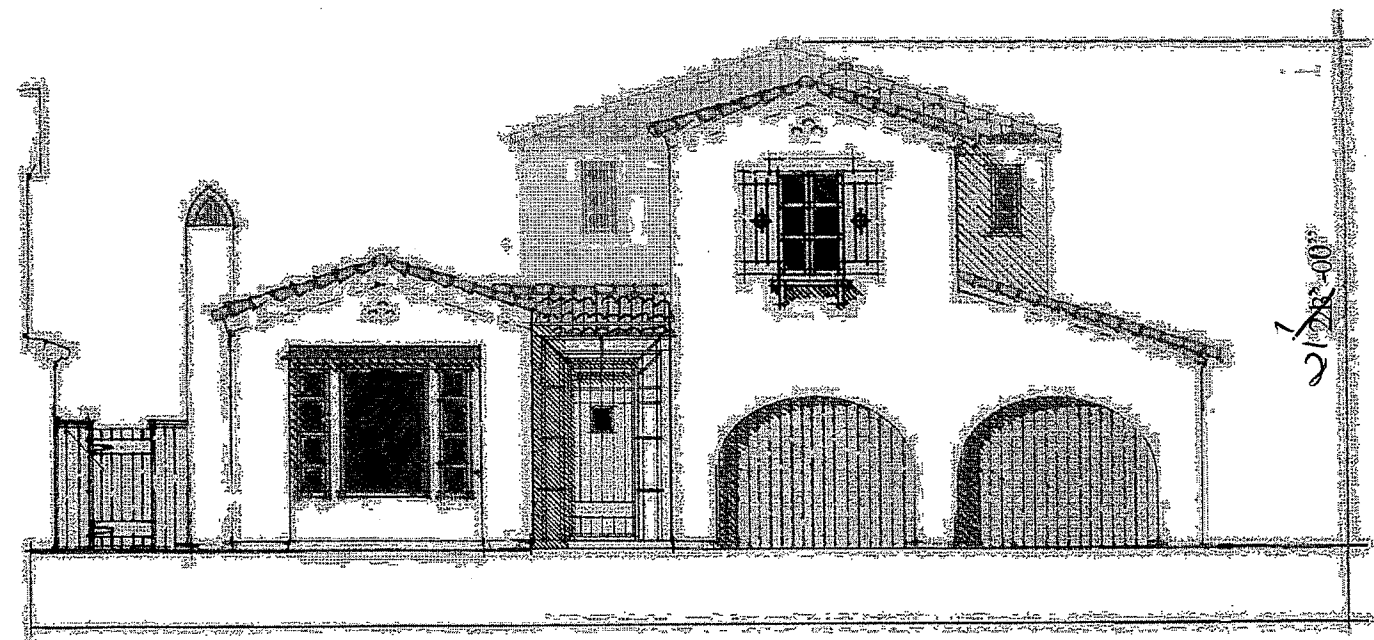
Plan 2A  
Rear Elevation  
(Elevation plots on all lots except view lots 14 and 16)  
Scale: 1/8" = 1' - 0"

#### Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent



Plan 2B  
Early California  
Scale: 1/4" = 1' - 0"



Plan 2A  
Classic Spanish  
Scale: 1/4" = 1' - 0"

# Villa Felice



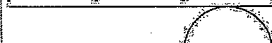
SANTA CLARA  
DEVELOPMENT

2155 The Alameda, Ste. 100  
San Jose, CA 95126  
408.945.1762

DATE: 8-30-05

PROJECT #: 03-642

SCALE:



NORTH

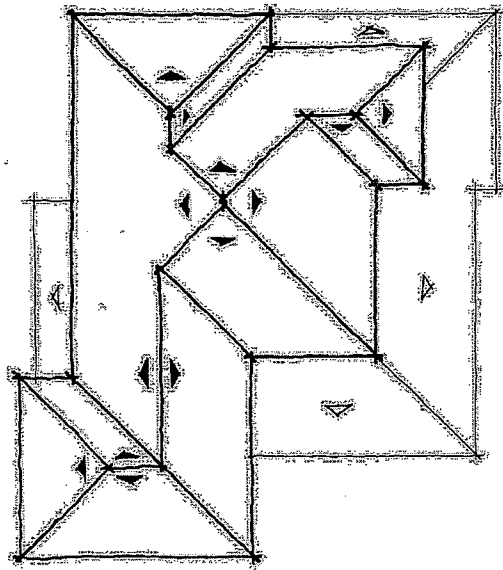
SHEET #: A-4

CONCEPTUAL  
ELEVATIONS  
PLAN 2

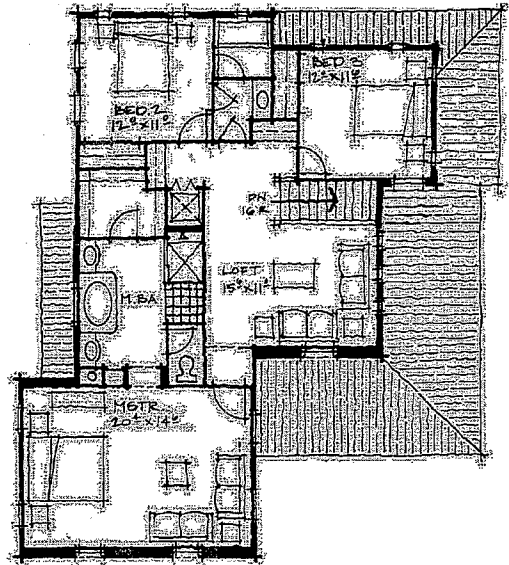


McLarand, Vasquez & Partners Int'l

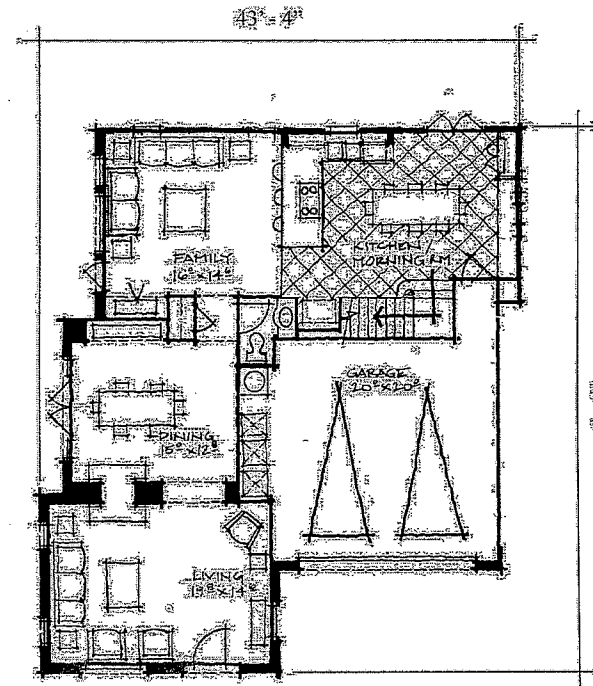




Roof Plan  
35 : 12 Typical



Second Floor  
+/- 1233 s.f.



First Floor  
+/- 1282 s.f.

Total  
+/- 2515 s.f.

Villa Felice



SANTA CLARA  
DEVELOPMENT

2185 The Alameda, Ste. 150  
San Jose, CA 95126  
408.345.1767

DATE: 3/30/05

PROJECT #: 05-642

SCALE: 1/8" = 1'-0"

0 5 10

NORTH

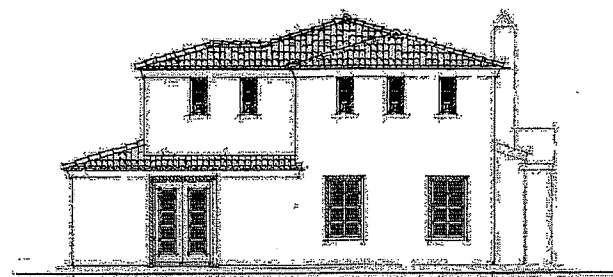
SHEET # A-5

CONCEPTUAL  
FLOOR PLANS  
PLAN 3

m v & p

INTERNATIONAL  
INC.

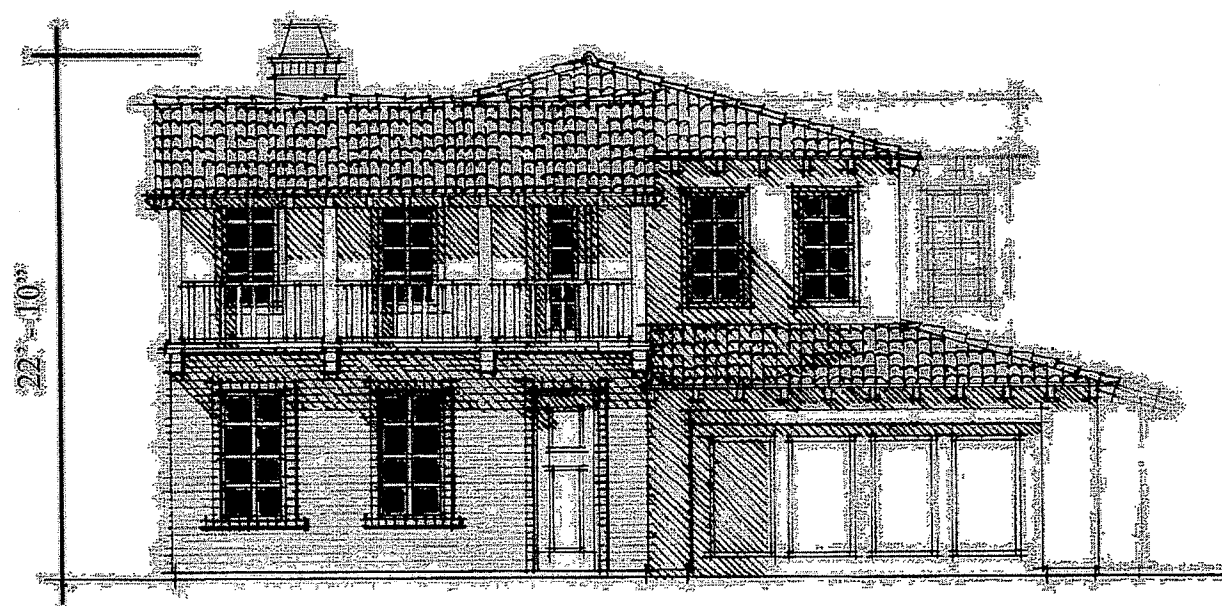
McLarand, Vasquez & Partners Int'l



Plan 3A  
Rear Elevation  
(Elevation plots on all lots except lots 17 and 20)  
Scale: 1/8" = 1'-0"

#### Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Ends
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Faves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent



Plan 3B  
Early California  
Scale: 1/4" = 1'-0"



Plan 3A  
Classic Spanish  
Scale: 1/4" = 1'-0"



SANTA CLARA  
DEVELOPMENT

2185 The Alameda, Suite 150  
San Jose, CA 95126  
408.345.1167

DATE: 5.30.05

PROJECT #: 03-62

SCALE:



NORTH

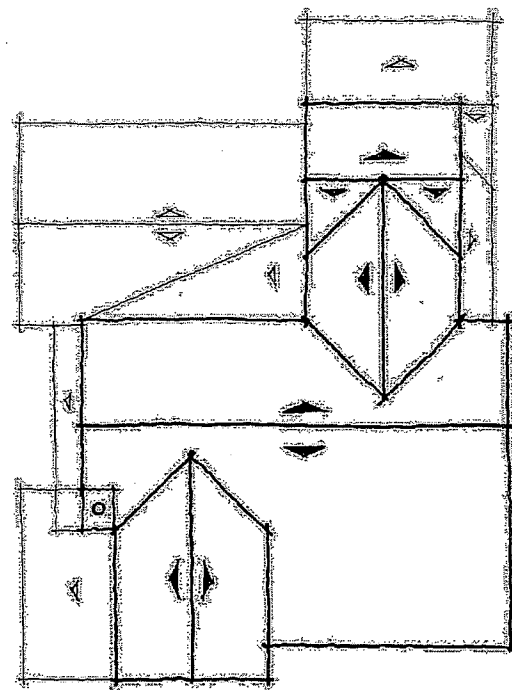
SHEET #: A-6

CONCEPTUAL  
ELEVATIONS  
PLAN 3

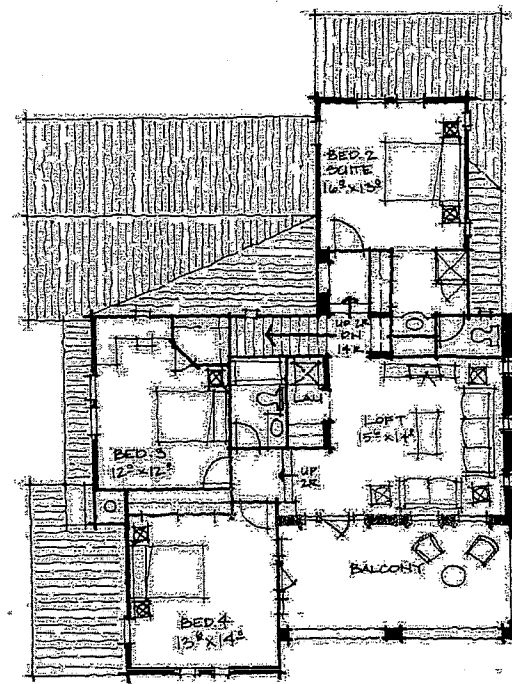


McLarand, Vasquez & Partners Int'l.

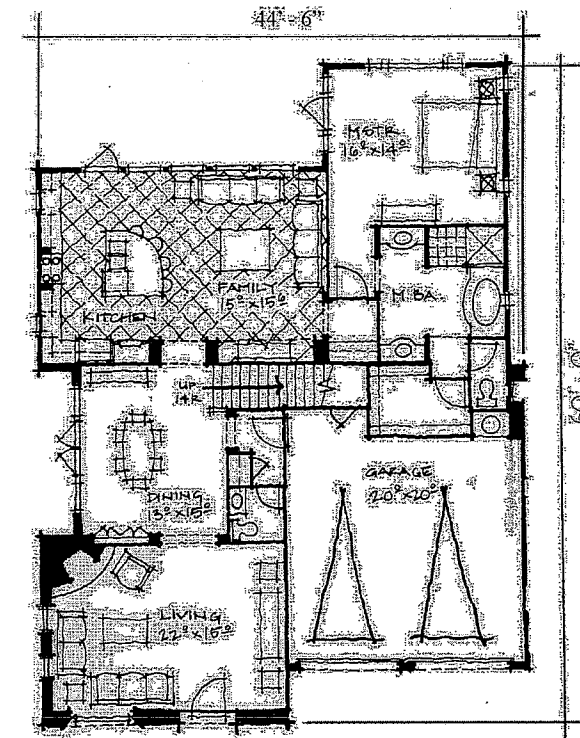
Villa Felice



Roof Plan  
3.5 : 12 Roof Pitch Typical



Second Floor  
Plan 4A  
+/- 1132 s.f.



First Floor  
Plan 4A  
+/- 1734 s.f.

Total s.f.  
Plan 4A: +/- 2866 s.f.

# Villa Felice



SANTA CLARA  
DEVELOPMENT

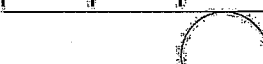
2185 The Alameda, Ste. 150,  
San Jose, CA 95126  
408.349.1767

DATE: 3.30.05

PROJECT #: 03-62

SCALE: 1/8" = 1'-0"

0 2 6



NORTH

SHEET #: A-7

CONCEPTUAL  
FLOOR PLANS

Plan 4A



McLarand, Vasquez & Partners Int'l.



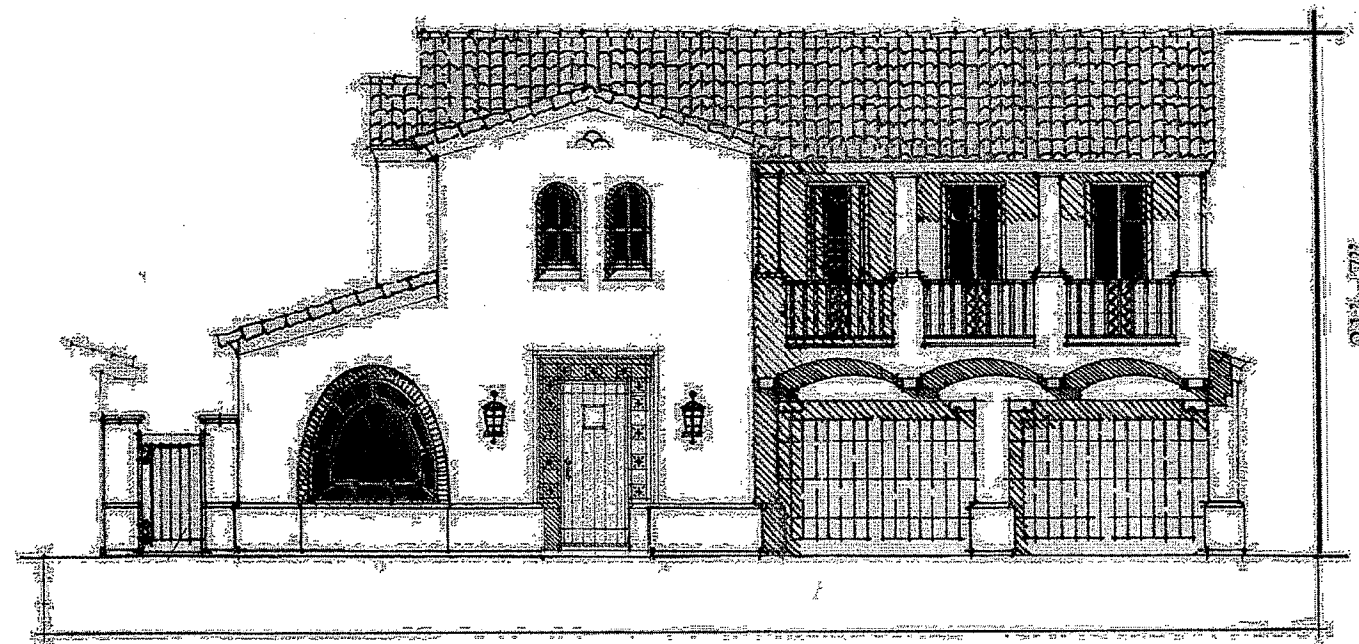
Plan 4A  
Rear Elevation  
(Elevation plots on all lots except view lots 13 and 15)  
Scale: 1/8" = 1' - 0"

#### Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tail
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Laves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Deck
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Decorative Spanish Tile
19. Brick Veneer / Accent



Plan 4B  
Early California  
Scale: 1/4" = 1' - 0"



Plan 4A  
Classic Spanish  
Scale: 1/4" = 1' - 0"

# Villa Felice



SANTA CLARA  
DEVELOPMENT

215 The Alameda, Ste. 150  
San Jose, CA 95126  
408.545.1767

DATE: 3.30.05

PROJECT #: 03-642

SCALE:

NORTH

SHEET #: A-8

CONCEPTUAL  
ELEVATIONS  
PLAN 4



McLarand, Vasquez & Partners Int'l.

# Villa Felice



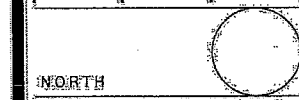
SANTA CLARA  
DEVELOPMENT  
2185 The Alameda, Ste. 150  
San Jose, CA 95126  
408.341.167

DATE: 3/30/05

PROJECT #: 69-642

SCALE:

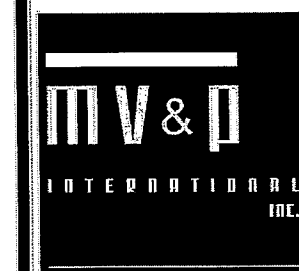
0 2 16



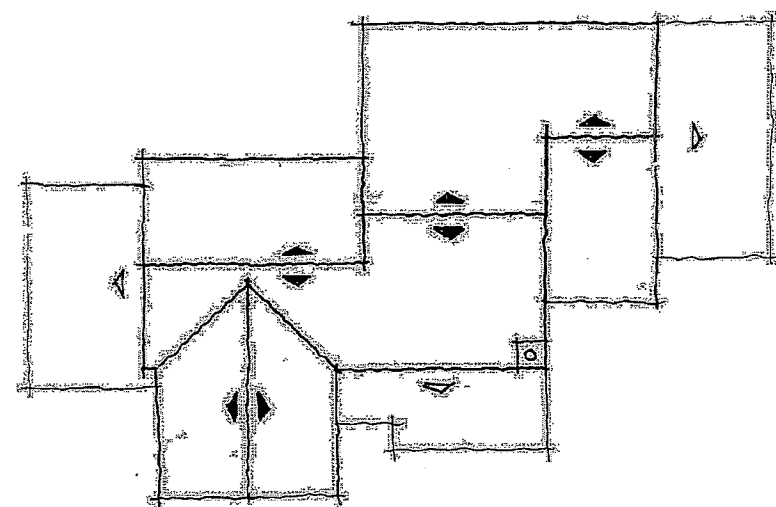
NORTH

SHEET #3 A-9

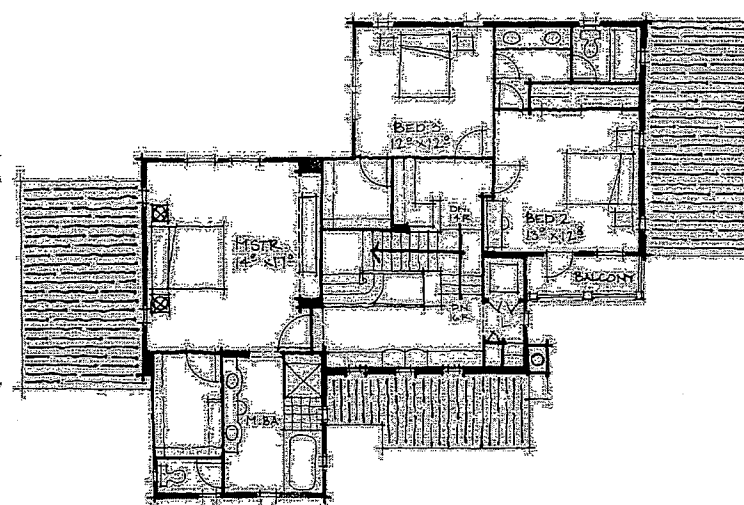
CONCEPTUAL  
FLOOR PLANS  
PLAN 5



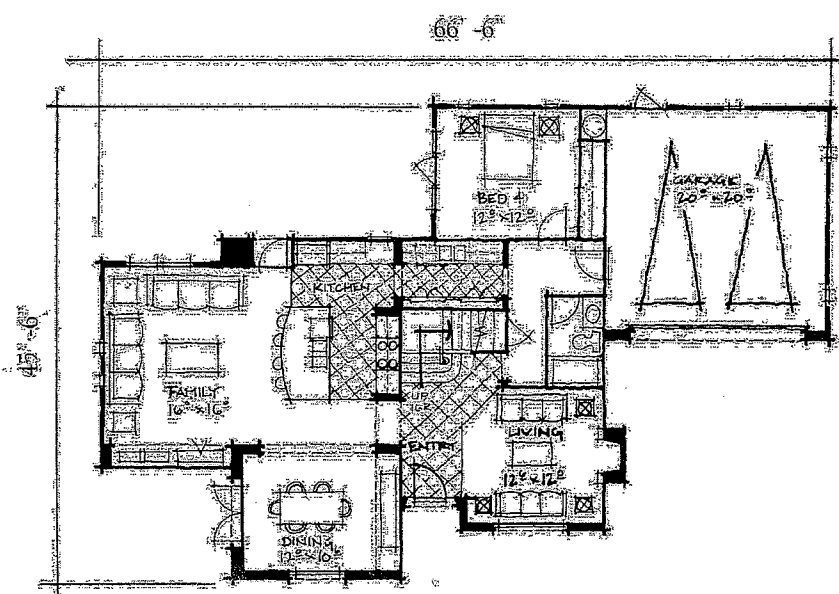
McLarand, Vasquez & Partners Int'l.



Roof Plan  
3.5 : 12 Roof Pitch Typical

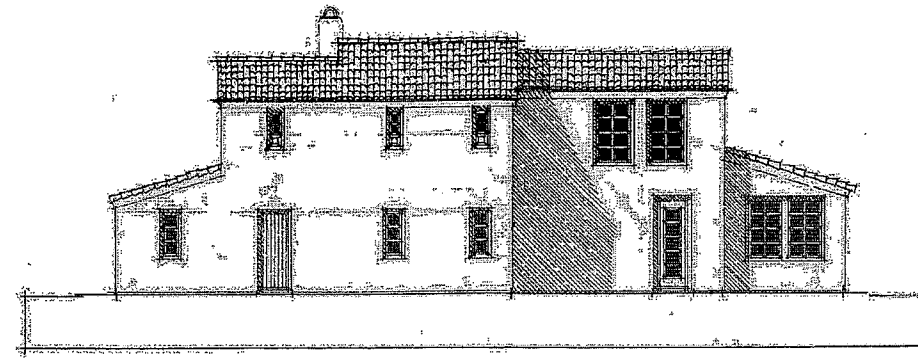


Second Floor  
+/- 1185 s.f.



First Floor  
+/- 1372 s.f.

Total  
+/- 2557 s.f.



Rear Elevation  
Scale: 1/8" = 1' - 0"



Front Elevation  
Scale: 1/4" = 1' - 0"

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Drilling
11. Wrought Iron Drilling
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Light Wood Deck
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent

# Villa Felice



SANTA CLARA  
DEVELOPMENT

2185 The Alameda, Ste. 350  
San Jose, CA 95126  
408.345.1767

DATE: 3/30/05

PROJECT #: 03-642

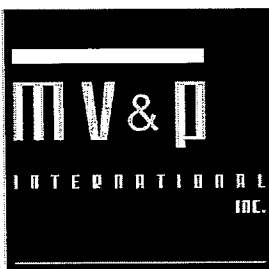
SCALE:



NORTH

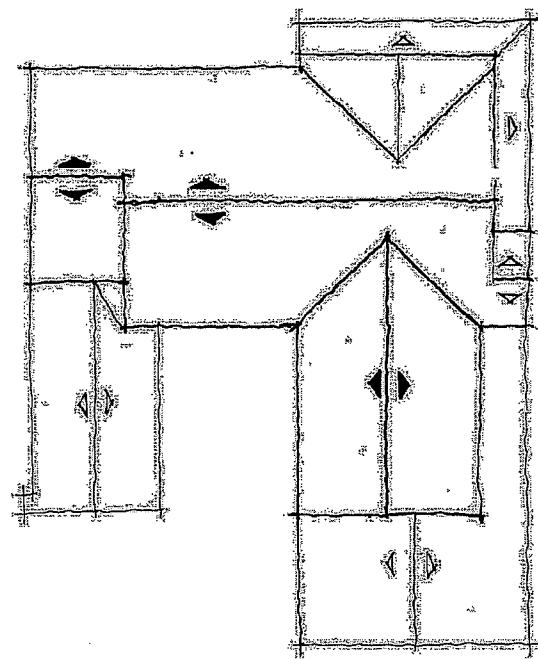
SHEET #3 A-10

CONCEPTUAL  
ELEVATIONS  
PLAN 5

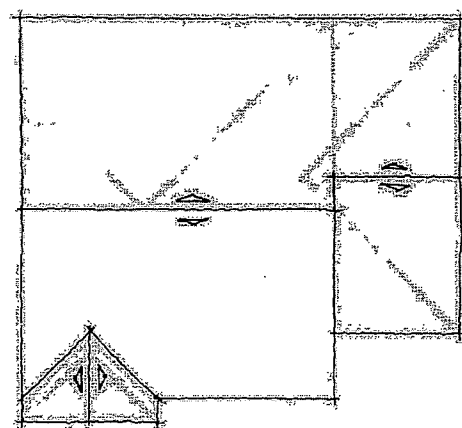


McLarand, Vasquez & Partners Int'l.

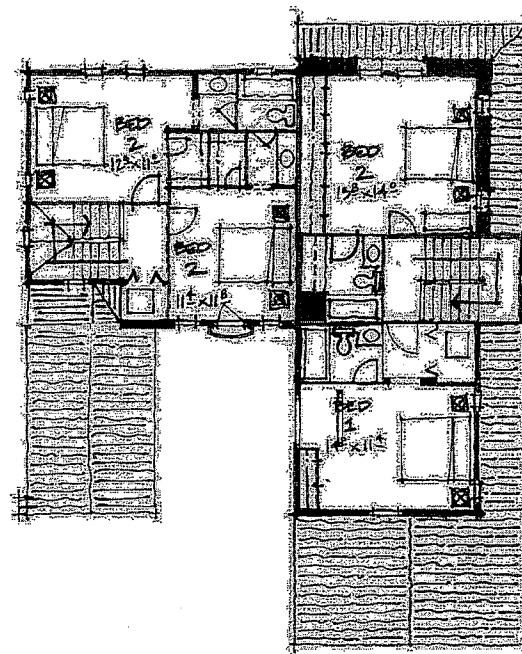




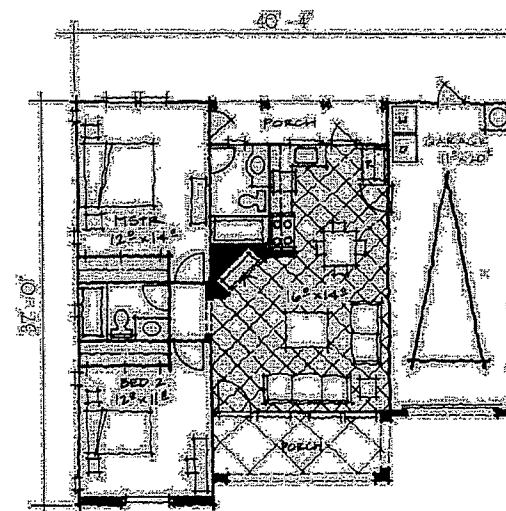
Attached BMD  
Roof Plan  
35'-12" Roof Pitch Typical



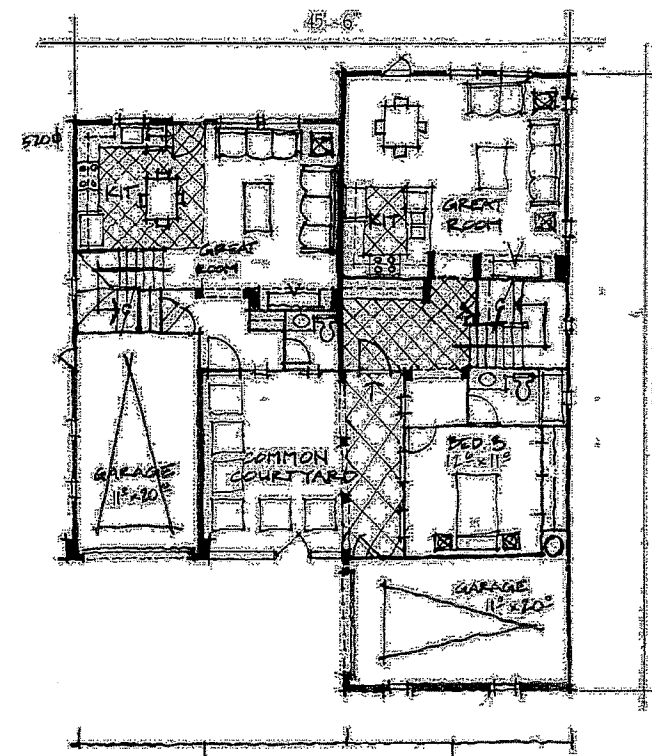
BMD 6  
Roof Plan  
35'-12" Roof Pitch Typical



BMD 7      BMD 8  
Second Floor  
BMD 7 : +/- 508 s.f.  
BMD 8 : +/- 632 s.f.



BMD 6  
Floor Plan



BMD 7      BMD 8  
First Floor  
BMD 7 : +/- 522 s.f.  
BMD 8 : +/- 852 s.f.

Total s.f.  
BMD 6 : +/- 846 s.f.  
BMD 7 : +/- 1030 s.f.  
BMD 8 : +/- 1484 s.f.

Villa Felice



SANTA CLARA  
DEVELOPMENT  
2085 The Alameda, Ste. 150  
San Jose, CA 95126  
408.245.1167

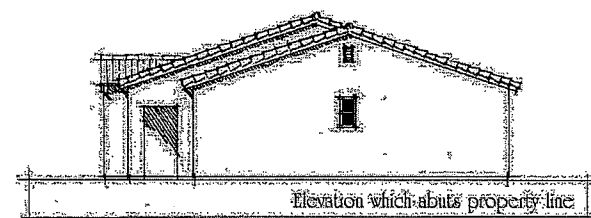
DATE: 3.30.05  
PROJECT #: 03642  
SCALE: 1/8" = 1'-0"

NORTH  
SHEET #1: A-11

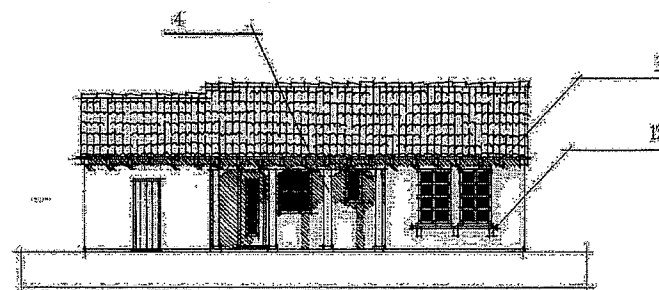
CONCEPTUAL  
FLOOR PLANS  
BMD PLANS



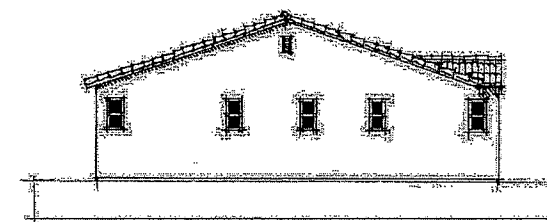
McLarand, Vasquez & Partners Int'l.



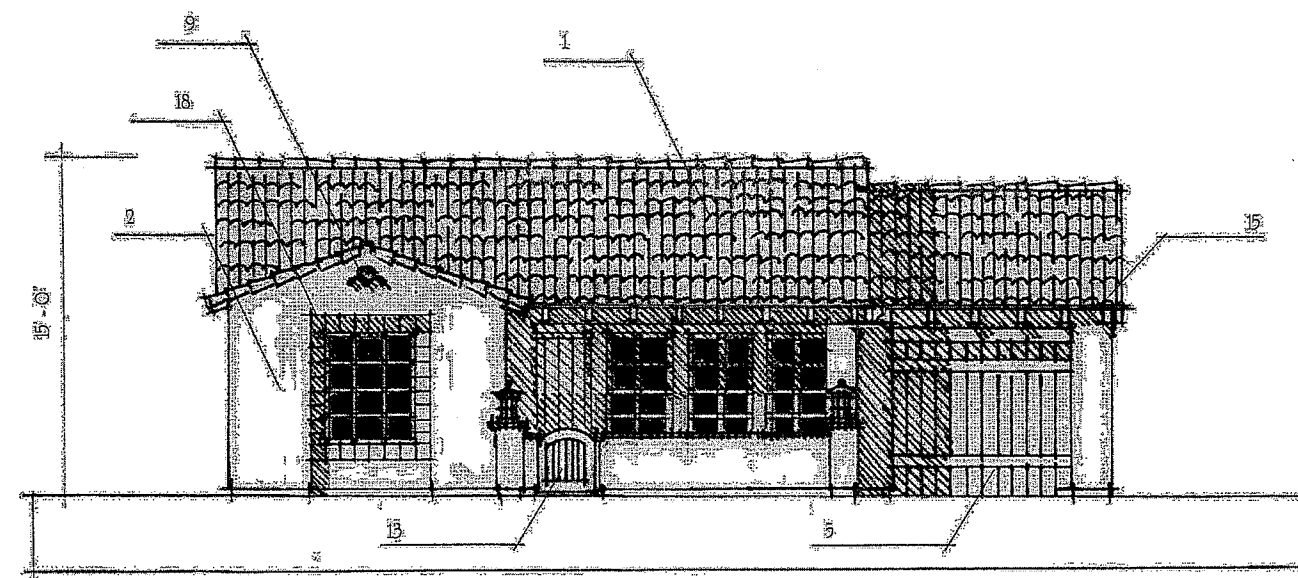
BMP 6  
Right Elevation  
Scale: 1/8" = 1'-0"



BMP 6  
Rear Elevation  
Scale: 1/8" = 1'-0"



BMP 6  
Left Elevation  
Scale: 1/8" = 1'-0"



BMP 6  
Front Elevation  
Scale: 1/4" = 1'-0"

#### Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Leaves
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Vase / Accent

# Villa Felice



SANTA CLARA  
DEVELOPMENT

2185 The Alameda, Ste. 150  
San Jose, CA 95126  
408.345.1761

DATE: 1.30.09

PROJECT #: 03442

SCALE:



NORTH

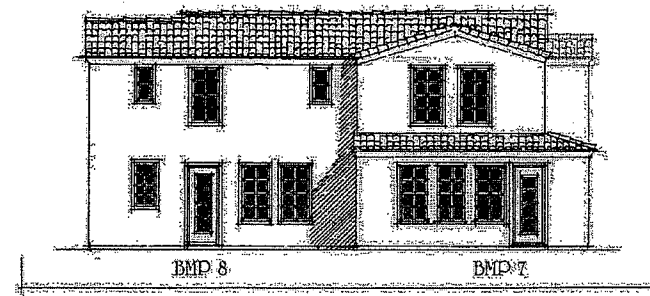
SHEET #: A-12

CONCEPTUAL  
ELEVATIONS  
SINGLE STORY  
BMP 6 PLAN

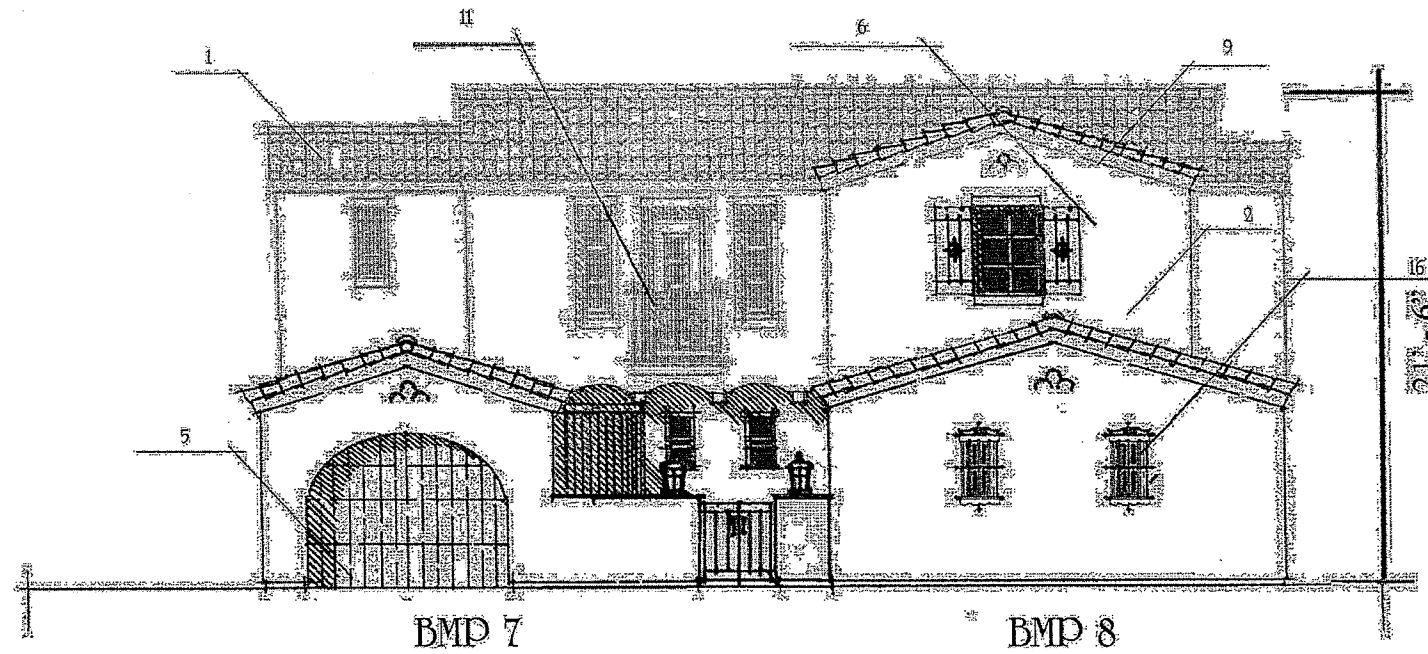


McLarand, Vasquez & Partners Int'l.





Rear Elevation  
Scale: 1/8" = 1'-0"



Front Elevation  
Scale: 1/4" = 1'-0"

Materials Legend

1. 24 Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter-Tails
4. Wood Columns
5. Sectional Garage Door
6. Operable Windows
7. Rolled Plaster Eaves
8. Decorative Awnings
9. Clay-Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Rake
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer Accent

Villa Felice



SANTA CLARA  
DEVELOPMENT

2187 The Alameda, Ste. 350  
San Jose, CA 95126  
408.345.1767

DATE: 12-01-03

PROJECT #: 03-642

SCALE:



NORTH

SHEET #: A-13

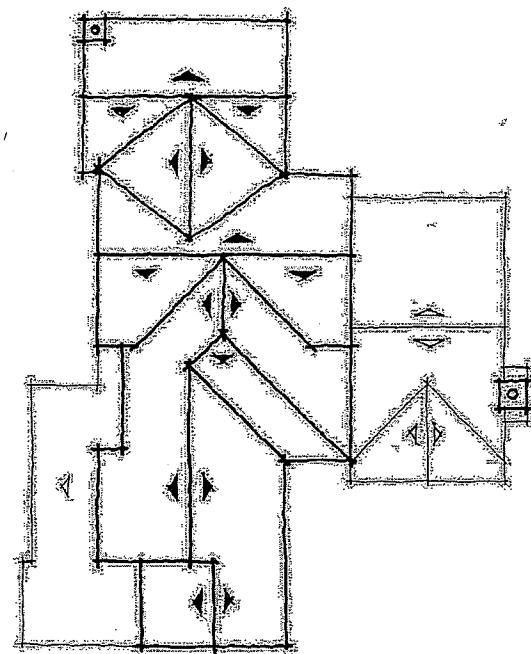
CONCEPTUAL

ELEVATIONS

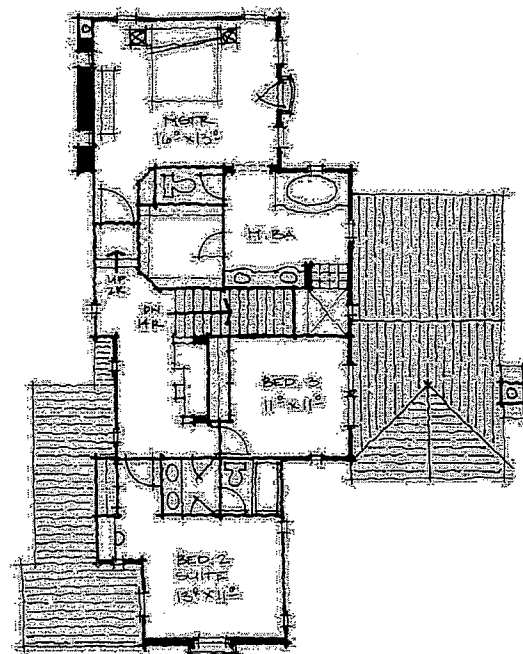
PLAN BMP 7 & 8



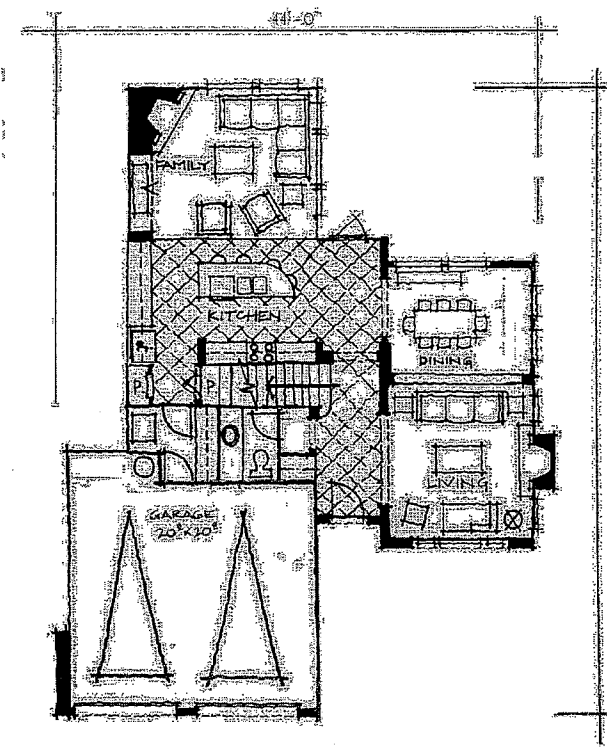
McLarand, Vasquez & Partners Int'l.



Roof Plan  
35 : 12 Typical



Second Floor  
+/- 1035 s.f.



First Floor  
+/- 1095 s.f.

Total  
+/- 2130 s.f.

# Villa Felice



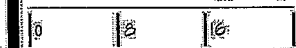
SANTA CLARA  
DEVELOPMENT

2185 The Alameda, Ste. 150  
San Jose, CA 95126  
408.943.1762

DATE: 3.30.05

PROJECT #: 09402

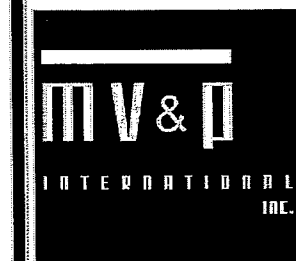
SCALE: 1/8" = 1'-0"



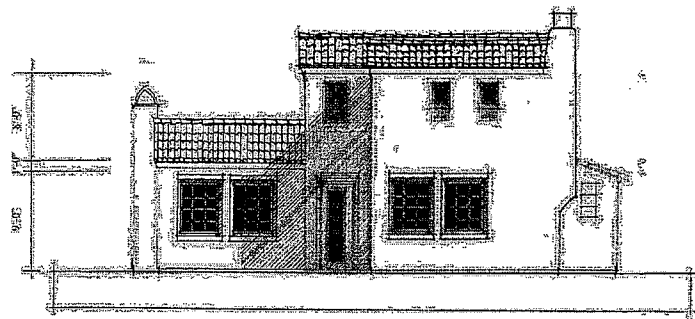
NORTH

SHEET #: A-14

CONCEPTUAL  
FLOOR PLANS  
PLAN 9

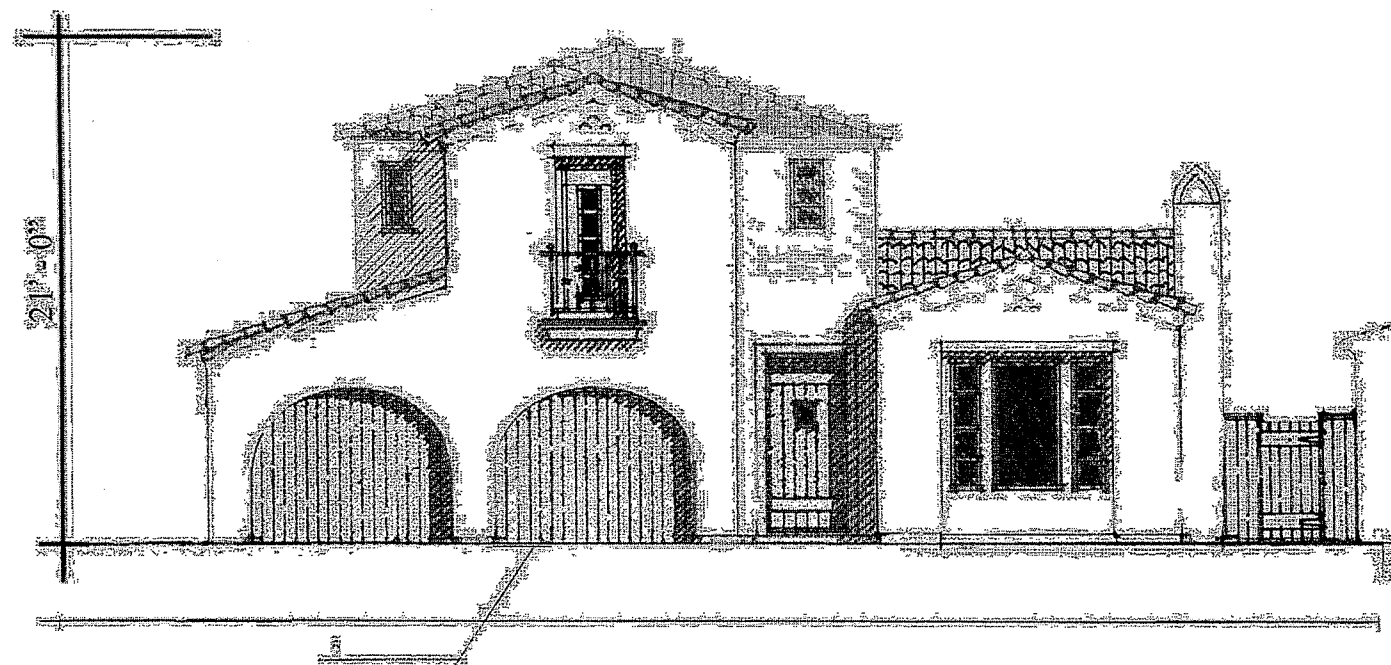


McLarand, Vasquez & Partners Int'l.



Rear Elevation

Scale: 1/8" = 1'-0"



Front Elevation

Scale: 1/4" = 1'-0"

Materials Legend

1. 2-Piece Clay Barrel Roof Tile
2. Smooth Finish Stucco
3. Exposed Wood Rafter Ends
4. Wood Columns
5. Sectional Garage Door
6. Operable Window
7. Rolled Plaster Lines
8. Decorative Awnings
9. Clay Tile Accents
10. Wood Railing
11. Wrought Iron Railing
12. Wood Kickers
13. Wood Gate
14. Iron Gate
15. Tight Wood Deck
16. Wrought Iron Accents
17. Recessed High Window with Decorative Panel
18. Bay Window
19. Brick Veneer / Accent

# Villa Felice



SANTA CLARA  
DEVELOPMENT

2185 The Alameda, Ste. 100  
San Jose, CA 95126  
408.545.1767

DATE: 3.30.05

PROJECT #: 0342

SCALE:



NORTH

SHEET # A-15

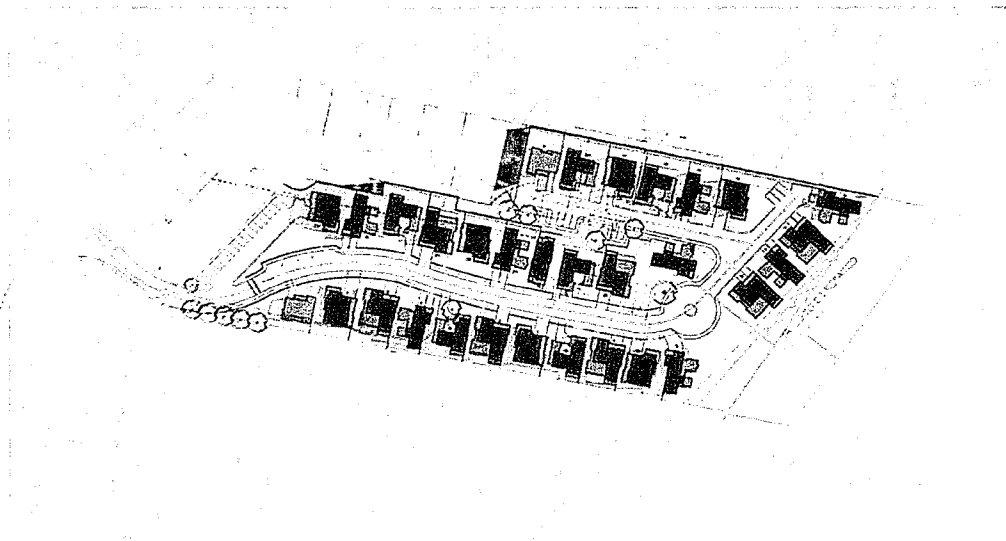
CONCEPTUAL  
ELEVATIONS  
PLAN 9



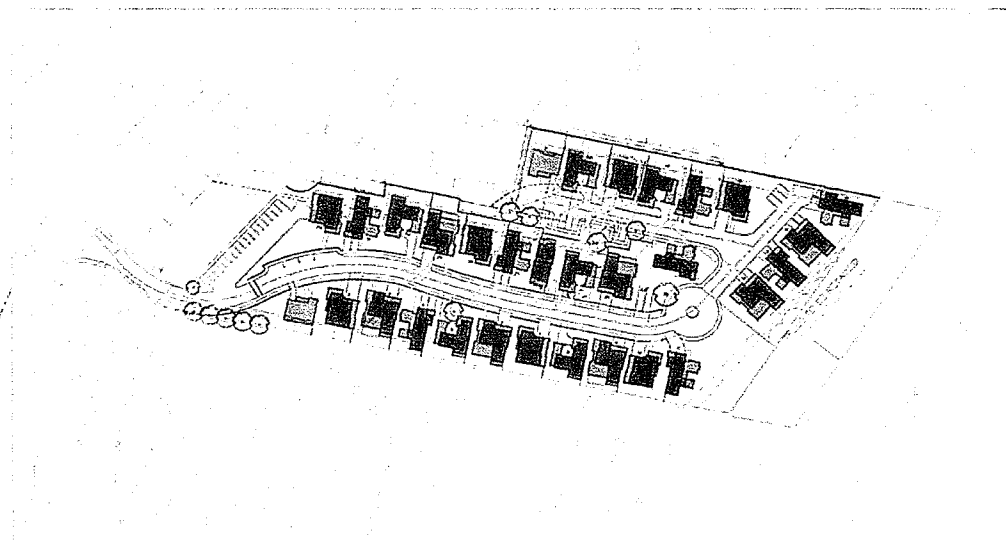
McLarand, Vasquez & Partners Int'l.

Summer Solstice (Jun. 21)

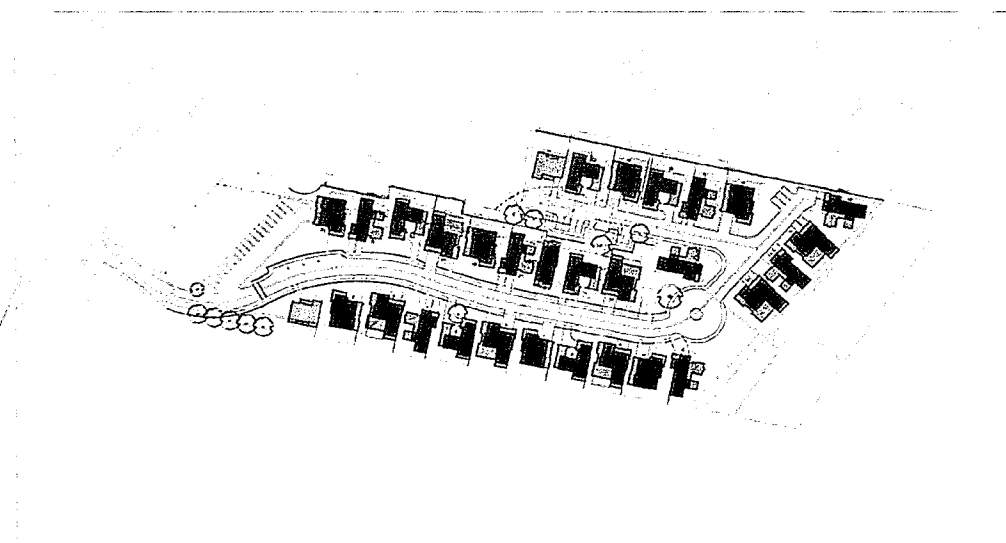
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Altitude: 35.4  
Azimuth: 94.2



12:00 PM  
Altitude: 69.6  
Azimuth: 52.2

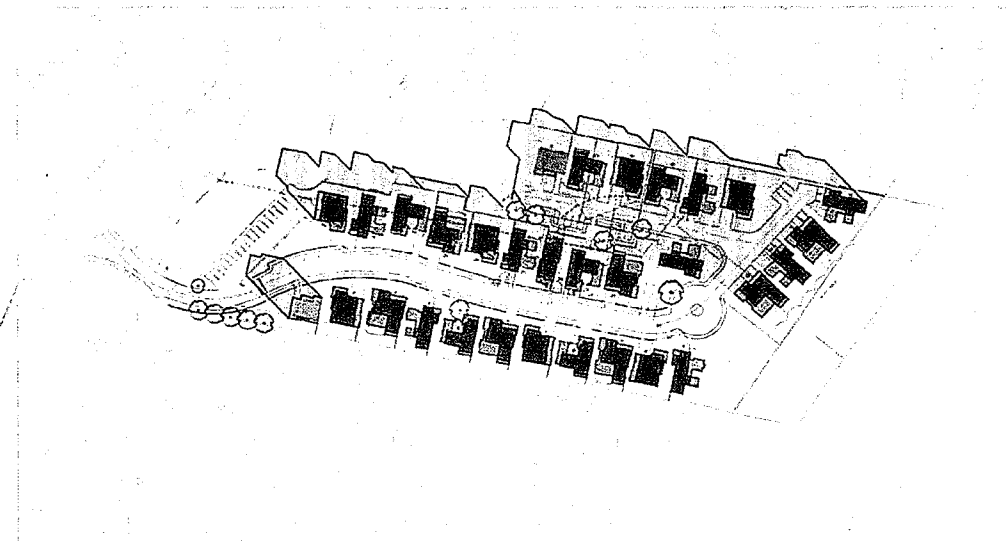


3:00 PM  
Altitude: 62.7  
Azimuth: -67.5

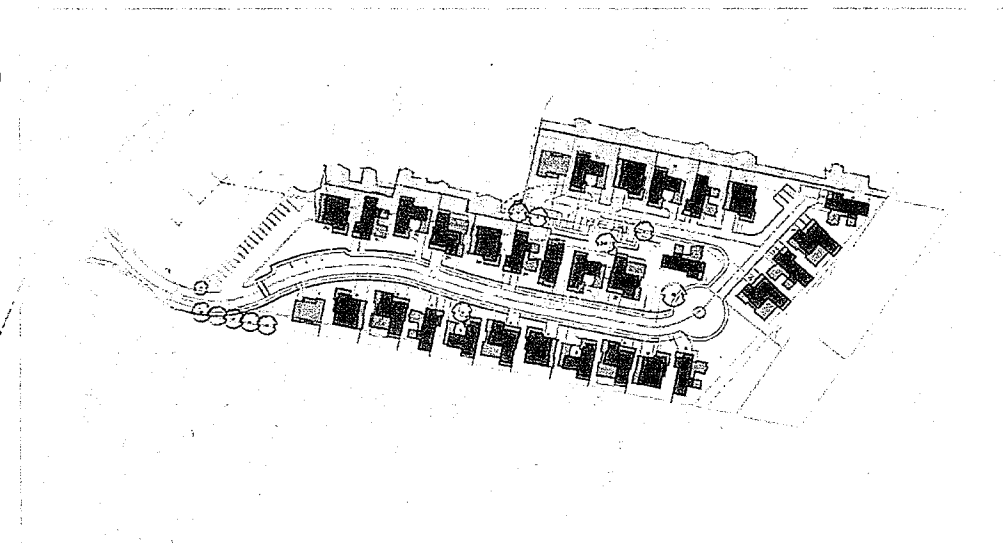


Winter Solstice (Dec. 21)

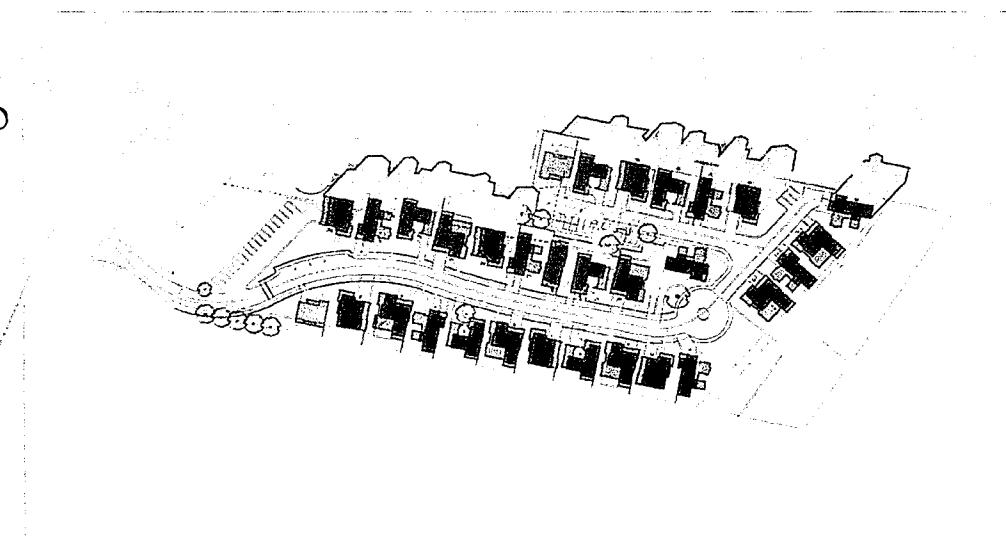
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Altitude: 15.15  
Azimuth: 43.65



12:00 PM  
Altitude: 29.30  
Azimuth: 1.67



3:00 PM  
Altitude: 16.85  
Azimuth: -41.20



Project Site  
Coordinates  
Latitude: 37.245 N  
Longitude: 121.972 W  
Time Zone: Pacific Standard Time

# Villa Felice

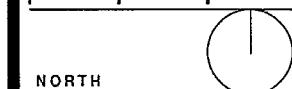
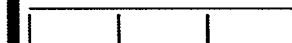


**SANTA CLARA  
DEVELOPMENT**  
*An Affiliates of Pearson Communities*  
2185 The Alameda, Ste. 150  
San Jose, CA 95126  
408.345.1767

DATE: 1.10.05

PROJECT #: 03-642

SCALE:



NORTH  
SHEET #: A-16

Preliminary  
Shadow  
Study



McLarand, Vasquez & Partners Int'l



NEW  
CONDITION



EXISTING  
CONDITION

LAKE VASONA LOS GATOS, CA



# Villa Felice



SANTA CLARA  
DEVELOPMENT  
*An affiliate of Hudson Communities*  
2185 The Alameda, Ste. 150  
San Jose, CA 95126  
408.345.1767

|            |         |
|------------|---------|
| DATE:      | 1.10.05 |
| PROJECT #: | 03-642  |
| SCALE:     |         |
|            |         |
| NORTH      |         |
| SHEET #:   | A-17    |

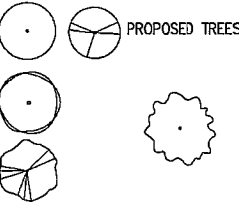
LAKE VASONA  
HILLSIDE  
EXHIBIT



McLarand, Vasquez & Partners Int'l.



LEGEND



SHRUBS, GROUND COVERS AND PERENNIALS

LAWN

CONCRETE SIDEWALK/PAVING

POLE LIGHT: LIGHT FIXTURE-HOLOPHANE "GRANVILLE" W/CLEAR FINAL  
DECORATIVE POST-HOLOPHANE "NORTH YORKSHIRE", 16' HEIGHT

POLE LIGHT: LIGHT FIXTURE-HOLOPHANE "GRANVILLE" W/CLEAR FINAL  
DECORATIVE POST-HOLOPHANE "NORTH YORKSHIRE", 12' HEIGHT

BOLLARD: "SHAPER" 982-W NBZ(BRONZE)

SPECIAL PAVING

FRONT YARD DOOR/FENCE

BACKYARD FENCE

PRECAST WALL

LOW STONE WALL

RETAINING WALL

36" BOX - SPECIES TO BE DETERMINED

TURNAROUND

SCREEN HEDGE FOR PARKING

ENTRY SIGN

EXISTING CAMPHOR TO REMAIN

PROPOSED FLOWERING GROUNDCOVER

PROPOSED PRECAST WALL WITH STONE VENEER

SECTION POSSIBLY BE REMOVED

PROPOSED ITALIAN CYPRESS (3)

PROPOSED FLOWERING GROUNDCOVER

PAINT EXISTING WALL

EXISTING ITALIAN CYPRESS TO REMAIN (5)

EXISTING ITALIAN CYPRESS TO BE REMOVED(2)

PROPOSED 3' WIDE CONCRETE SIDEWALK

EXISTING WALL TO BE PAINTED AND COVERED BY VINES

16' HIGH POLE LIGHT, TYP.

PROPOSED OLEA EUROPEA 'SWAN HILL', STANDARD

36" BOX - SPECIES TO BE DETERMINED

6' WALL

36" BOX - SPECIES TO BE DETERMINED

6' WALL

36" BOX - SPECIES TO BE DETERMINED

6' WALL

36" BOX - SPECIES TO BE DETERMINED

6' WALL

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6' WALL

36" BOX - SPECIES TO BE DETERMINED

6' WALL

36" BOX - SPECIES TO BE DETERMINED

6' WALL

36" BOX - SPECIES TO BE DETERMINED

6' WALL

PLANT LIST

| KEY                   | BOTANICAL NAME                            | COMMON NAME                | SIZE     |
|-----------------------|---|----------------------------|----------|
| TREES                 |   |                            |          |
|                       | ARBUS 'MARINA'                            | MARINA STRAWBERRY TREE     | 15 GAL   |
|                       | CELTIS SINENSIS                           | CHINESE HACKBERRY          | 15 GAL   |
|                       | CHITALPA TASHKENTENSIS                    | CHITALPA                   | 15 GAL   |
|                       | CITRUS                                    | ORANGE TREE 'VALENCIA'     | 15 GAL   |
|                       | CITRUS                                    | NAVAL ORANGE               | 15 GAL   |
|                       | CITRUS                                    | LIME TREE 'BEARSS'         | 15 GAL   |
|                       | CRATAEGUS PHAENOPYRUM                     | WASHINGTON HAWTHORN        | 15 GAL   |
|                       | CUPRESSUS SEMPERVIRENS                    | ITALIAN CYPRESS            | 15 GAL   |
|                       | CEURUS JEDIDARA                           | REDWOOD CEDAR              | 15 GAL   |
|                       | KOELREUTERIA PANICULATA                   | GOLDENRAIN TREE            | 15 GAL   |
|                       | LADERSTROMIA INDICA SPP.                  | CRANE MYRTLE               | 15 GAL   |
|                       | LIRIODENDRON TULIPIFERA                   | TULIP TREE                 | 15 GAL   |
|                       | MALLUS 'ROBINSON'                         | ROBINSON CRABAPPLE         | 15 GAL   |
|                       | MAGNOLIA GRANDIFLORA 'ST. MARY'           | SOUTHERN MAGNOLIA          | 15 GAL   |
|                       | OLEA EUROPEA 'SWAN HILL'                  | OLIVE TREE 'SWAN HILL'     | 24" BOX  |
|                       | PINUS CANARIENSIS                         | CANARY ISLAND PINE         | 15 GAL   |
|                       | PYRUS CALLERYANA 'CHANTICLEER'            | ITALIAN STONE PINE         | 15 GAL   |
|                       | QUERCUS AGRIFFOLIA                        | CHANTICLEER PEAR           | 15 GAL   |
|                       | SAPINDUS SEBIFERUM                        | COAST LIVE OAK             | 15 GAL   |
|                       | SEMOIDA SEMPERVIRENS 'APTOS BLUE'         | CHINESE TALLOW TREE        | 15 GAL   |
|                       | TILIA CORDATA 'REDMOND'                   | COAST REDWOOD              | 15 GAL   |
|                       |   | LITTLELEAF LINDEN          | 15 GAL   |
| LARGE SHRUBS          |   |                            |          |
|                       | ARBUS UNED                                | STRAWBERRY TREE            | 5 GALLON |
|                       | CHOISYA TERNAHA                           | MEXICAN ORANGE             | 5 GALLON |
|                       | KERRIA JAPONICA 'PLENIFLORA'              | JAPANESE KERRIA            | 5 GALLON |
|                       | RHAMNUS CALIFORNICA                       | COFFEEBERRY                | 5 GALLON |
|                       | RHOODODENDRON 'LOBER'S WHITE'             | L.V. RHOODODENDRON         | 5 GALLON |
|                       | RHOODODENDRON 'TRUDE WEBSTER'             | T.V. RHOODODENDRON         | 5 GALLON |
|                       | TIBOUCHINA URVILLEANA                     | PRINCESS FLOWER            | 5 GALLON |
| LOW AND MEDIUM SHRUBS |   |                            |          |
|                       | ABELIA GRANDIFLORA 'EDWARD GOUCHER'       | GLOSSY ABELIA              | 5 GALLON |
|                       | ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCKINN' | HOWARD MCKINN MANZANITA    | 5 GALLON |
|                       | BRUNFELSIA PAUCIFLORA                     | YESTERDAY, TODAY, TOMORROW | 5 GALLON |
|                       | GARDENIA JASMINOIDES 'VEITCHII'           | GARDENIA                   | 5 GALLON |
|                       | PITTOSPORUM TORBIA                        | KICK ORANGE                | 5 GALLON |
|                       | RHAPHIOLEPIS INDICA 'SPRINGTIME'          | INDIA HAWTHORN             | 5 GALLON |
|                       | RHAPHIOLEPIS UNBELLATA MINOR              | YEDDO HAWTHORN             | 5 GALLON |
|                       | PHORUM TENAX                              | NEW ZEALAND FLAX           | 5 GALLON |
|                       | ROSA SPP.                                 | ROSES                      | 5 GALLON |
|                       | SARCOCODCA RUSCIFOLIA                     | FRAGRANT SARCOCODCA        | 5 GALLON |

| KEY                       | BOTANICAL NAME                           | COMMON NAME               | SIZE     |
|---------------------------|--|---------------------------|----------|
| HEDGES                    |  |                           |          |
|                           | BUXUS SEMPERVIRENS                       | ENGLISH BOXWOOD           | 5 GALLON |
|                           | ESCALLONIA EXONIENSIS 'FRADES'           | FRADES ESCALLONIA         | 5 GALLON |
|                           | ILEX VOMITORIA NANA                      | DWARF YAUPOIN HOLLY       | 5 GALLON |
|                           | MYRTUS COMMUNIS                          | GREEK MYRTLE              | 5 GALLON |
|                           | OSMANTHUS 'SAN JOSE'                     | FRAGRANT TEA OLIVE        | 5 GALLON |
| PERENNIALS & GROUNDCOVERS |  |                           |          |
|                           | ACANTHUS MOLLIS                          | BEAR'S BREECH             | 1 GALLON |
|                           | ARCTOSTAPHYLOS 'PACIFIC MIST'            | PACIFIC MIST MANZANITA    | 1 GALLON |
|                           | ARCTOSTAPHYLOS UVA-URSI 'WOOD'S COMPACT' | BEARBERRY                 | 1 GALLON |
|                           | ARTEMISIA 'POVIS CASTLE'                 | COMMON WORMWOOD           | 1 GALLON |
|                           | CAREX ALBULA                             | BLONDE SEDGE              | 1 GALLON |
|                           | CERATOSTIGMA PLUMBAGINOIDES              | DWARF PLUMBAGO            | 1 GALLON |
|                           | COTONEASTER DAMERI 'CORAL BEAUTY'        | BEARBERRY COTONEASTER     | 1 GALLON |
|                           | BESCHAMPSIA CAESPITOSA 'BRONZESCHLEIER'  | TUFTED HAIR GRASS         | 1 GALLON |
|                           | DIELES VEGETA                            | FORTNIGHT LILY            | 6" POTS  |
|                           | HEMEROCALLIS 'STELLA D' OR'              | STELLA D' OR DAYLILY      | 6" POTS  |
|                           | IRIS PACIFIC COAST HYBRIDS               | PACIFIC COAST HYBRID IRIS | 6" POTS  |
|                           | LAVANDULA ANGUSTIFOLIA 'HUNSTEAD'        | ENGLISH DWARF LAVENDER    | 6" POTS  |
|                           | LAVANDULA DENTATA INTERMEDIA PROVENCE    | FRENCH LAVENDER           | 6" POTS  |
|                           | LIRIOPE MUSCARI                          | BIG BLUE LILY TURF        | 6" POTS  |
|                           | MUHLEBERGIA CAPILLARIS                   | TRINIUS                   | PLUGS    |
|                           | NEPETA FAASSENII                         | CATNIP                    | 6" POTS  |
|                           | PELARGONIUM HORTORUM                     | COMMON GERANIUM           | 6" POTS  |
|                           | PLUMBAGO AURICULATA                      | CAPE PLUMBAGO             | 6" POTS  |
|                           | ROSMARINUS 'HUNTINGTON CARPET'           | ROSEMARY                  | 6" POTS  |
|                           | SALVIA GREUT 'ALBA'                      | WHITE SAGE                | 1 GALLON |
|                           | SALVIA LEUCANTHA                         | MEXICAN BUSH SAGE         | 1 GALLON |
|                           | SANTOLINA VIRENS                         | GREEN LAVENDER COTTON     | 1 GALLON |
|                           | SARCOCODCA HOOKERIANA HUMILIS            | HIMALAYAN SWEET BOX       | 1 GALLON |
|                           | TRACHELOSPERMUM JASMINOIDES              | STAR JASMINE              | 1 GALLON |
|                           | VINCA MINOR                              | DWARF PERIVINKLE          | FLATS    |
| VINES                     |  |                           |          |
|                           | CLYTOSTOMA CALLISTEGIOIDES               | VIOLET TRUMPET VINE       | 5 GALLON |
|                           | CLEMATIS ARMANII                         | EVERGREEN CLEMATIS        | 5 GALLON |
|                           | DISTICTIS BUCINATORIA                    | BLOOD-RED TRUMPET VINE    | 5 GALLON |
|                           | FICUS PUMILA                             | CREeping VINE             | 1 GALLON |
|                           | HARDENBERGIA VIOLACEA 'HAPPY VANBERER'   | HAPPY VANBERER            | 5 GALLON |
|                           | PARITHECISSEUS TRICUSPIDATA              | BOSTON IVY                | 5 GALLON |
|                           | ROSA MULTIFLORA 'CECILE BRUNNER'         | CLIMBING ROSE             | 5 GALLON |
|                           | SOLANUM JASMINOIDES                      | POTATO VINE               | 5 GALLON |
|                           | VISTERIA SINENSIS 'COOKIE SPECIAL'       | CHINESE VISTERIA          | 5 GALLON |

VILLA FELICE

Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030

SANTA CLARA  
DEVELOPMENT  
An affiliate of Robson Communities  
2185 The Alameda  
San Jose, CA 95126  
408.345.1767

1"=40'-0"  
03/11/05  
NORTH  
SHEET #:

ALTERNATIVE  
LANDSCAPE  
SITE PLAN  
L0.1



# VILLA FELICE

Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030



**SANTA CLARA  
DEVELOPMENT**  
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2185 The Alameda  
San Jose, CA 95126  
408.345.1767

AS SHOWN

01/10/05

NORTH

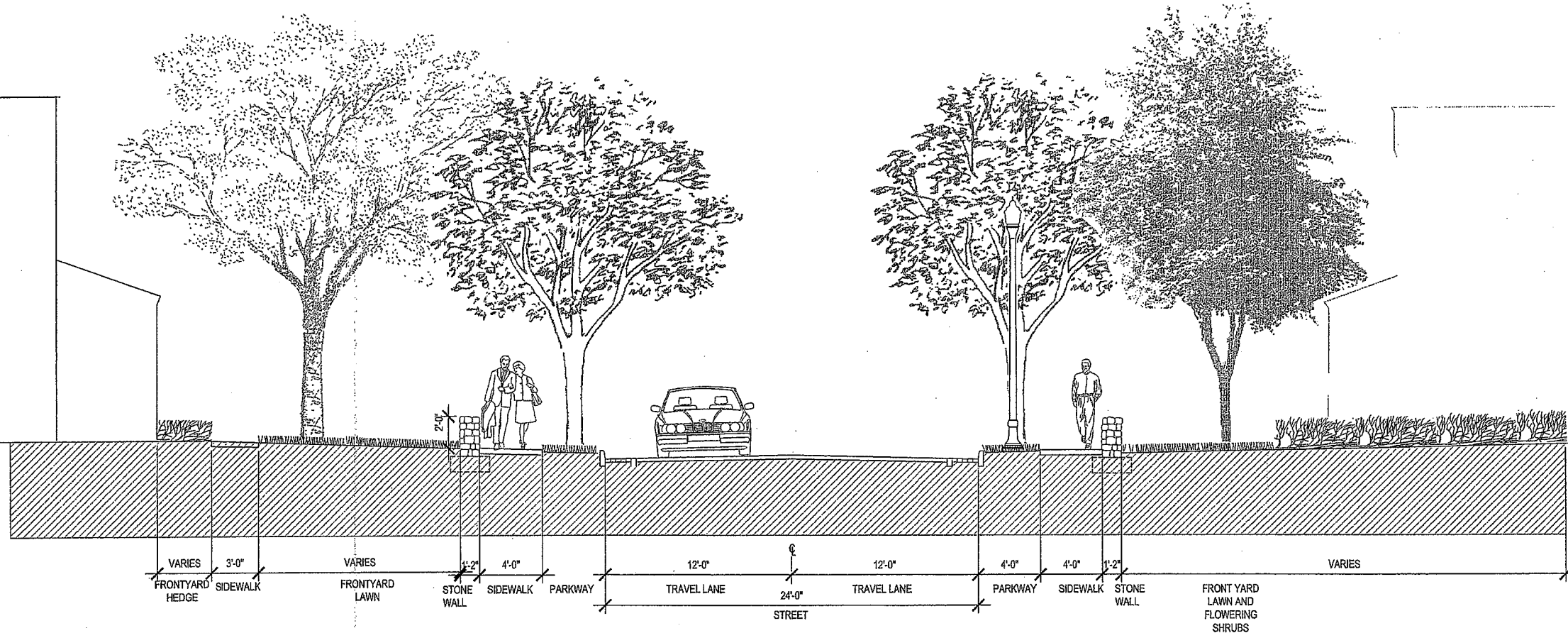
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CONCEPTUAL  
LANDSCAPE  
SECTIONS

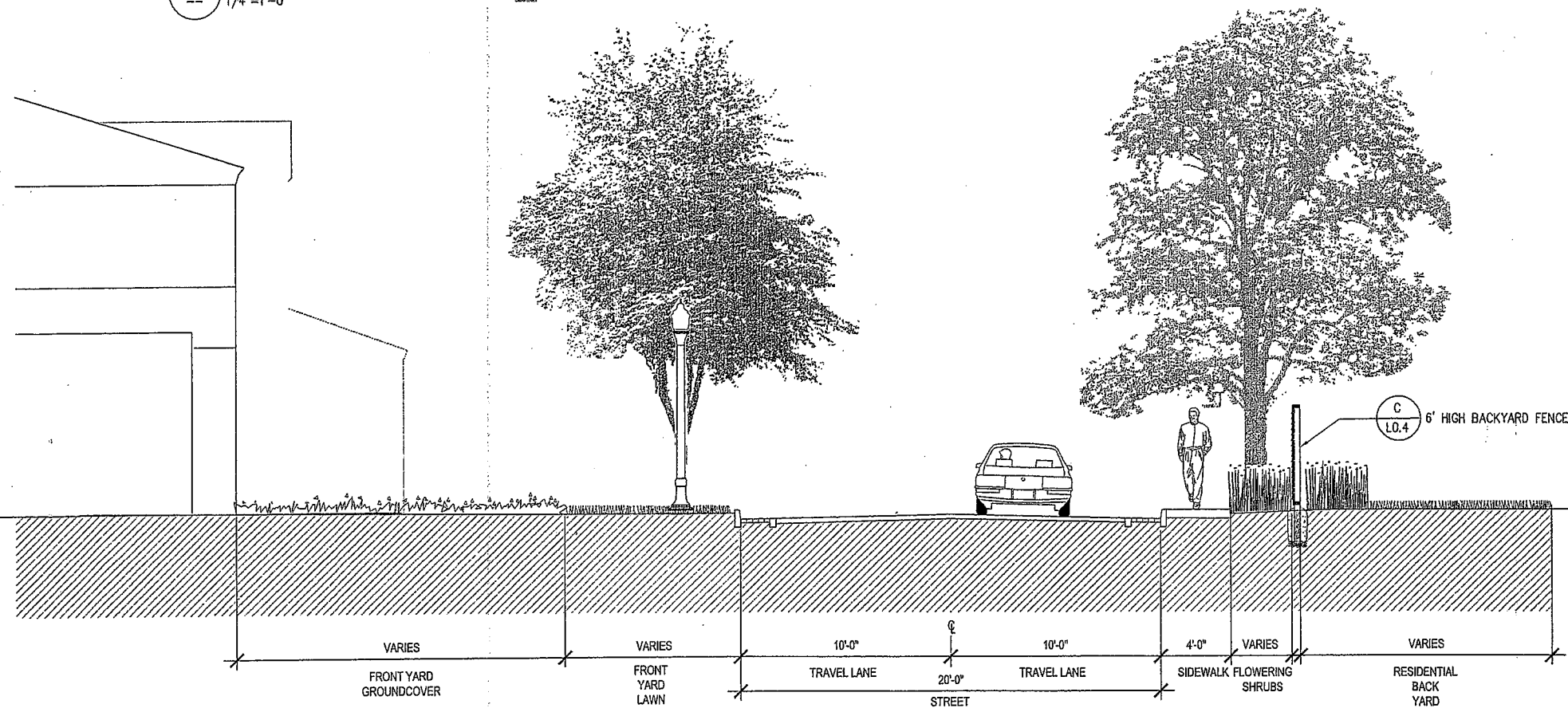
**L0.2**



**HMH**  
ENGINEERS



**A** LANDSCAPE STREET SECTION  
1/4" = 1'-0"



**B** LANDSCAPE STREET SECTION  
1/4" = 1'-0"

# VILLA FELICE

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Los Gatos, CA 95030



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DEVELOPMENT**  
*An affiliate of Robson Communities*

2185 The Alameda  
San Jose, CA 95126  
408.345.1767

SCALE: AS SHOWN

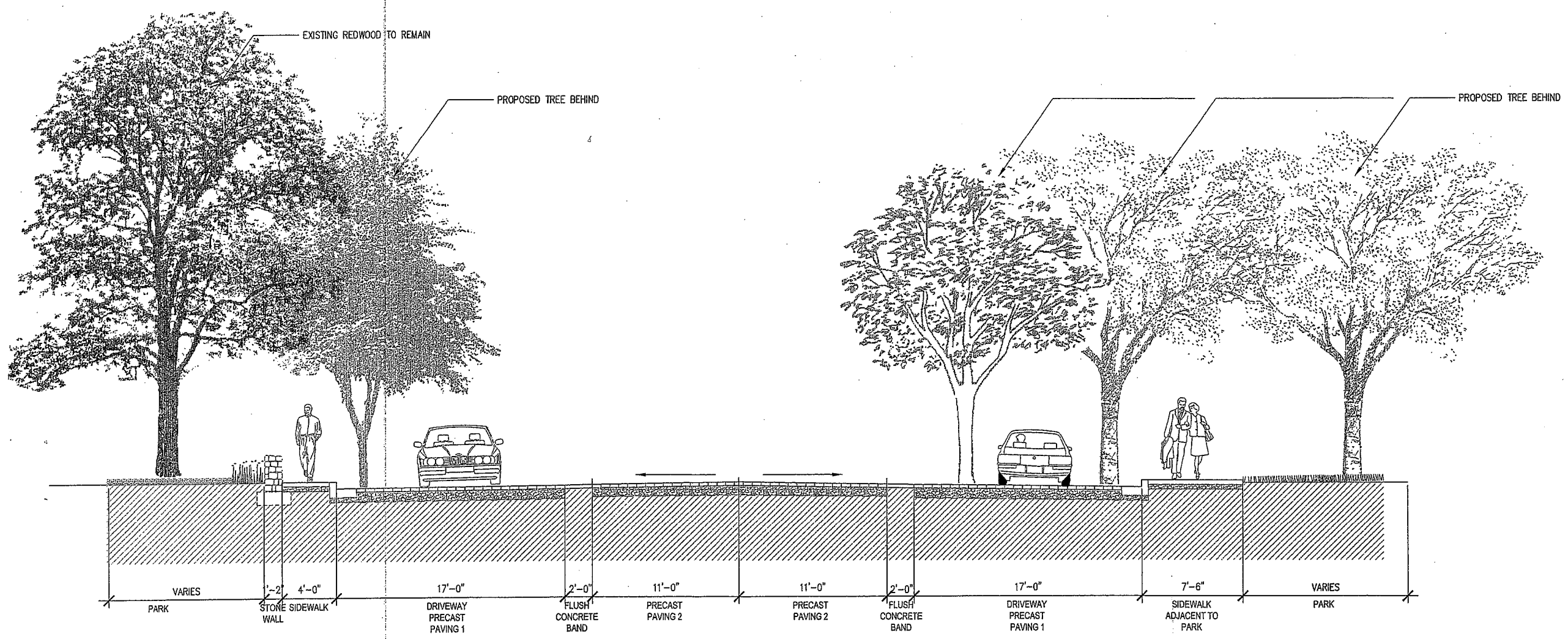
01/10/05

NORTH  
SHEET #:



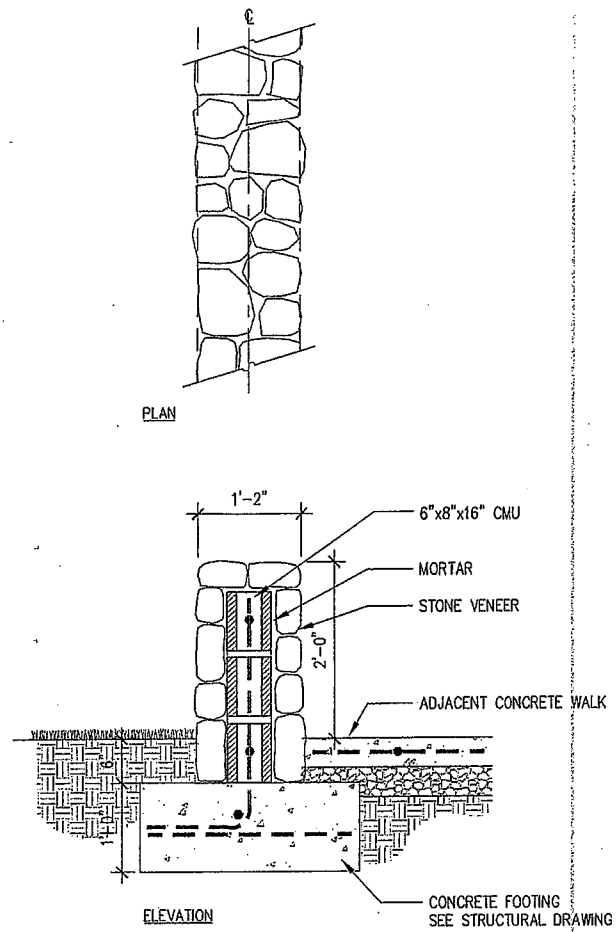
LANDSCAPE  
SECTIONS

**L0.3**

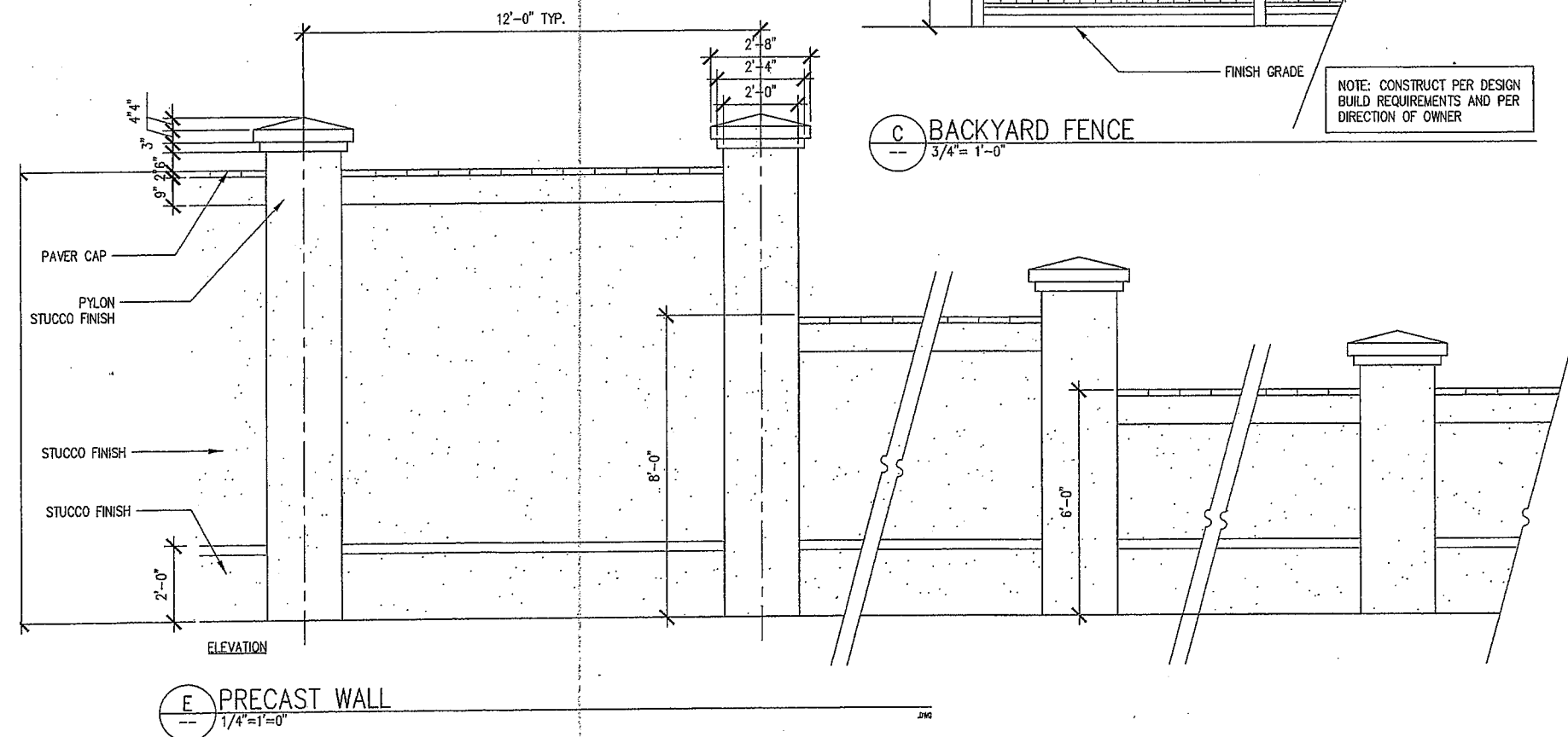
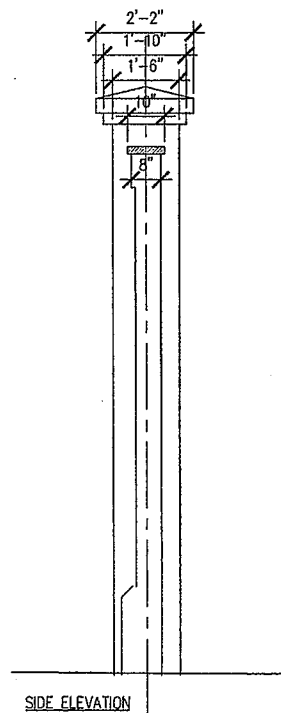
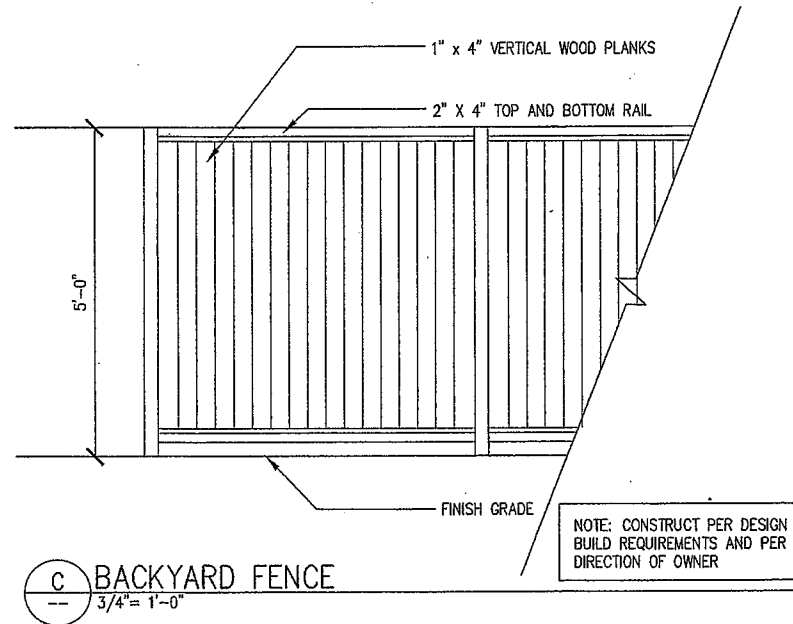
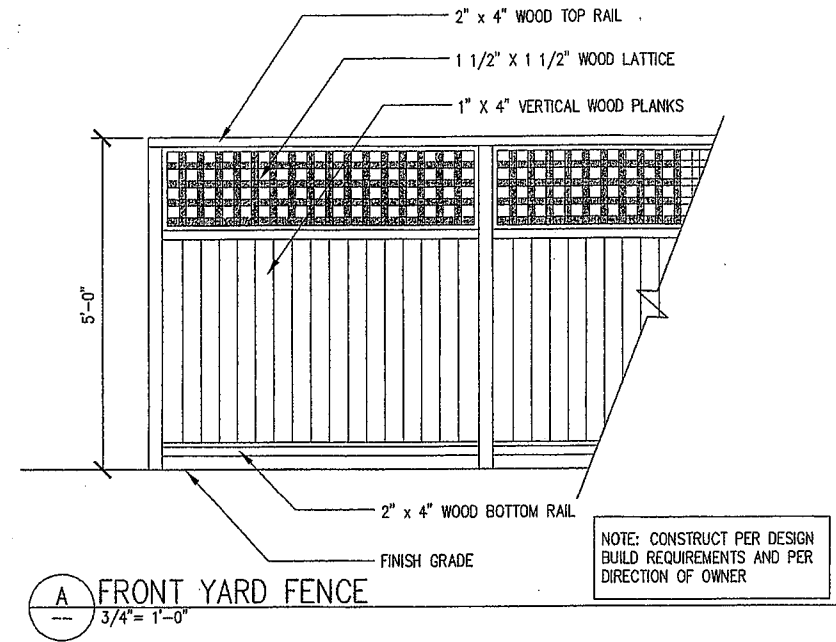
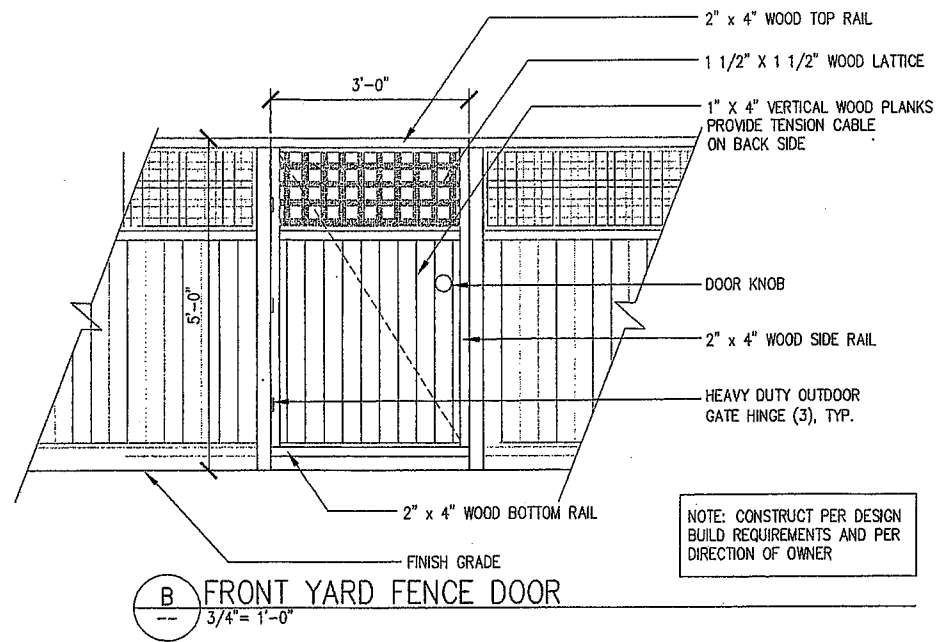


**A** LANDSCAPE STREET SECTION AT ROTARY  
1/4"=1'-0"





**D** LOW STONE WALL  
1" = 1'-0"



# VILLA FELICE

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Los Gatos, CA 95030



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2185 The Alameda  
San Jose, CA 95126  
408.345.1767

AS SHOWN

01/10/05

NORTH

SHEET #:

LANDSCAPE  
DETAILS

**L0.4**



**HMH**  
ENGINEERS



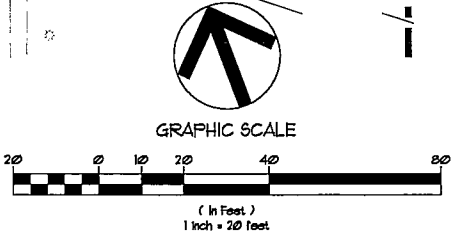
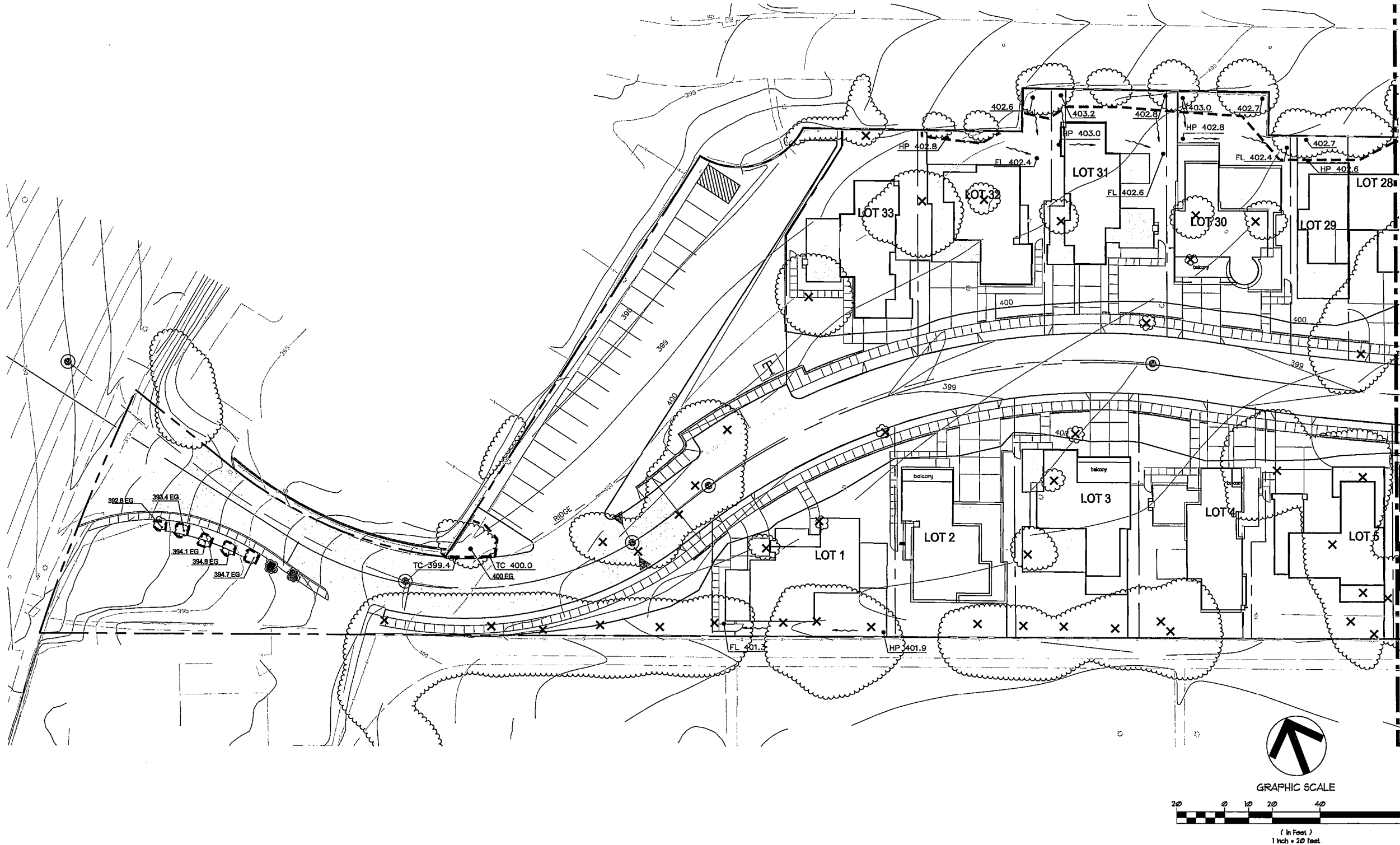
NOTES  
1. SEE SHEET TP-3 FOR TREE PROTECTION FENCING DETAIL, MATRIX AND NOTES.  
2. EXISTING GRADES AT EXISTING TREE TRUNKS ARE INTERPOLATED AND ARE APPROXIMATE.

TREE #'S TO BE RELOCATED ON-SITE: 123, 124

TREE #'S TO PROTECT (ON-SITE ONLY LISTED):  
118-122, 169, 171, 174, 175, 180, 182-194, 203,  
253-256, 270

LEGEND

- EXISTING TREE TO PROTECT
- EXISTING TREE TO REMOVE
- EXISTING TREE TO RELOCATE
- EXISTING TREE NOT TAGGED
- TREE PROTECTION FENCING
- TREE NUMBER
- HP HIGH POINT
- FL FLOW LINE
- TC TOP OF CURB
- BOW BACK OF WALK
- EG EXISTING GRADE (APPROXIMATE AT EXISTING TREE TRUNK)
- FLOW DIRECTION



VILLA FELICE

Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030



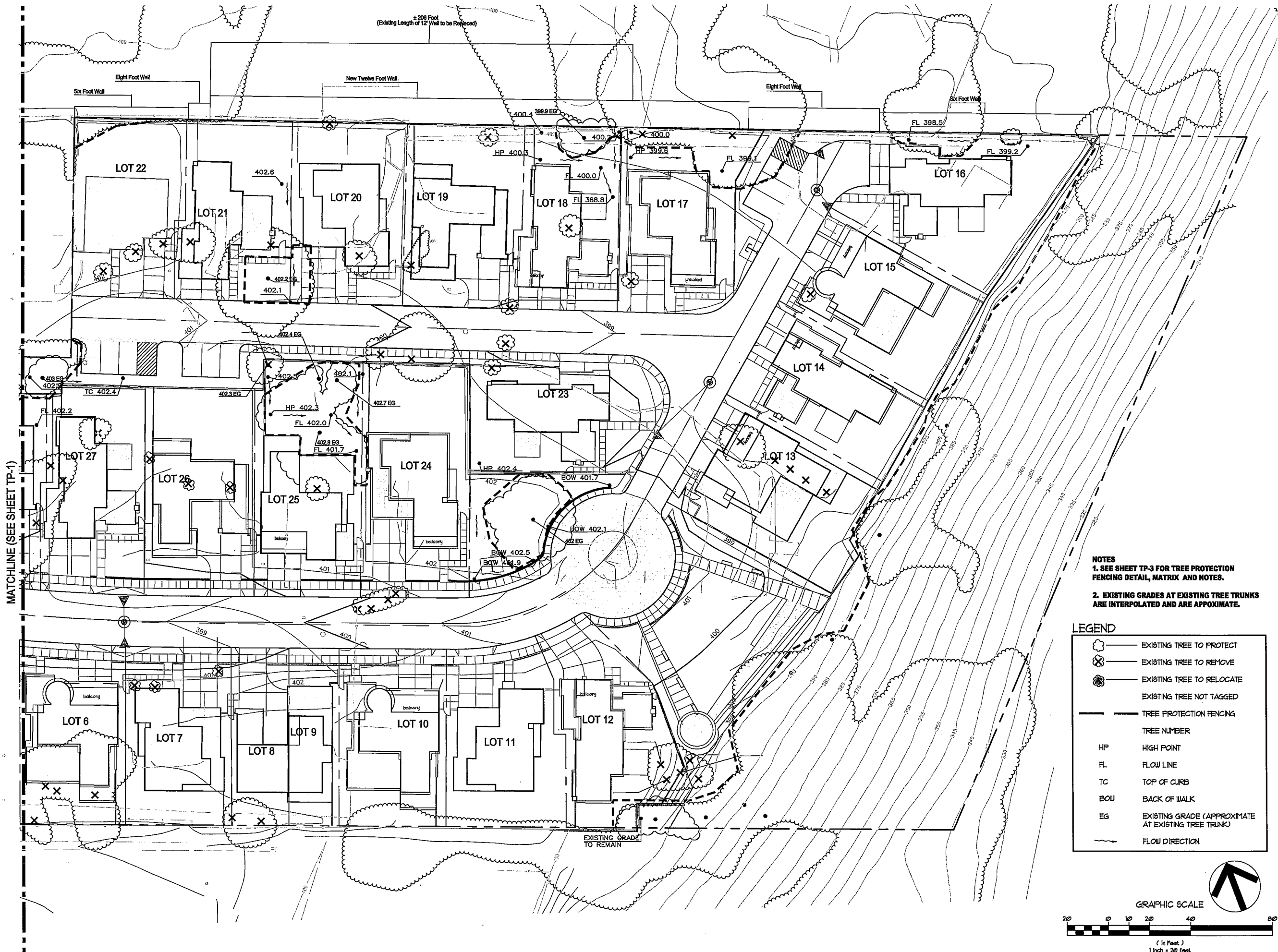
SANTA CLARA  
DEVELOPMENT  
An affiliate of Robeson Communities

2185 The Alameda  
San Jose, CA 95126  
408.345.1767

|               |            |
|---------------|------------|
| REVISION:     |            |
| REVISION:     |            |
| DRAWING NAME: | 326300 TPP |
| SCALE:        | 1"=20'     |

NORTH  
SHEET #: TP-1  
DATE: 3/30/05  
CONCEPTUAL TREE  
PROTECTION PLAN



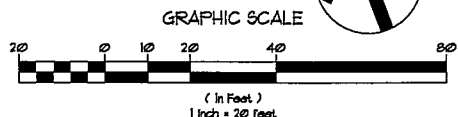


MATCHLINE (SEE SHEET TP-1)

- NOTES**
- SEE SHEET TP-3 FOR TREE PROTECTION FENCING DETAIL, MATRIX AND NOTES.
  - EXISTING GRADES AT EXISTING TREE TRUNKS ARE INTERPOLATED AND ARE APPROXIMATE.

**LEGEND**

- EXISTING TREE TO PROTECT
- EXISTING TREE TO REMOVE
- EXISTING TREE TO RELOCATE
- EXISTING TREE NOT TAGGED
- TREE PROTECTION FENCING
- TREE NUMBER
- HIGH POINT
- FLOW LINE
- TOP OF CURB
- BACK OF WALK
- EXISTING GRADE (APPROXIMATE AT EXISTING TREE TRUNK)
- FLOW DIRECTION



# VILLA FELICE

Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030



2185 The Alameda  
San Jose, CA 95126  
408.345.1767

REVISION:  
REVISION:  
DRAWING NAME: 326300 TPP  
SCALE: 1"=20'  
NORTH  
SHEET #: TP-2  
DATE: 3/30/05  
CONCEPTUAL TREE PROTECTION PLAN



TREE SURVEY

(PREPARED BY HORTSCIENCE  
4125 MOHR AVENUE, SUITE F  
FLEASANTON, CA 94566  
1/19/04)

| TREE SPECIES<br>No.   | TRUNK<br>DIAMETER<br>(inches) | HEIGHT | CROWN<br>SPREAD | CONDITION<br>1=POOR<br>5=EXCELLENT | SUITABILITY<br>FOR<br>PRESERVATION | COMMENTS   |
|-----------------------|-------------------------------|--------|-----------------|------------------------------------|------------------------------------|--|
| 115 Coast redwood     | 30                            | 75     | 20              | 3                                  | Good                               | Bow in base of trunk.  |
| 116 Coast redwood     | 31                            | 70     | 24              | 4                                  | Good                               | Straight trunk, dense foliage.                               |
| 117 Coast live oak    | 12                            | 22     | 22              | 3                                  | Moderate                           | Thin foliage; leaves damaged by gall wasp.                   |
| 118 Italian cypress   | 13                            | 35     | 6               | 4                                  | Good                               | Good form.   |
| 119 Italian cypress   | 13                            | 35     | 5               | 4                                  | Good                               | Good form.   |
| 120 Italian cypress   | 10                            | 35     | 4               | 4                                  | Good                               | Good form.   |
| 121 Italian cypress   | 8,6                           | 35     | 5               | 4                                  | Good                               | Good form.   |
| 122 Italian cypress   | 12                            | 35     | 5               | 4                                  | Good                               | Good form.   |
| 123 Italian cypress   | 11                            | 35     | 4               | 4                                  | Good                               | Good form.   |
| 124 Italian cypress   | 10                            | 35     | 6               | 4                                  | Good                               | Good form.   |
| 125 Monterey pine     | 22                            | 30     | 25              | 3                                  | Moderate                           | Two trunks join at 5'.                                       |
| 126 Monterey pine     | 25                            | 32     | 40              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth.                          |
| 127 Monterey pine     | 21                            | 35     | 45              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth.                          |
| 128 Monterey pine     | 26                            | 40     | 35              | 2                                  | Poor                               | Two trunks join at 5'; red turpentine beetle.                |
| 129 Monterey pine     | 25                            | 45     | 40              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth; red turpentine beetle.   |
| 130 Monterey pine     | 22                            | 30     | 30              | 3                                  | Moderate                           | Trunk wound east side.                                       |
| 131 Monterey pine     | 20                            | 35     | 45              | 3                                  | Moderate                           | Trunk leans east.  |
| 132 Monterey pine     | 33                            | 35     | 45              | 3                                  | Moderate                           | Foliage sparse, sequoia pitch moth.                          |
| 133 Monterey pine     | 24                            | 35     | 40              | 3                                  | Moderate                           | Foliage sparse, sequoia pitch moth; hip canker.              |
| 134 Monterey pine     | 23                            | 30     | 30              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth.                          |
| 135 Monterey pine     | 24                            | 35     | 35              | 3                                  | Poor                               | Foliage sparse, sequoia pitch moth; red turpentine beetle.   |
| 136 Monterey pine     | 16                            | 30     | 24              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth; lower branches removed.  |
| 137 Monterey pine     | 27                            | 45     | 45              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth; basal hip canker.        |
| 138 Monterey pine     | 20                            | 40     | 30              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth.                          |
| 139 Monterey pine     | 23                            | 25     | 25              | 1                                  | Poor                               | Was topped to 25'.   |
| 140 Monterey pine     | 25                            | 50     | 35              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth; red turpentine beetle.   |
| 141 Monterey pine     | 15                            | 45     | 20              | 3                                  | Moderate                           | Straight trunk; good form.                                   |
| 142 Monterey pine     | 23                            | 40     | 25              | 3                                  | Poor                               | Leans south; basal trunk wound.                              |
| 143 Monterey pine     | 27                            | 50     | 35              | 2                                  | Poor                               | Lower branches removed, high crown.                          |
| 144 Monterey pine     | 23                            | 50     | 25              | 2                                  | Poor                               | Lower branches removed, high crown.                          |
| 145 Monterey pine     | 25                            | 45     | 18              | 2                                  | Poor                               | Lower branches removed, high crown.                          |
| 146 Monterey pine     | 28                            | 45     | 35              | 3                                  | Poor                               | Lower branches removed, high crown.                          |
| 147 Monterey pine     | 25                            | 50     | 30              | 3                                  | Poor                               | Two trunks join at 5'.                                       |
| 148 Monterey pine     | 26                            | 45     | 30              | 2                                  | Poor                               | Lower branches removed, high crown.                          |
| 149 Monterey pine     | 26                            | 50     | 35              | 3                                  | Poor                               | Lower branches removed, high crown.                          |
| 150 Monterey pine     | 23                            | 35     | 20              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth; red turpentine beetle.   |
| 151 Monterey pine     | 15                            | 30     | 18              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth; red turpentine beetle.   |
| 152 Italian cypress   | 10                            | 30     | 5               | 4                                  | Good                               | Dense foliage, good form.                                    |
| 153 Italian cypress   | 14                            | 30     | 7               | 4                                  | Good                               | Dense foliage, good form.                                    |
| 154 Monterey pine     | 22                            | 35     | 35              | 3                                  | Poor                               | Foliage sparse, sequoia pitch moth.                          |
| 155 Monterey pine     | 29                            | 45     | 45              | 3                                  | Poor                               | Foliage sparse, sequoia pitch moth.                          |
| 156 Monterey pine     | 29                            | 40     | 35              | 2                                  | Poor                               | Two trunks join at 4'; included bark; red turpentine beetle. |
| 157 Torrey pine       | 29                            | 35     | 35              | 3                                  | Moderate                           | Leans north-west.  |
| 158 Coast redwood     | 15                            | 32     | 24              | 3                                  | Moderate                           | Poor leaf color.   |
| 159 Coast redwood     | 12                            | 32     | 24              | 3                                  | Moderate                           | Poor leaf color.   |
| 160 Coast redwood     | 11                            | 30     | 24              | 3                                  | Moderate                           | Poor leaf color.   |
| 162 Monterey pine     | 21                            | 30     | 35              | 3                                  | Poor                               | Leans south.   |
| 165 Monterey pine     | 26                            | 35     | 40              | 3                                  | Poor                               | Foliage sparse, sequoia pitch moth.                          |
| 166 Monterey pine     | 25                            | 30     | 35              | 2                                  | Poor                               | Foliage sparse, sequoia pitch moth.                          |
| 167 Beechwood         | 6,5,4,4                       | 25     | 20              | 2                                  | Poor                               | Multi-stemmed at base.                                       |
| 168 Deodar cedar      | 14                            | 30     | 30              | 3                                  | Moderate                           | Foliage sparse; good form.                                   |
| 169 Coast redwood     | 17                            | 40     | 20              | 3                                  | Moderate                           | Poor color; good form.                                       |
| 170 Coast redwood     | 12                            | 35     | 25              | 3                                  | Moderate                           | Poor color; good form.                                       |
| 171 Deodar cedar      | 31                            | 50     | 50              | 4                                  | Good                               | Good color and form.   |
| 172 Holly             | 7                             | 12     | 7               | 2                                  | Poor                               | One-half of trunk dead at base.                              |
| 173 Coast redwood     | 13                            | 45     | 25              | 3                                  | Moderate                           | Poor color; good form.                                       |
| 174 Coast redwood     | 10                            | 24     | 14              | 3                                  | Moderate                           | Poor color; good form.                                       |
| 175 Coast redwood     | 14                            | 45     | 22              | 3                                  | Moderate                           | Poor color; good form.                                       |
| 176 Coast live oak    | 9                             | 18     | 18              | 3                                  | Moderate                           | Foliage sparse, gall wasp damaged.                           |
| 178 Hollywood juniper | 9                             | 20     | 15              | 2                                  | Poor                               | Foliar dieback.  |
| 179 Hollywood juniper | 16,8                          | 25     | 20              | 3                                  | Moderate                           | Full crown.  |
| 180 Deodar cedar      | 31                            | 45     | 55              | 5                                  | Good                               | Mature form; moderate interior dead branches.                |
| 182 Coast redwood     | 49                            | 55     | 45              | 3                                  | Moderate                           | Poor color, good form.                                       |
| 183 Coast live oak    | 24,16,12                      | 35     | 45              | 3                                  | Moderate                           | Ivy covering scaffold branches.                              |
| 184 Coast live oak    | 14                            | 22     | 18              | 3                                  | Moderate                           | Ivy covering scaffold branches.                              |
| 185 Valley oak        | 27                            | 45     | 55              | 3                                  | Moderate                           | Crown asymmetrical; heavy to south.                          |
| 186 Coast live oak    | 10                            | 18     | 15              | 4                                  | Good                               | Lower branches were removed.                                 |

| TREE SPECIES<br>No. | TRUNK<br>DIAMETER<br>(inches) | HEIGHT | CROWN<br>SPREAD | CONDITION<br>1=POOR<br>5=EXCELLENT | SUITABILITY<br>FOR<br>PRESERVATION | COMMENTS |
|---------------------|-------------------------------|--------|-----------------|------------------------------------|------------------------------------|----------|
|---------------------|-------------------------------|--------|-----------------|------------------------------------|------------------------------------|----------|

TREE PRESERVATION GUIDELINES

TREE PROTECTION NOTES FROM TREE REPORT PREPARED BY HORTSCIENCE INC.

THE FINAL DESIGN SHALL INCORPORATE THE FOLLOWING DESIGN RECOMMENDATIONS.

1. A TREE PROTECTION ZONE (TPZ) SHALL BE ESTABLISHED AROUND EACH TREE. FOR DESIGN PURPOSES THE TPZ SHALL BE DEFINED AT THE EDGE OF THE DRIPLINE. NO GRADING, EXCAVATION, CONSTRUCTION OR STORAGE OF MATERIALS SHALL OCCUR WITHIN THAT ZONE. WHEN TRUNKS ARE ACCURATELY LOCATED AND DEVELOPMENT PLANS REFINED, THE CONSULTING ARBORIST WILL IDENTIFY SPECIFIC TREE PROTECTION ZONES FOR EACH TREE.

2. NO UNDERGROUND SERVICES INCLUDING UTILITIES, SUB-DRAINS, WATER OR SEWER SHALL BE PLACED IN THE TPZ.

3. TREE PRESERVATION NOTES, PREPARED BY THE CONSULTING ARBORIST, SHOULD BE INCLUDED ON ALL PLANS.

4. ANY HERBICIDES PLACED UNDER PAVING MATERIALS MUST BE SAFE FOR USE AROUND TREES AND LABELED FOR THAT USE.

5. IRRIGATION SYSTEMS MUST BE DESIGNED SO THAT NO TRENCHING WILL OCCUR WITHIN THE TPZ.

PRE-CONSTRUCTION TREATMENTS AND RECOMMENDATIONS:

1. THE CONSTRUCTION SUPERINTENDENT SHALL MEET WITH THE CONSULTING ARBORIST BEFORE BEGINNING WORK TO DISCUSS WORK PROCEDURES AND TREE PROTECTION.

2. FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TPZ PRIOR TO DEMOLITION GRUBBING OR GRADING. FENCES SHALL BE 6 FT CHAIN LINK OR EQUIVALENT AS APPROVED BY CONSULTING ARBORIST. FENCES ARE TO REMAIN UNTIL ALL GRADING AND CONSTRUCTION IS COMPLETED.

3. PRUNE TREES TO BE PRESERVED TO CLEAN THE CROWN AND TO PROVIDE CLEARANCE. ALL PRUNING SHALL BE COMPLETED BY A CERTIFIED ARBORIST OR TREE WORKER AND ADHERE TO THE BEST MANAGEMENT PRACTICES FOR PRUNING OF THE INTERNATIONAL SOCIETY OR ARBORCULTURE. BRUSH SHALL BE CHIPPED AND SPREAD BENEATH THE TREES WITHIN THE TPZ.

RECOMMENDATIONS FOR TREE PROTECTION DURING CONSTRUCTION

1. NO GRADING, CONSTRUCTION, DEMOLITION OR OTHER WORK SHALL OCCUR WITHIN THE TPZ. ANY MODIFICATIONS MUST BE APPROVED AND MONITORED BY THE CONSULTING ARBORIST.

2. ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSED SHALL RECEIVE THE PRIOR APPROVAL OF, AND BE SUPERVISED BY, THE CONSULTING ARBORIST.

3. SUPPLEMENTAL IRRIGATION SHALL BE APPLIED AS DETERMINED BY THE CONSULTING ARBORIST.

4. IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION, IT SHOULD BE EVALUATED AS SOON AS POSSIBLE BY THE CONSULTING ARBORIST SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.

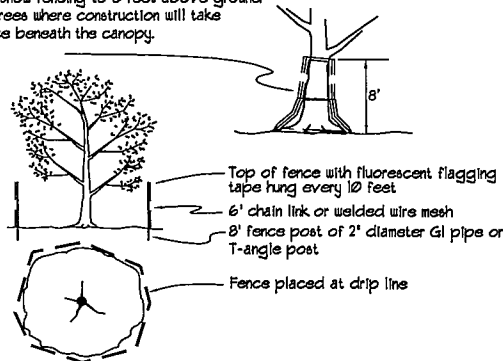
5. NO EXCESS SOIL, CHEMICALS, DEBRIS, EQUIPMENT OR OTHER MATERIALS SHALL BE DUMPED OR STORED WITHIN THE TPZ.

6. ANY ADDITIONAL TREE PRUNING NEEDED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A CERTIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.

NOTES:

Construction period protection for trees should be provided before grading or other equipment is allowed on the property. When construction is to take place beneath a tree canopy on one side, the fence should be sited 2 to 3 feet beyond that construction, but between construction and the tree trunk. If construction or paving is to take place throughout the area beneath canopy, and drip line fencing is not practical, snow fencing should be used to protect the trunks from damage.

SNOW FENCING Three layers of wire and 14th snow fencing to 8 feet above ground on trees where construction will take place beneath the canopy.



A TYP. TREE PRESERVATION DETAIL  
SCALE: NTS

VILLA  
FELICE

Project Address:  
15350 Winchester Blvd.  
Los Gatos, CA 95030



SANTA CLARA  
DEVELOPMENT  
An affiliate of Fluorban Construction

2185 The Alameda  
San Jose, CA 95126  
408.345.1767

REVISION:

REVISION:

DRAWING NAME: 326300 TPP

NORTH

SHEET #: TP-3

DATE: 1/10/05

CONCEPTUAL TREE  
PROTECTION PLAN NOTES &  
DETAILS

