

ORDINANCE 2193

**ORDINANCE OF THE TOWN OF LOS GATOS
AMENDING THE ZONING ORDINANCE EFFECTING A ZONE
CHANGE FROM R-1:8 TO R-1:8:PD AT 15881 LINDA AVENUE
AND A PORTION OF 15950 STEPHENIE LANE**

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS
FOLLOWS:

SECTION I

The Town Code of the Town of Los Gatos is hereby amended to change the zoning at 15881 Linda Avenue (APN 523-25-052) and a portion of 15950 Stephenie Lane (APN 523-25-051) as shown on the map which is attached hereto marked Exhibit A and is part of this Ordinance from R-1:8 (Single Family Residential, 1 to 5 dwelling units per acre), to R-1:8:PD (Single Family Residential, 1 to 5 dwelling units per acre, Planned Development).

SECTION II

The PD (Planned Development Overlay) zone established by this Ordinance authorizes the following construction and use of improvements:

1. Demolition of a single-family residence and a nonpermitted second dwelling unit;
2. Construction of seven single family residences; and
3. Landscaping, streets, parking, open space and other site improvements shown and required on the Official Development Plan.
4. Uses permitted are those specified in the underlying R-1 (Single Family Residential) zone by Sections 29.40.385 (Permitted Uses) and 29.20.185 (Conditional Uses) of the Zoning Ordinance, as those sections exist at the time of the adoption of this Ordinance, or as they may be amended in the future, subject to any restrictions or other requirements specified elsewhere in this ordinance including, but not limited to, the Official

Development Plan. However, no use listed in Section 29.20.185 is allowed unless specifically authorized by this Ordinance, or by Conditional Use Permit.

SECTION III

COMPLIANCE WITH OTHER DEVELOPMENT STANDARDS

All provisions of the Town Code apply, except when the Official Development Plan specifically shows otherwise.

SECTION V

The attached Exhibit A (Map) and Exhibit B (Development Plans, 26 sheets), are part of the Official Development Plan. The following must be complied with before issuance of any grading, demolition or construction permits:

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

(Planning Division)

1. **ARCHITECTURE AND SITE APPROVAL REQUIRED.** The Official Development Plans and this ordinance establish the allowed uses and intensity of development. The Official Development Plans are conceptual in nature such that minor deviations may be approved through the Architecture and Site approval process if necessary to achieve architectural excellence. The Planning Commission shall be the deciding body of the Architecture and Site applications.
2. **BMP.** Prior to final occupancy of each unit, the applicant shall pay the Below Market Price (BMP) as established by Town Council Resolution.
3. **HOUSE SIZE.** The footprint, square footage and height of each house shall be consistent with the Development Plans as shown in Exhibit B.
4. **TREE REMOVAL PERMIT.** A Tree Removal Permit shall be obtained prior to the issuance of a Building, Grading or Encroachment Permit.
5. **RECYCLING.** All wood, metal, glass, and aluminum materials generated from the demolished structure shall be deposited to a company which will recycle the materials. Receipts from the company(s) accepting these materials, noting type

and weight of material, shall be submitted to the Town prior to the Town's demolition inspection.

6. ¹ SAN FRANCISCO DUSKY FOOTED WOODRAT – NESTS ENCOUNTERED.

Require that a qualified biologist examine the project area before and during any initial vegetation, woody debris, and/or tree removal, or other initial ground disturbing activities. If a dusky footed woodrat nest/house structure is encountered in the area of disturbance, avoid disturbing the structure or evicting the individuals. Install a protective exclusion zone around any woodrat nest found within the project area before initiating tree/vegetation removal and ground disturbing activities. Applicant shall provide the preconstruction survey to the Community Development Department and report of periodic inspection during construction to ensure protective fencing is in place.

7. ²SAN FRANSICSO DUSKY FOOTED WOODRATS ENCOUNTERED. If a woodrat is incidentally encountered in the work area and does not voluntarily move out of the area, a biological monitor, with the appropriate California Department of Fish and Game (CDFG) permits, shall relocate the animal out of the construction area to the nearest safe location (as approved and authorized by CDFG). Prior to relocating any woodrats, a suitable release site shall be created on site, and approved by CDFG. Applicant shall provide a letter report to the Community Development Department from the biologist and/or CDFG staff that documents the consultation with and approval by CDFG of an onsite relocation area if woodrat nest is encountered.

8. ³IMPACTS TO NESTING BIRDS AND BATS. Implement the following measures prior to tree removal or construction.

- Conduct tree removal operations between September 1 and October 15, before special status bats have established seasonal roost locations. This will prevent harming potential fall/winter hibernacula (October 15-February 15) and spring/ summer maternity colonies (April 1-September 1). If removal cannot

¹ Mitigation Measure 2B-1

² Mitigation Measure 2B-2

³ Mitigation Measure 2B-3

take place during these periods, require a qualified biologist to conduct a pre-construction survey for bats. Winter hibernacula surveys should be conducted between October 15 and February 15 to determine if bats are utilizing the site for winter roosting. Maternity roost surveys should be conducted over 4 visits between mid April and early May, when bats are establishing maternity roosts, but before pregnant females generally give birth, to determine if a maternity roost is being established. For any trees/snags that could provide roosting space for cavity or foliage-roosting bats, thoroughly evaluate the trees/snags and foliage to determine if a colony is present prior to trimming or cutting. Visual inspection, trapping, and acoustic surveys may be utilized as initial techniques.

- If a tree is determined not to be an active roost site, it may be immediately pruned or removed. If the tree is not trimmed or removed within four days of the survey, repeat night survey efforts.
- If roosting bats are found, coordinate with CDFG to develop and implement acceptable passive exclusion methods. Authorization from CDFG will be necessary to evict winter hibernacula areas for bats. Have a qualified biologist, in the possession of an applicable CDFG Memorandum of Understanding, humanely remove roosting bats if they are not successfully excluded.
- If established maternity colonies are found, protect pre-volant young from construction noise by creating a minimum 100 foot buffer around the colony until the young can fly or consult with California Department of Fish and Game for other acceptable measures of avoidance. It is assumed that after September 1 colonies have no pre-volant young.
- Removal of any occupied tree/snag, if necessary, shall be mitigated for by the creation of a snag or other artificial roost structure within suitable habitat located in the project area. The creation of snags/roost structures, if necessary, will take place during tree removal activities to avoid disturbance of nesting birds/roosting bats. Applicant shall provide the preconstruction survey to the Community Development Department and report of periodic inspections

during construction to ensure construction buffers, if required are in place. Applicant shall provide report on creation of a snag or artificial roost structure if required.

9. ⁴MIGRATORY BIRD NESTING. Conduct tree removal activities between September 1 and January 1, outside of nesting bird season. For tree removal or construction activities scheduled to occur during the period from February through August, a qualified ornithologist and/or biologist will conduct nesting bird surveys no more than 15 days before tree removal and/or before construction begins. Surveys shall include the project site and a 300-foot-wide buffer (where accessible) to examine nearby tree stands and structures for special-status birds, and all birds (and their nests) protected under the Migratory Bird Treaty Act (MBTA). If an active nest is found, delay project activities until a qualified biologist determines that young have fledged from active nest site or consult with CDFG prior to commencing any activity within 300 feet of the nest area as set forth in the Streambed Alteration Agreement issued by CDFG. If nesting birds are not found, no further action would be necessary, and tree removal and construction may proceed. Applicant shall provide the pre-construction survey to the Community Development Department. If nesting birds are found, applicant shall provide documentation to the Community Development Department that demonstrates compliance with actions specified in the measure (i.e., delay construction or consult with CDFG).
10. ⁵SNAGS. Retain existing snags and/or dead limbs within the riparian habitat and setback area to provide potential nesting habitat for cavity-nesting birds. Applicant shall provide letter report to the Community Development Department from the biologist that documents the compliance with the measure.
11. ⁶TREE REMOVAL AND TRANSPLANTING. Require implementation of all recommendations provided by the Town's consulting arborist (Arbor Resources, February 5, 2007) and require an independent arborist review of the site plans to verify recommendations have been included on the plans and implemented during

⁴ Mitigation Measure 2C-1

⁵ Mitigation Measure 2C-2

⁶ Mitigation Measure 2E-1

construction. The arborist report includes a measure requiring tree transplanting by a qualified tree professional under the supervision of a certified arborist, and shall also include measures for irrigation prior to, during, and after transplanting and shall specify replacement trees if the transplanted trees do not survive within 5 years. Applicant shall provide a letter report to the Community Development Department from a certified arborist documenting compliance with all arborist report recommendations after tree removal and transplanting has been completed and again at five years from transplanting.

12. ⁷TREE REPLACEMENT. Require planting of three additional 36-inch box trees as part of the project landscaping plan and payment of fees into the Town Forestry Fund as required by Town regulations. Payment of fees shall be made prior to issuance of the building permit, and installation of the three additional trees shall occur prior to final occupancy permit.
13. ⁸NOISE. The proposed six-foot high, solid wood “Good Neighbor” fence along the east side of Lot 1 and south side of Lot 5 shall be constructed as early as possible (prior to project grading activities if possible) to help reduce construction noise at existing adjacent residences.
14. ⁹RIPARIAN ENHANCEMENT PLAN MEASURES. Implement all measures outlined in the Linda Avenue Riparian Enhancement Plan developed by H.T. Harvey and Associates (2008) and revise the enhancement plan to reflect the revised edge of the riparian canopy and setback as set forth in this EIR. For understory enhancement, include a variety of native shrubs and vines (e.g. Pacific blackberry, elderberry, snowberry, wild rose) that provide understory structure, a food base, and cover for wildlife.
15. ¹⁰REMOVAL OF TREE #92. When removing the large eucalyptus tree, the roots will be left in place to avoid disturbing the root mass armoring the southern bank of Ross Creek, to prevent erosion and promote creek bank stability in this area.

⁷ Mitigation Measure 2E-2

⁸ Mitigation Measure IS-3

⁹ EIR Recommended Condition of Approval

¹⁰ Ibid.

16. ¹¹SNAG FEATURES FOR TREES #80, #83, #87 & #92. The trunks, lower limbs, crotches, and notches of non-native trees currently proposed for removal (Trees #80, #87, #83, and #92) can be killed in place and left to provide snag features for wildlife habitat.
17. ¹²RIPARIAN HABITAT AND SETBACK PROTECTION. Implement the following measures during construction to protect the riparian habitat and setback during construction.
 - Riparian habitat shall be designated as a sensitive area and clearly shown on construction plans. Orange construction fencing shall be installed upslope of the outer edge of the riparian setback and shall not be disturbed except as required for installation of the bioswales and outfall.
 - Require all access routes, staging areas, stockpile areas, and equipment maintenance areas to be located outside of the riparian corridor and setback area.
 - Construction materials and equipment shall not be stockpiled or stored where they could be washed into the water or cover aquatic or riparian vegetation.
18. ¹³EXTERIOR LIGHTING. Design exterior lighting so that it is directed to the ground and not directed toward the riparian corridor.
19. ¹⁴OUTFALL. Final drainage plan design details shall include outfall details that conform to Design Guide 12 of the Santa Clara Valley Water Resources Protection Collaborative's "Guidelines for Land Uses Near Streams".
20. ¹⁵WATER QUALITY- CC&R's. The project's CC&Rs shall require regular inspection and maintenance of the bioswales and drainage system improvements consistent with the Town of Los Gatos "Engineering Design Standards."
21. ARCHAEOLOGICAL. In the event archaeological traces are encountered, all construction within a 50 meter radius of the find shall be halted, the Director of

¹¹ Ibid.

¹² Ibid.

¹³ Ibid.

¹⁴ Ibid.

¹⁵ Ibid.

Community Development shall be notified and an archaeologist shall be retained to examine the find and make appropriate recommendations.

22. NATIVE AMERICAN REMAINS. If human remains are discovered, the Santa Clara County Coroner shall immediately be notified. The Coroner will determine whether or not the remains were Native American. If the Coroner determines that the remains are not subject to his or her authority, the Coroner shall notify the Native American Heritage Commission, who would attempt to identify descendants of the deceased Native American.
23. ARCHAEOLOGICAL FIND. If the Director of Community Development finds that the archaeological find is not a significant resource, work will resume only after the submittal of a preliminary archaeological report and after provision for reburial and ongoing monitoring are accepted. Provisions for identifying descendants of a deceased Native American and for reburial will follow the protocol set forth in Section 15064.5 of the CEQA Guidelines. If the site is found to be a significant archaeological site, a mitigation program must be prepared and submitted to the Director of Community Development for consideration and approval, in conformance with the protocol set forth in Public Resources Code Section 21083.2.
24. FINAL ARCHAEOLOGICAL REPORT. A final report shall be prepared at the applicant's cost when a find is determined to be a significant archaeological site and/or when Native American remains are found on the site. The final report shall include background information on the completed work, a description and list of identified resources, the disposition and curation of these resources, any testing, other recovered information, and conclusions.
25. ARBORIST REPORT. The applicant shall implement the 29 recommendations provided by the Town's Consulting Arborist, Arbor Resources, in the report dated February 5, 2007. These recommendations are included as Attachment 1 of the Initial Study.
26. GOOD NEIGHBOR FENCE. The proposed six foot high, solid wood "Good Neighbor" fence along the east side of Lot 1 and south side of Lots 5 and 6 shall

- be constructed as early as possible (prior to project grading activities if possible) to help reduce construction noise at existing adjacent residences.
27. CC&R's – SANTA CLARA VALLEY WATER DISTRICT. The CC&R's shall be reviewed and accepted by the Town of Los Gatos and the Santa Clara Valley Water District, and shall include statements of homeowner responsibilities as may be provided by the Santa Clara Valley Water District.
 28. CC&R's. RIPARIAN CORRIDOR CC&R's shall include a statement regarding the responsibilities of living next to a riparian corridor, the limitations on the uses of the rear yards for Lots 1 through 4. The CC&R's shall also include a statement that no physical or built improvements are allowed within the Santa Clara Valley Water District easement or ten foot Riparian Buffer zone.
 29. CC&R's – SAN FRANCISCO DUSKY FOOTED WOODRAT NEST. The CC&Rs shall include a statement that the endangered San Francisco Dusky Footed Woodrat has been located on the property and shall provide homeowner information on how to identify and avoid nests.
 30. CC&R's – REPLACEMENT OF TRANSPLANTED TREES. The CC&R's shall include a statement that identifies transplanted trees and provides measures for their replacement if they do not survive within 5 years of transplanting. Replacement trees shall be determined by Town Code requirements at the time of replacement.
 31. CC&R's – NON-NATIVE SPECIES MANAGEMENT. The CC&R's shall include a statement regarding the homeowners responsibility for ongoing eradication of invasive herbaceous vegetation and follow-up removal of non-native tree re-sprouts in accordance with the Riparian Enhancement Plan prepared by H.T. Harvey & Associates, June 12, 2008.
 32. DEED RESTRICTION. Prior to final occupancy, deed restrictions shall be recorded for Lots 1 through 4 at the applicant's expense, which discuss the responsibilities of living next to a riparian corridor.
 33. WATER EFFICIENCY. This project is subject to the Town's Water Efficient Landscape Ordinance, Chapter 26, Article IV of the Town Code. A fee as established by Town Council resolution shall be paid when the landscape,

irrigation plans and water calculations are submitted for review prior to the issuance of building permit.

34. NEW TREES. All newly planted trees are required to be double staked to Town standards.
35. GENERAL. All newly planted trees shown on the plan are specific subjects of approval of this plan and must remain on the site.
36. IRRIGATION. All newly planted landscaping shall be irrigated by an in-ground irrigation system. Special care shall be taken to avoid irrigation which will endanger existing native trees and shrubs.
37. PROTECTIVE FENCING. Prior to any equipment arriving on site and prior to construction or building permits being issued, the applicant shall meet with the Town's Consulting Arborist, at the developer's expense, concerning the need for protective fencing around the existing trees and other required tree protection measures identified in this ordinance. Such fencing is to be installed prior to, and be maintained during, construction. The fencing shall be a five foot high chain link attached to steel poles driven at least 18 inches into the ground when at the dripline of the tree. If the fence has to be within eight feet of the trunk of the tree, a fence base may be used, as in a typical chain link fence that is rented.

(Building Division)

38. PERMITS REQUIRED: A building permit shall be required for the seven proposed dwelling units and the demolition of any structure(s).
39. CONSTRUCTION PLANS: The Conditions of Approval shall be stated in full on the cover sheet of the construction plans submitted for a building permit.
40. SIZE OF PLANS: The maximum size of construction plans submitted for building permits shall be 24" x 36".
41. PLAN PREPARATION: The construction plans for this project shall be prepared under the direct supervision of a licensed architect or engineer. (Business and Professionals Code Section 5538)
42. DEMOLITION REQUIREMENTS: Contact Town of Los Gatos Building Counter technicians for demolition requirements and complete the process before obtaining a building permit for demolition of such work.

43. LEAD-BASED PAINT. A state certified lead-based paint professional shall be retained to perform a lead-based paint survey of the existing structures and the recommendations of the professional shall be followed for abatement of any identified lead-based paint prior to demolition of the structures.
44. HAZARDOUS MATERIALS. The identified hazardous materials being stored on site shall be carefully removed prior to demolition and grading, and legally disposed of in accordance with local, county and state regulations.
45. HOUSE NUMBERS: The developer shall submit requests for additional house numbers prior to the building permit application process.
46. RESIDENTIAL TOWN ACCESSIBILITY STANDARDS: The residences shall be designed with adaptability features for single-family residence per Town Resolution 1994-61.
 - a. Wooden backing (no smaller than 2" x 8") shall be provided in all bathroom walls, at water closets, showers and bathtubs located at 34" from the floor to the center of the backing, suitable for the installation of grab bars.
 - b. All passage doors shall be at least 32" wide on accessible floor.
 - c. Primary entrance shall have a 36" wide door including, a 5"x5" level landing, no more than 1" out of plane with the immediate interior floor level, with an 18" clearance.
47. SOILS REPORT: Two copies of a soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations shall be submitted with the building permit application. This report shall be prepared by a licensed civil engineer specializing in soils mechanics.
48. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector upon foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report and the building pad elevation and on-site retaining wall locations and elevations are prepared according to

approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items:

- a. Pad elevation
 - b. Finish floor elevation
 - c. Foundation corner locations
49. TITLE 24 ENERGY COMPLIANCE: California Title 24 Energy Compliance forms CF-1R and MF-1R.
 50. TOWN FIREPLACE STANDARDS: New fireplaces shall be EPA Phase II approved appliances as per Town Ordinance 1905. Tree limbs shall be cut within 10 feet of chimneys.
 51. SPECIAL INSPECTIONS: When a special inspection is required by UBC Section 1701, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with UBC Section 106.3.5. Please obtain Town Special Inspection form from the Building Division Service Counter. The Town Special Inspection schedule shall be blue-lined on the construction plans.
 52. NONPOINT SOURCE POLLUTION STANDARDS: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program specification shall be part of the plan submittal. The specification sheet is available at the Building Division Service Counter.
 53. APPROVALS REQUIRED: The project requires the following agencies approval before issuing a building permit:
 - a. Community Development Department
 - b. Parks and Public Works Department
 - c. West Valley Sanitation District: 378-2407
 - d. Santa Clara County Fire Department: 378-4010
 - e. Santa Clara Valley Water District
 - f. California Regional Water Quality Control Board
 - g. California Department of Fish and Game
 - h. U.S. Army Corps of Engineers
 - i. Los Gatos Union School District

Note: Obtain the school district form from the Town Building Service Counter after the Building Division plan check has approved the plans.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS: (Engineering Division)

54. ¹⁶EROSION CONTROL. Implement erosion control measures, including, but not limited to:

- Require temporary fencing on the western outer edge of the riparian vegetation canopy during construction to prevent inadvertent erosion, sedimentation, and/or construction debris from entering the adjacent riparian area or Ross Creek. Prohibit construction activities, placement of spoils, and storage of materials and machinery in the riparian setback.
- Provide adequate erosion control protection in the area of the drainage outlets, such as use of silt fences, straw bale barrier or other protective measures
- Conduct grading work prior to the rainy season; protect disturbed areas during the rainy season; and contain and/or properly de-water accumulated construction-related runoff from disturbed areas or excavated areas.
- Restrict the timing of installation of the drainage outlets to the periods outside the rainy season (generally June 1 – September 30).
- Immediately re-vegetate disturbed areas. Apply weed-free mulch or re-vegetate all soil exposed as a result of the proposed grading before November 1st of each year in accordance with recommendations of Design Guide 5 of the Santa Clara Valley Water Resources Protection Collaborative’s “Guidelines & Standards for Land Use Near Streams.”
- Inspect and repair/maintain all erosion control measures prior to and after any rainfall event exceeding ½ inch, at 24-hour intervals during extended storm events, and a minimum of every two weeks after the winter storm season.

¹⁶ Mitigation Measure 3B-1

- Locate staging and storage areas for equipment, materials, fuels, lubricants and solvents at least 100 feet from Ross Creek. Locate oil absorbent and spill containment materials on site when mechanical equipment is in operation with 100 feet of the creek.
- If water is present in Ross Creek at the time of installation of the proposed drainage outfall, require a temporary coffer dam or other appropriate means (such as sandbags or straw bales) be installed for temporary dewatering and to minimize downstream water quality impacts. Allow water to continue flowing downstream or be diverted around the work site in a pipe or channel, and discharged in a non-erosive manner. Applicant shall provide the pre-construction survey to the Community Development Department and report of periodic inspections during construction to ensure protective fencing is in place

55. ¹⁷AIR QUALITY. Require implementation of Bay Area Air Quality Management District recommended control measures for emissions of PM10 and other “Best Management Practices” (BMPs) s follows:

- Water all active construction areas at least twice daily.
- Cover all trucks hauling soil, sand and other loose materials or require all trucks to maintain at least two feet of freeboard.
- Pave, apply water three times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
- Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at constructions sites.
- Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets.
- Cover stockpiles of debris, soil and other materials which can become windblown.
- Initiate re-vegetation and erosion control immediately upon completion of grading and prior to onset of the rainy season.

¹⁷ Mitigation Measure IS-1

56. ¹⁸GEOLOGY AND SOILS. A geotechnical investigation shall be conducted for this project to determine the surface and subsurface soil conditions at the site. The geotechnical study shall provide recommendations for site grading as well as the design of foundations, retaining walls, concrete slab-on-grade construction, excavation, drainage, on-site utility trenching and pavement sections. The project shall incorporate all recommendations of the investigation in order to minimize the potential impacts resulting from regional seismic activity and subsurface soil conditions on the site. Applicant shall submit plan review letter from the geotechnical engineer stating that plans comply with the report.
57. CC&R's – ACCESS. The CC&R's shall include language to require easements and deed restrictions over the private street which will guarantee access rights in perpetuity.
58. DEVELOPMENT AGREEMENT. The Applicant shall enter an agreement to construct public improvements in accordance with Town Code §24.40.020.
59. PUBLIC IMPROVEMENT SECURITY. The applicant shall supply suitable securities for all public improvements that are a part of the development in a form acceptable to the Town in the amount of 100% (performance) and 100% (labor and material) prior to issuance of any permit. Applicant shall provide two (2) copies of documents verifying the cost of the public improvements to the satisfaction of the Engineering Division of the Parks and Public Works Department.
60. GRADING PERMIT. A grading permit is required for site grading and drainage. The grading permit application (with grading plans) shall be made to the Engineering Division of the Parks & Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location, driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). A separate building permit,

¹⁸ Mitigation Measure IS-2

issued by the Building Department on E. Main Street is needed for grading within the building footprint.

61. PRECONSTRUCTION MEETING. Prior to issuance of any permit or the commencement of any site work, the general contractor shall:
 - a. Along with the project applicant, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
 - b. Acknowledge in writing that they have read and understand the project conditions of approval, and will make certain that all project sub-contractors have read and understand them prior to commencing work and that a copy of the project conditions of approval will be posted on site at all times during construction.
62. RETAINING WALLS. A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
63. SOILS REPORT. One copy of the soils report shall be submitted with the grading permit application. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.
64. SOILS REVIEW. Prior to issuance of any permit, the applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. The applicant's soils engineer's approval shall then be conveyed to the Town either by letter or by signing the plans.
65. SOILS ENGINEER CONSTRUCTION OBSERVATION. During construction, all excavations and grading shall be inspected by the applicant's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual

conditions are as anticipated in the design-level geotechnical report, and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing should be documented in an "as-built" letter/report prepared by the applicant's soils engineer and submitted to the Town before final release of any occupancy permit is granted.

66. CERTIFICATE OF LOT LINE ADJUSTMENT. A Certificate of Lot Line Adjustment shall be recorded prior to recordation of the final map. Two copies of the legal description for each new lot configuration, a plat map (8-½ in. X 11 in.) and two copies of the legal description of the land to be exchanged shall be submitted to the Engineering Division of the Parks & Public Works Department for review and approval. The submittal shall include closure calculations, title reports less than 90 days old and the appropriate fee. The certificate shall be recorded before any permits may be issued.
67. DEMOLITION. Existing structures on the site shall be removed prior to recordation of the final map.
68. FINAL MAP. A final map shall be recorded. Two copies of the final map shall be submitted to the Engineering Division of the Parks & Public Works Department for review and approval. Submittal shall include closure calculations, title reports and appropriate fee. The map shall be recorded before any permits are issued.
69. UTILITY COMPANY REVIEW. Letters from the electric, telephone, cable, and trash companies indicating that the proposed improvements and easements are acceptable shall be provided prior to recordation of the final map.
70. DEDICATIONS. The following shall be dedicated on the final map. The dedications shall be recorded before any permits are issued.
 - a. Linda Court. A 22-foot private street right-of-way with a 36-foot radius cul-de-sac.
 - b. Public Service Easement (PSE). Five (5) foot wide, next to the Linda Ct. right-of-way.

- c. Ingress-egress, storm drainage and sanitary sewer easements, as required. Private storm drain easements shall be provided across lot 4 in favor of lot 5, and along the property line between lots 2 and 3.
 - d. Sanitary Sewer Easement. Ten (10) to twelve (12) feet wide, as shown on the tentative map.
 - e. Emergency Access Easement. Twenty (22) feet wide, from the end of the public road over the entire Linda Ct. Private right of way.
 - f. Riparian Parcel. The Riparian Parcel, identified on the Tentative map as Riparian Area, shall be dedicated in fee to the Town and a flood control and maintenance easement shall be dedicated to SCVWD.
71. JOINT TRENCH PLANS. Joint trench plans shall be reviewed and approved by the Town prior to issuance of any permit.
72. ABOVE GROUND UTILITIES. The applicant shall submit a 75-percent progress printing to the Town for review of above ground utilities including backflow prevention devices, fire department connections, gas and water meters, off-street valve boxes, hydrants, site lighting, electrical/communication/cable boxes, transformers, and mail boxes. Above ground utilities shall be reviewed and approved by Community Development prior to issuance of any permit.
73. PRIVATE EASEMENTS. Agreements detailing rights, limitations, and responsibilities of involved parties shall accompany each private easement. The easements and associated agreements shall be recorded simultaneously with the final map.
74. CC&R's. CC&R APPROVAL shall be reviewed and approved by the Town Attorney, Community Development Department, and Parks and Public Works Department prior to recordation of the final map.
75. PUBLIC IMPROVEMENTS. The following improvements shall be installed by the developer. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, and guaranteed by contract, Faithful Performance Security and Labor & Materials Security before the issuance of a building permit or the recordation of a map. The improvements

must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

- a. Drive. Curb, gutter, sidewalk, street lights, tie-in paving, signing, striping, storm drainage and sanitary sewers, as required.
- b. Restripe/Community Benefit. The applicant shall re-stripe the Blossom Hill Road intersection with Linda Avenue and Old Blossom Hill Road. The striping shall provide left turn pockets for both eastbound Blossom Hill Road traffic turning left on Linda Avenue, and for westbound Blossom Hill Road traffic turning left on Old Blossom Hill Road.

76. SITE LIGHTING. Lighting photometrics shall be provided and approved by the Director of Community Development prior to the approval of the Tentative Map.
77. DESIGN CHANGES. The Applicant's registered Engineer shall notify the Town Engineer, in writing, at least 72 hours in advance of all differences between the proposed work and the design indicated on the plans. Any proposed changes shall be subject to the approval of the Town before altered work is started. Any approved changes shall be incorporated into the final "as-built" drawings.
78. INSURANCE. One million dollars (\$1,000,000) of liability insurance holding the Town harmless shall be provided in a format acceptable to the Town Attorney before recordation of the map.
79. TRAFFIC IMPACT MITIGATION FEE. The developer shall pay a proportional the project's share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the request of Certificate of Occupancy is made. the fee shall be paid before issuance of the Certificate of Occupancy. The traffic impact mitigation fee for this project using the current fee schedule is \$5,742 per each new home. The credit for the existing home will be pro-rated across each new home. The final fee shall be calculated form the final plans using the rate schedule in effect at the time of the request for a Certificate of Occupancy.

80. FUTURE STUDIES. Any post project traffic or parking counts, or other studies imposed by Planning Commission or Town Council shall be funded by the applicant.
81. PLAN CHECK FEES. Plan check fees shall be deposited with the Town prior to submittal of plans to the Engineering Division of the Parks and Public Works Department.
82. INSPECTION FEES. Inspection fees shall be deposited with the Town prior to issuance of any Permit or recordation of the Final Map.
83. FISH AND GAME REQUIREMENTS. Approval of a Streambed Alteration Agreement shall be obtained from the California Department of Fish and Game for proposed improvements in or near riparian areas within their jurisdiction. A copy of the permit shall be provided to the Parks & Public Works Department before any permits are issued.
84. SCVWD. Applicant shall submit evidence of acceptance of the Dedicated Easement and approval of an Encroachment Permit from the Santa Clara Valley Water District for all work within their jurisdiction. Permits shall be obtained prior to issuance of any Town permits.
85. REGIONAL WATER QUALITY CONTROL BOARD. Approval of a Wastewater Discharge Permit and review of "Notice of Intent" and Storm Water Pollution Prevention Plan from the Regional Water Control Board shall be provided prior to issuance of any permits. In the event that no permit is required from this agency, a letter stating as much shall be provided. (This condition is intended to address the storm drain outfall).
86. ARMY CORPS OF ENGINEERS. Authorization under Nationwide Permit 7 for Outfall structures and Associated Intake Structures and Nationwide Permit 33 for Temporary Construction, Access and Dewatering was given on August 26, 2008. Applicant shall provide a letter from this agency stating that the permit is still valid, or the applicant shall provide current permits from the Army Corps of Engineers prior to issuance of any Town permits. (This condition is intended to address the storm drain outfall).

87. TREE REMOVAL. Copies of all necessary tree removal permits shall be provided prior to issuance of a grading permit.
88. GENERAL. All public improvements shall be made according to the latest adopted Town Standard Drawings and the Town Standard Specifications. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
89. ENCROACHMENT PERMIT. All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security.
90. PUBLIC WORKS INSPECTIONS. The developer or his representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in rejection of work that went on without inspection.
91. SURVEYING CONTROLS. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
 - a. Retaining wall--top of wall elevations and locations
 - b. Toe and top of cut and fill slopes.
92. CONSTRUCTION ACCESS. Construction access shall be provided from Linda Avenue. No access will be allowed via Stephenie Lane.
93. EROSION CONTROL. Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks & Public Works Department. A Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the San Francisco Bay Regional Water Quality

Control Board for projects disturbing more than one acre. A maximum of two weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The grading, drainage, erosion control plans and SWPPP shall be in compliance with applicable measures contained in the amended provisions C.3 and C.14 of the most current Santa Clara County NPDES Permit.

94. DUST CONTROL. Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets will be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed 25 MPH. All trucks hauling soil, sand, or other loose debris shall be covered.

95. CONSTRUCTION STREET PARKING. No vehicle having a manufacturer's rated gross vehicle weight exceeding ten thousand (10,000) pounds shall be allowed to park on the portion of a street which abuts property in a residential zone without prior approval from the Town Engineer (§ 15.40.070).
96. SITE DRAINAGE. Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed.
97. STORM WATER MANAGEMENT PLAN. A storm water management shall be included with the grading permit application for all Group 1 and Group 2 projects as defined in the amended provisions C.3 of the amended Santa Clara County NPDES Permit. The plan shall delineate source control measures and BMP's together with the sizing calculations. The plan shall be certified by a professional pre-qualified by the Town. In the event that storm water measures proposed on the Planning approval differ significantly from those certified on the Building/Grading Permit, the Town may require a modification of the Planning approval prior to release of the Building Permit. The applicant may elect to have the Planning submittal certified to avoid this possibility.
98. AGREEMENT FOR STORMWATER BEST MANAGEMENT PRACTICES INSPECTION AND MAINTENANCE OBLIGATIONS. The homeowner's association shall enter into an agreement with the Town for maintenance of the storm water filtration devices required to be installed on this project by Town's Storm Water Discharge Permit and all current amendments or modifications. The agreement will specify that certain routine maintenance shall be performed by the homeowner's association and will specify device maintenance reporting requirements. The agreement will also specify routine inspection requirements, permits and payment of fees. The agreement shall be recorded prior to release of any occupancy permits.
99. SILT AND MUD IN PUBLIC RIGHT-OF-WAY. It is the responsibility of contractor and home owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.

100. UTILITIES. The developer shall install all utility services, including telephone, electric power and all other communications lines underground, as required by Town Code §27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service.
101. RESTORATION OF PUBLIC IMPROVEMENTS. The developer shall repair or replace all existing improvements not designated for removal that are damaged or removed because of developer's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc. shall be repaired and replaced to a condition equal to or better than the original condition. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
102. DRIVEWAY APPROACH. The developer shall install one Town standard residential driveway approach at each new driveway. The new driveway approach shall be constructed per Town Standard Details.
103. AS-BUILT PLANS. After completion of the construction of all work, the original plans shall have all changes (change orders and field changes) clearly marked. The "as-built" plans shall again be signed and "wet-stamped" by the civil engineer who prepared the plans, attesting to the changes. The original "as-built" plans shall be review and approved the Engineering Inspector. A Mylar and AutoCAD disk of the approved "as-built" plans shall be provided to the Town before the Faithful Performance Security or Occupancy Permit is released. The AutoCAD file shall include only the following information and shall conform to the layer naming convention: a) Building Outline, Layer: BLDG-OUTLINE; b) Driveway, Layer: DRIVEWAY; c) Retaining Wall, Layer: RETAINING WALL; d) Swimming Pool, Layer: SWIMMING-POOL; e) Tennis Court, Layer: TENNIS-COURT; f) Property Line, Layer: PROPERTY-LINE; g) Contours, Layer: NEWCONTOUR. All as-built digital files must be on the same coordinate

basis as the Town's survey control network and shall be submitted in AutoCAD version 2000 or higher.

104. **SANITARY SEWER LATERAL.** Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used or reused. Install a sanitary sewer lateral clean-out at the property line.
105. **SANITARY SEWER BACKWATER VALVE.** Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Administrative (Sec. 6.50.025). The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve, as defined section 103(e) of the Uniform Plumbing Code adopted by section 6.50.010 of the Town Code and maintain such device in a functional operating condition. Evidence of West Valley Sanitation District's decision on whether a backwater device is needed shall be provided prior to issuance of a building permit.
106. **CONSTRUCTION NOISE.** Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
107. **GOOD HOUSEKEEPING.** Good housekeeping practices shall be observed at all times during the course of construction. Superintendence of construction shall be diligently performed by a person or persons authorized to do so at all times during working hours. The storing of goods and/or materials on the sidewalk and/or the

street will not be allowed unless a special permit is issued by the Engineering Division.

108. SITE SUPERVISION. The General Contractor shall provide qualified supervision on the job site at all times during construction.
109. HAULING OF SOIL. Hauling of soil on or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.). Prior to the issuance of a building permit, the developer shall work with the Town Building and Engineering Department Engineering Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the developer/owner to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Cover all trucks hauling soil, sand, and other loose debris or require all trucks to maintain at least two feet of freeboard.
110. UTILITY SETBACKS. House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.
111. MAINTENANCE ACCESS. The applicant shall propose maintenance access improvements for the Town Engineer to review, comment on, and approve. The Engineering Division shall approve the surface materials over each public easement.
112. CONSTRUCTION MANAGEMENT PLAN. The Applicant shall submit a construction management plan that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, construction trailer, and proposed outhouse locations. All construction staging and parking shall occur on-site.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

113. **REQUIRED FIRE FLOW.** Required fire flow for this project is 1,000 GPM at 20 psi. residual pressure.
114. **FIRE HYDRANTS.** Provide one public fire hydrant at a location to be determined by the Fire Department and the San Jose Water Company. Hydrant(s) shall have a minimum single flow of 1,000 GPM at 20 psi residual, with spacing not to exceed 500 feet. Prior to applying for a building permit, the applicant shall provide civil drawings reflecting all fire hydrants serving the site. To prevent building permit delays, the developer shall pay all required fees to the water company ASAP.
115. **HYDRANT INSTALLATION.** Fire hydrants shall be installed and located along the new or replacement water main installation(s), at a maximum spacing of 500 feet. Provide hydraulic calculations to show that the required fire flow will be provided.
116. **TIMING OF REQUIRED WATER SUPPLY HYDRANTS.** Installations of required fire service(s) and fire hydrant(s) shall be tested and accepted by the Fire Department, prior to the start of framing or delivery of bulk combustible materials. Building permit issuance may be withheld until required installations are completed, tested and accepted.
117. **FIRE ACCESS ROADS.** The applicant shall provide access roadways with a paved all weather surface, a minimum unobstructed width of 20 feet, vertical clearance of 13 feet six inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installations shall conform with Fire Department Standard Details and Specifications sheet A-1.
118. **ROADWAY TURNAROUND.** The applicant shall provide an approved fire department engine roadway turnaround with a minimum radius of 36 feet outside and 23 feet inside. Installations shall conform with Fire Department Standard Details and Specifications sheet A-1. Cul-de-sac diameters shall be no less than 72 feet.
119. **FIRE LANE MARKINGS.** The applicant shall provide marking for all roadways within the project. Markings shall be per fire department specifications.

Installations shall also conform to Local Government Standards and Fire Department Standard Details and Specifications A-6.

120. PARKING ALONG ROADWAYS. The required width of the fire access roadways shall not be obstructed in any manner and parking shall not be allowed along roadways less than 28 feet in width. Roadway widths shall be measured curb face to curb face.
121. TIMING OF ROADWAY INSTALLATIONS. Required access roads, up through first lift of asphalt, shall be installed and accepted by the Fire Department prior to the start of construction. Bulk combustible materials shall not be delivered to the site until installation is complete. During construction, emergency access roads shall be maintained clear and unimpeded unless alternative solutions are approved by the Fire Department. Prior to issuance of a building permit, the developer shall contact the Fire Department to discuss their plan for maintaining the emergency access road during construction. Note that building permit issuance may be withheld until installations are completed.
122. PREMISES IDENTIFICATION. Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background.

SECTION VI

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on September 7, 2010, and adopted by the following vote as an ordinance of the Town of Los Gatos at a meeting of the Town Council of the Town of Los Gatos on September 20, 2010 and becomes effective 30 days after it is adopted.

COUNCIL MEMBERS:

AYES: Joe Pirzynski, Steve Rice, Mike Wasserman, Mayor Diane McNutt

NAYS: Barbara Spector

ABSENT:

ABSTAIN:

SIGNED:

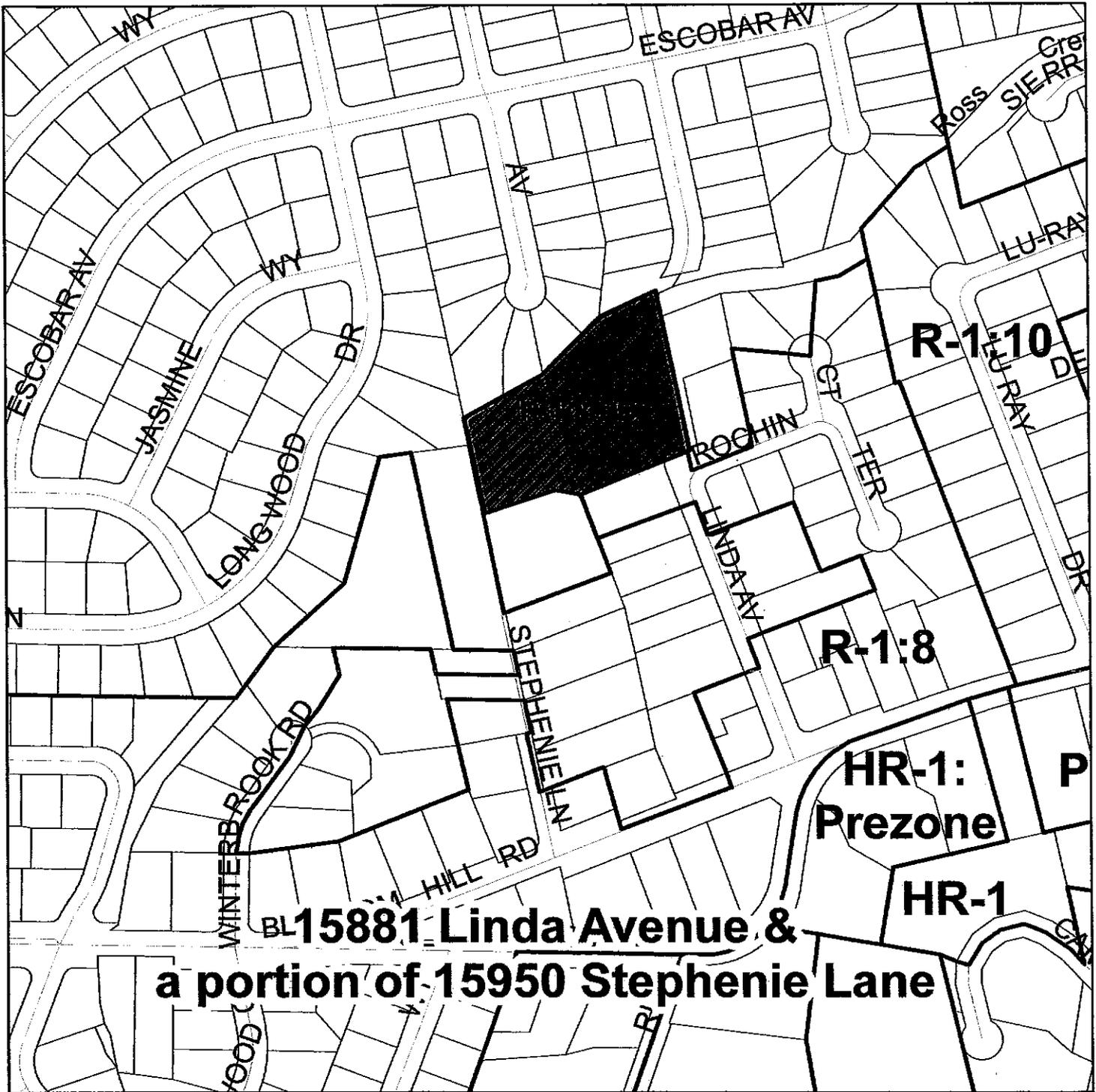


MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:



CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA



**BL15881 Linda Avenue &
a portion of 15950 Stephenie Lane**

TOWN OF LOS GATOS

Application No. **PD-08-004**

A.P.N. # **523-25-051, 052**

Change of zoning map amending the Town Zoning Ordinance.

Zone Change

From: R-1:8 To: R-1:8:PD

Prezoning

Action by Planning Commission

Date: August 11, 2010

Adopted by Town Council

Date: September 20, 2010

Ord: 2193

McElroy Prop. Inc.
214 Alameda Ave.
Los Gatos, Ca. 95030

REVISED 6-18-10

LOT AREA TABLE

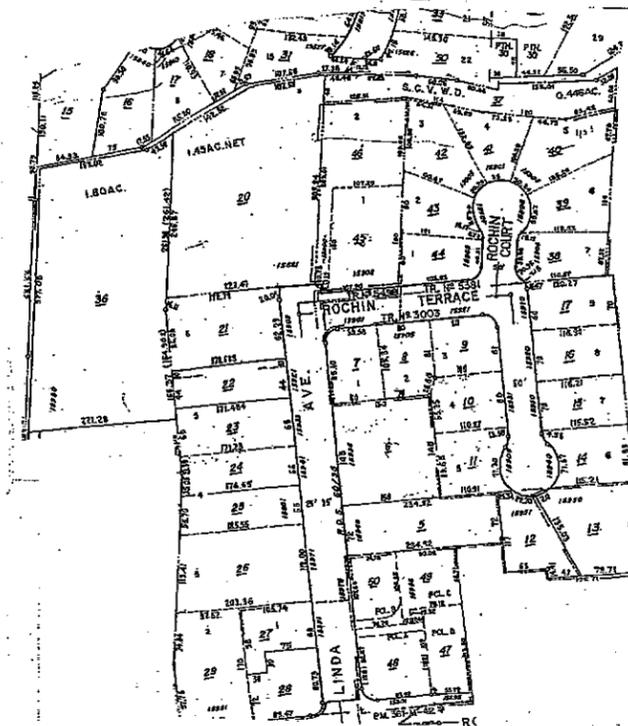
Lot	Lot S.F.	1st Floor	2nd Floor	Cellar S.F.	House S.F.	FAR	Garage S.F.	FAR
Lot 1 gross lot area	10751	1650	1060	0	2710	25.21	440	4.09
Riparian Canopy	901							
Riparian Buffer	807							
Net Lot Area	9043					29.97		4.87
Lot 2 gross lot area	8518	1693	1190		2883	33.85	495	5.81
Riparian Canopy	1055							
Riparian Buffer	838							
Net Lot Area	6627					43.50		7.47
Lot 3 gross lot area	9971	2130	880		2980	29.59	626	6.28
Riparian Canopy	537							
Riparian Buffer	955							
Net Lot Area	8458					35.31		7.39
Lot 4 gross lot area	11238	1842	1175		3017	26.95	475	4.23
Riparian Canopy	1322							
Riparian Buffer	1135							
Net Lot Area	8781					34.38		5.41
Lot 5 gross lot area	8258	1900		550	2450	29.86	550	6.86
Riparian Canopy	0							
Riparian Buffer	0							
Net Lot Area	8258					29.86		6.86
Lot 6 gross lot area	9159	1730	1160		2890	31.55	450	4.91
Riparian Canopy	0							
Riparian Buffer	0							
Net Lot Area	9159					31.55		4.91
Lot 7 gross lot area	7855	1670	1080		2750	34.88	450	5.71
Riparian Canopy	0							
Riparian Buffer	0							
Net Lot Area	7855					34.88		5.71
		12915					3488	16101

8-17-09
revised 6-18-10

DENSITY TABLE

2001-098

	area	D.U.	net area	density
Total area within the project	102569	7	102569	2.97
Riparian area to be dedicated to Town of Los Gatos	9640			
Total area minus riparian area to be dedicated to Town of Los Gatos		7	92929	3.28
Area within SCVWD	9728			
Total area minus riparian area to be dedicated to Town of Los Gatos and minus area within SCVWD		7	83201	3.66
Area within riparian canopy	6510			
Total area minus riparian area to be dedicated to Town of Los Gatos, minus area within SCVWD and minus area within riparian canopy		7	76691	3.98
Area within riparian buffer	4607			
Total area minus riparian area to be dedicated to Town of Los Gatos, minus area within SCVWD, minus area within riparian canopy and minus riparian buffer		7	72084	4.23



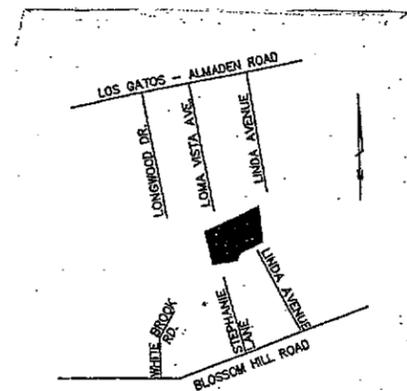
DATA TABLE	
GROSS AREA OF THE PARCEL	102569 S.F.
LOTS	
PROPOSED 1ST FLOOR FOOTPRINT	12,815 S.F.
PROPOSED GARAGES	3,488 S.F.
DRIVEWAYS	4,758 S.F.
PARKING	190 S.F.
SIDEWALKS, PATIOS DECKS	3,029 S.F.
RIPIARIAN CANOPY	3,815 S.F.
RIPIARIAN BUFFER	3,744 S.F.
PRIVATE YARDS/ LANDSCAPE AREAS	34,141 S.F.
TOTAL LOTS	66,778 S.F.
COMMON AREAS	
STREET	9,888 S.F.
PARKING/WALKWAYS	1,435 S.F.
CREEK AREA	12,788 S.F.
LANDSCAPE/ NATURAL AREA	3,042 S.F.
TOTAL COMMON AREA	27,151 S.F.
PERCENTAGE OF TOTAL AREA	26.5
IMPERVIOUS SURFACE	
EXISTING IMPERVIOUS SURFACE	6,869 S.F.
PERCENTAGE OF AREA	6.7 %
PROPOSED IMPERVIOUS SURFACE	31,604 S.F.
PERCENTAGE OF AREA	30.8 %
PROPOSED PERVIOUS PAVEMENT	2,191 S.F.
PERCENTAGE OF AREA	2.1 %
PARKING	
STREET PARKING SPACES	5
COVERED PARKING SPACES	15
DRIVEWAY PARKING SPACES	14
TOTAL PROJECT PARKING SPACES	34
PARKING SPACES PER UNIT	4.9
EXCEPTION (DAN BLUE PROPERTY)	
EXCEPTION AREA	39,919 S.F.
REMAINING STRUCTURES ON EXCEPTION	3,730 S.F.
AVERAGE SLOPE OF EXCEPTION	7.5 %

Table of Contents

- A0 Title Page
- 1 of 4 Grading and Drainage
- 2 of 4 Grading and Drainage Details
- 3 of 4 Impervious Surfaces
- 4 of 4 Tentative Map
- L1 Landscape Plan
- L2 Existing Tree Plan
- L3 Site Sections
- L4 Fence and Site Details
- L5 Project Entry Details
- L6 Lot One Screening
- L7 Ross Creek Riparian Zones
- CS Streetscape
- 1A Floor plan Lot One
- 1B Elevations Lot One
- 2A Floor plan Lot Two
- 2B Elevations Lot Two
- 3A Floor plan Lot Three
- 3B Elevations Lot Three
- 4A Floor plan Lot Four
- 4B Elevations Lot Four
- 5A Floor plan Lot Five
- 5B Elevations Lot Five
- 6A Floor plan Lot Six
- 6B Elevations Lot Six
- 7A Floor plan Lot Seven
- 7B Elevations Lot Seven

Project Consultants

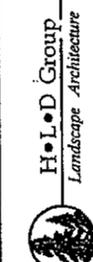
- Developer: McElroy Prop. Inc.
214 Alameda Ave.
Los Gatos, Ca. 95030
408-399-4460
- Building Designer: Britt-Rowe
108 N. Santa Cruz Ave.
Los Gatos, Ca. 95030
408-354-6224
- Landscape Arch: HLD Group
555 N. Santa Cruz Ave.
Los Gatos, Ca. 95030
408-354-9509
- Civil Engineer: Westfall Engineers
1453 Big Basin Way
Saratoga Ca. 95070
408-867-0244
- Geo Technical: Redwood Geotechnical Engineering Inc.
7450 Railroad Street
Gilroy, Ca. 95020
408-848-0009
- Ecological Consultants: H. T. Harvey and Associates
893 University Ave. #D
Los Gatos, Ca. 95032
408-448-9450
- Horticulture Consultant: Barrie Coate and Associates
23535 Summit Rd.
Los Gatos, Ca. 95033
408-353-1052



VICINITY MAP

JUL 10 2010

TOWN OF LOS GATOS
PLANNING DIVISION



HLD Group
Landscape Architecture
555 N. Santa Cruz Avenue, Los Gatos, CA 95030
(408) 354-9509, Fax # (408) 354-9480

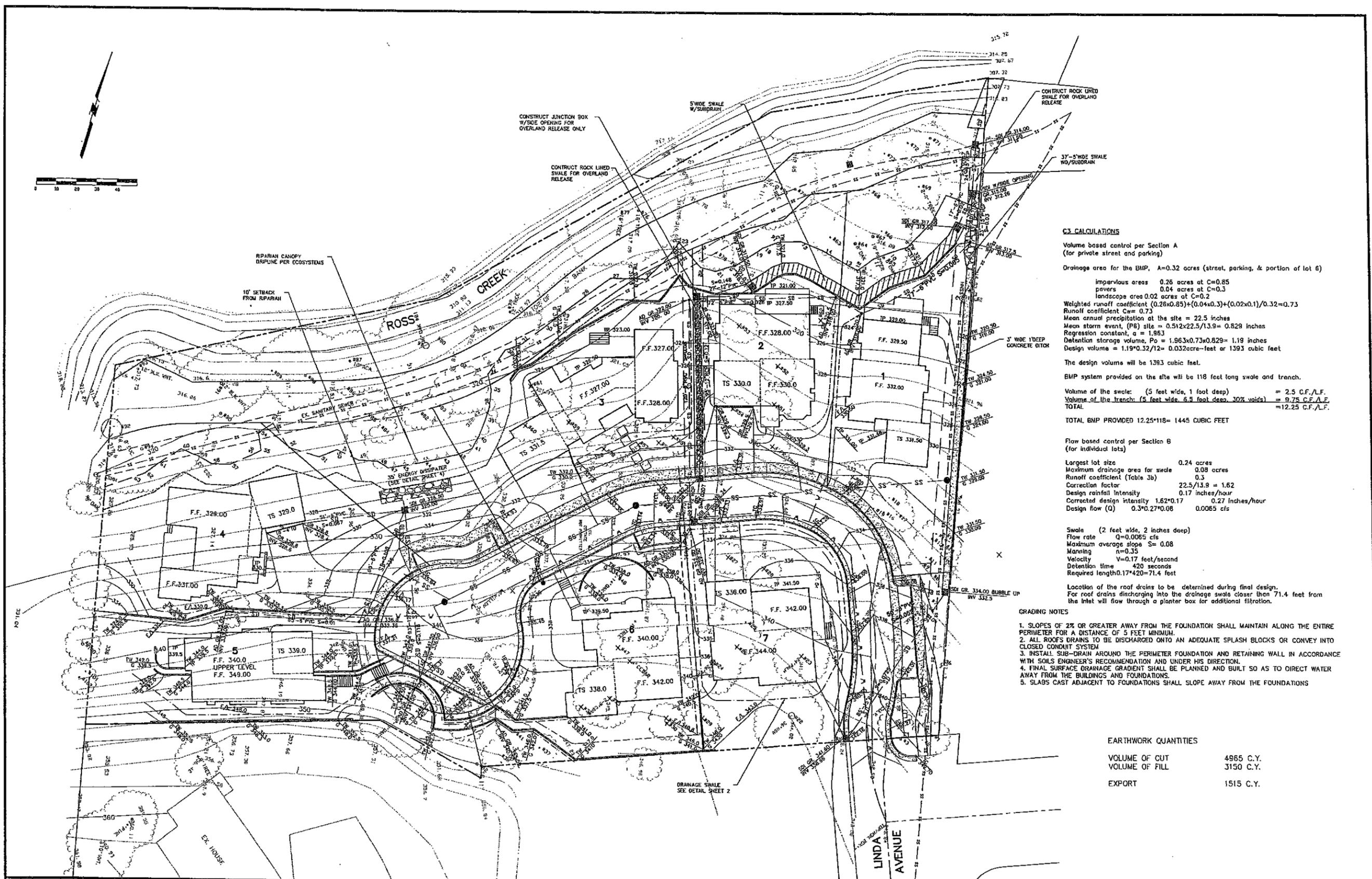
DATE:	
REVISIONS:	

Proposed Residence at:
Linda Court
Los Gatos, CA
For: McElroy Properties

Drawn by:	Checked by:	Date:
NTS		June 2010

SHEET TITLE:
Title Sheet

SHEET NO:
A-0



C3 CALCULATIONS

Volume based control per Section A
(for private street and parking)

Drainage area for the BMP, A=0.32 acres (street, parking, & portion of lot 6)

impervious areas 0.26 acres at C=0.85
pavers 0.04 acres at C=0.3
landscape area 0.02 acres at C=0.2

Weighted runoff coefficient $(0.26 \times 0.85) + (0.04 \times 0.3) + (0.02 \times 0.1) / 0.32 = 0.73$
Runoff coefficient Cw= 0.73
Mean annual precipitation at the site = 22.5 inches
Mean storm event, (P6) site = $0.512 \times 22.5 / 13.9 = 0.829$ inches
Regression constant, a = 1.963
Detention storage volume, Po = $1.963 \times 0.73 \times 0.829 = 1.19$ inches
Design volume = $1.19 \times 0.32 / 12 = 0.032$ acre-feet or 1393 cubic feet

The design volume will be 1393 cubic feet.

BMP system provided on the site will be 118 feet long swale and trench.

Volume of the swale: (5 feet wide, 1 foot deep) = 2.5 C.F./L.F.
Volume of the trench: (5 feet wide, 6.5 foot deep, 30% voids) = 9.75 C.F./L.F.
TOTAL = 12.25 C.F./L.F.

TOTAL BMP PROVIDED $12.25 \times 118 = 1445$ CUBIC FEET

Flow based control per Section B
(for individual lots)

Largest lot size 0.24 acres
Maximum drainage area for swale 0.08 acres
Runoff coefficient (Table 3b) 0.3
Correction factor $22.5 / 13.9 = 1.62$
Design rainfall intensity 0.17 inches/hour
Corrected design intensity $1.62 \times 0.17 = 0.27$ inches/hour
Design flow (Q) $0.3 \times 0.27 \times 0.08 = 0.0065$ cfs

Swale (2 feet wide, 2 inches deep)
Flow rate Q=0.0065 cfs
Maximum average slope S= 0.08
Manning n=0.35
Velocity V=0.17 feet/second
Detention time 420 seconds
Required length $0.17 \times 420 = 71.4$ feet

Location of the roof drains to be determined during final design.
For roof drains discharging into the drainage swales closer than 71.4 feet from the inlet will flow through a planter box for additional filtration.

GRADING NOTES

1. SLOPES OF 2% OR GREATER AWAY FROM THE FOUNDATION SHALL MAINTAIN ALONG THE ENTIRE PERIMETER FOR A DISTANCE OF 5 FEET MINIMUM.
2. ALL ROOF DRAINS TO BE DISCHARGED ONTO AN ADEQUATE SPLASH BLOCKS OR CONVEY INTO CLOSED CONDUIT SYSTEM
3. INSTALL SUB-DRAIN AROUND THE PERIMETER FOUNDATION AND RETAINING WALL IN ACCORDANCE WITH SOILS ENGINEER'S RECOMMENDATION AND UNDER HIS DIRECTION.
4. FINAL SURFACE DRAINAGE GRADIENT SHALL BE PLANNED AND BUILT SO AS TO DIRECT WATER AWAY FROM THE BUILDINGS AND FOUNDATIONS.
5. SLABS CAST ADJACENT TO FOUNDATIONS SHALL SLOPE AWAY FROM THE FOUNDATIONS

EARTHWORK QUANTITIES

VOLUME OF CUT	4965 C.Y.
VOLUME OF FILL	3150 C.Y.
EXPORT	1515 C.Y.

NO.	BY	DATE	REVISION	BY	DATE
1	JC	5-10	drip line for tree #81, per survey		
2	hb	6-7	reparation changes		
3	hb	6-14	reparation changes - based on new survey		
4	hb	6-15	reparation changes - based on new survey		
5	JC	7-6-10	modification to drainage per drip lines		

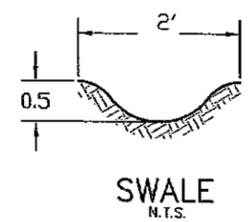
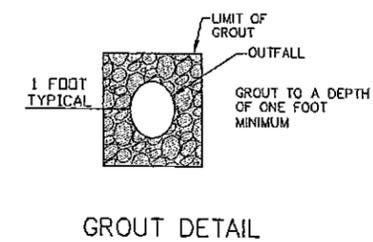
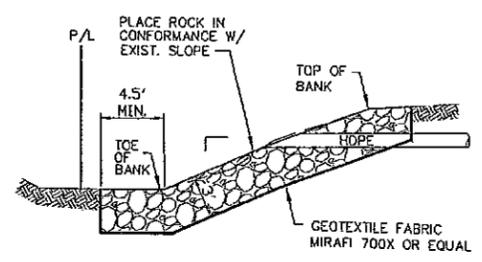
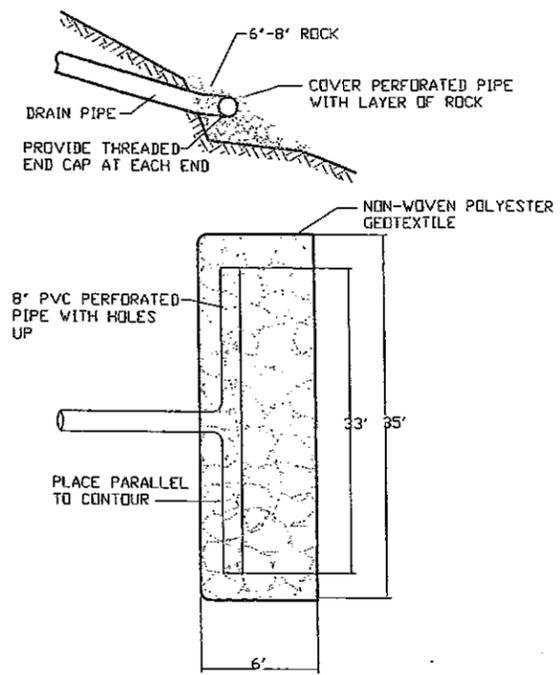
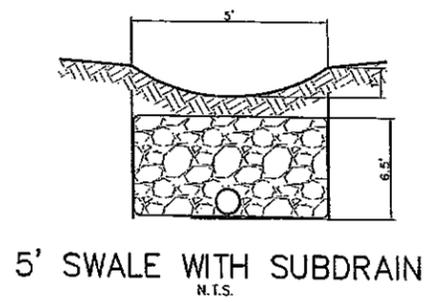
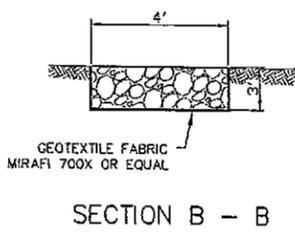
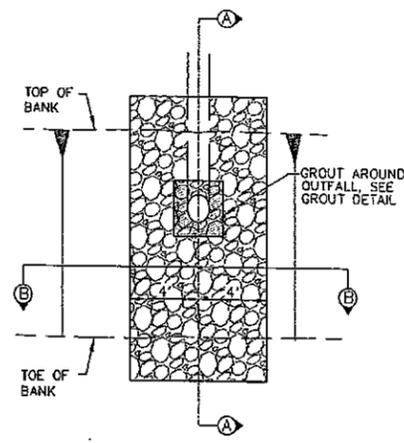
DATE: DECEMBER 9, 2009
SCALE: HOR. 1"=20'
VERT.
DESIGNED: JC
CHECKED: KC
PROJ. ENGR: JC
BY: KAREL CYMBAL, RCE 34534
DATE:



WESTFALL ENGINEERS, INC.
14583 BIS BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

GRADING AND DRAINAGE PLAN
TRACT NO. 10012
LINDA AVENUE, LOS GATOS

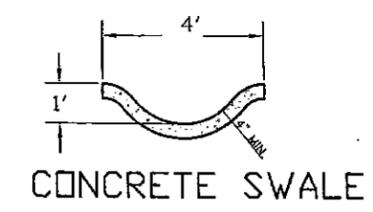
JOB NO.
2001-098
SHEET
1
OF
4



OUTFALL DETAIL
N.T.S.

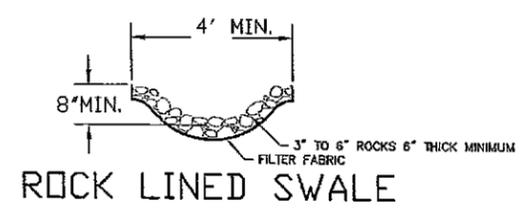
TOWN OF LOS GATOS STANDARDS

CONCRETE CURB AND GUTTER	210
CONCRETE DRIVEWAY WITHOUT PLANTER	219
STANDARD MONUMENT	233
CATCH BASIN (SOI)	303
TRENCH DETAIL	305
TRENCH DETAIL NOTES	306



NOTES FOR AN OUTFALL INTO UNLINED CHANNEL

1. It is mandatory that the SCVWD inspector be notified at least 48 hours prior to the commencement of construction. Complete removal of portions of the work installed without inspection may be required if this requirement is not met.
2. All work is to be done in accordance with the latest edition of Caltrans' Standard Specifications Section 72-2. No white rock may be used. Method B placement shall be used. Grout to be in conformance with Paragraph 65-1.06 for cement mortar.
3. The outfall pipe is to be cut off flush with the slope protection.
4. Any backfill necessary for the installation of the slope protection should be compacted to 90% relative compaction in conformance with ASTM Standard Test method D 1557, latest edition.
5. Any excess soil from excavation shall be deposited off of District right of way unless approved by the District's inspector.
6. Use rock slope protection designated as "light" per latest edition of "Caltrans Standard Specifications Section 72-2.02".
7. The outfall pipe should point perpendicular to the creek flow line or slightly downstream.



NO.	BY	DATE	REVISION	BY	DATE

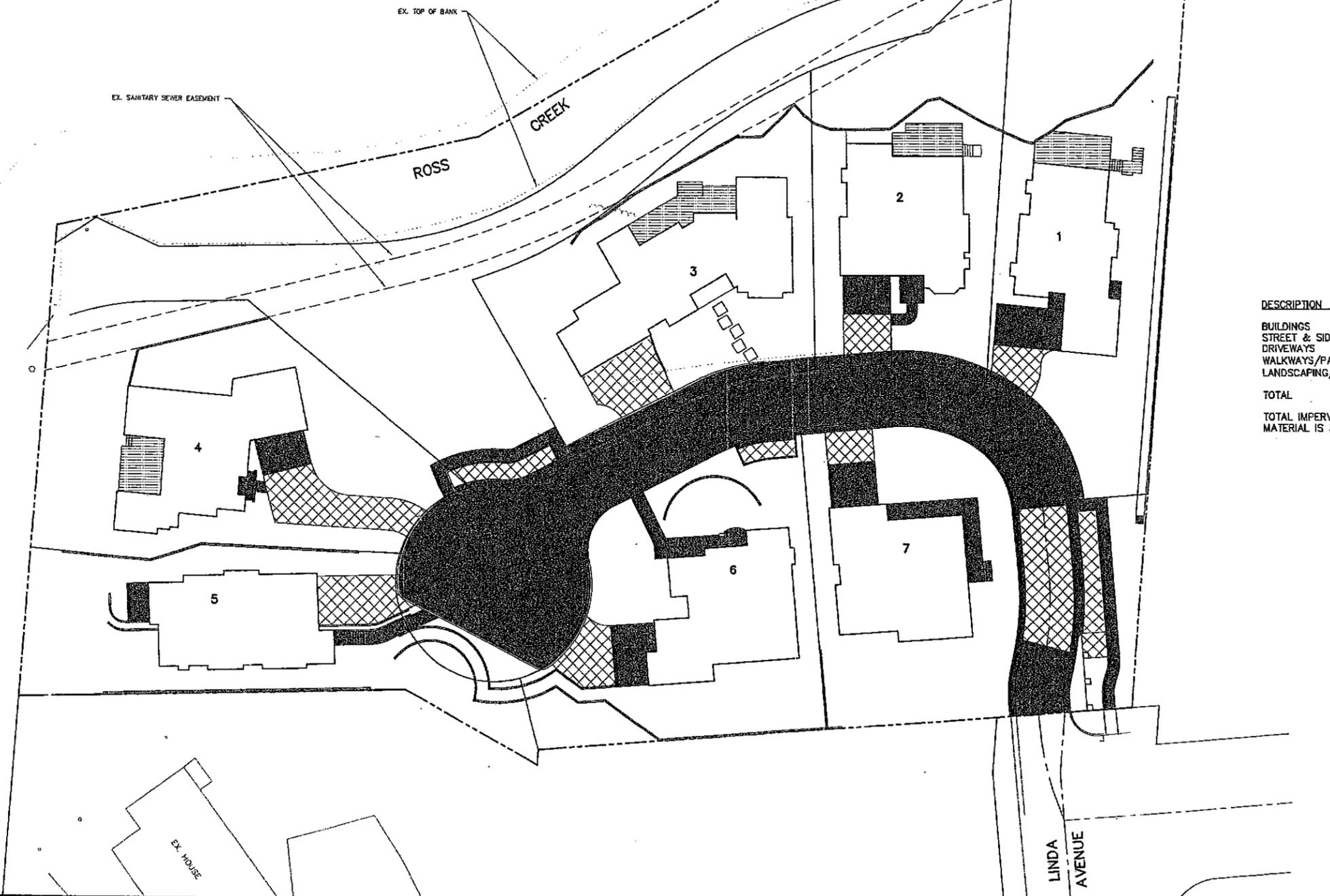
DATE: DECEMBER 10 2009
 SCALE: HOR.
 VERT.
 DESIGNED: JC
 CHECKED: KC
 PROJ. ENGR: JC



WESTFALL ENGINEERS, INC.
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

DETAILS
 LANDS OF DEN DAAS & BLUE
 LINDA AVENUE, LOS GATOS

JOB NO.
 2001-098
 SHEET
 2
 OF
 3



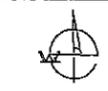
- BUILDINGS
- PAVERS
- WOOD DECKS
- CONCRETE OR A.C.

DESCRIPTION	PERVIOUS	SEMI-PERVIOUS	IMPERVIOUS
BUILDINGS			16,101 S.F.
STREET & SIDEWALKS		403 S.F.	11,311 S.F.
DRIVEWAYS		1,788 S.F.	2,970 S.F.
WALKWAYS/PATIOS	413 S.F.		1,222 S.F.
LANDSCAPING/NATURAL	66,558 S.F.		
TOTAL	68,774 S.F.	2,191 S.F.	31,604 S.F.

TOTAL IMPERVIOUS AREA INCLUDING AREAS COVERED WITH SEMI-PERVIOUS MATERIAL IS 33,795 SQUARE FEET.

NO.	BY	DATE	REVISION
1	JC	5-21-10	modification per drip lines

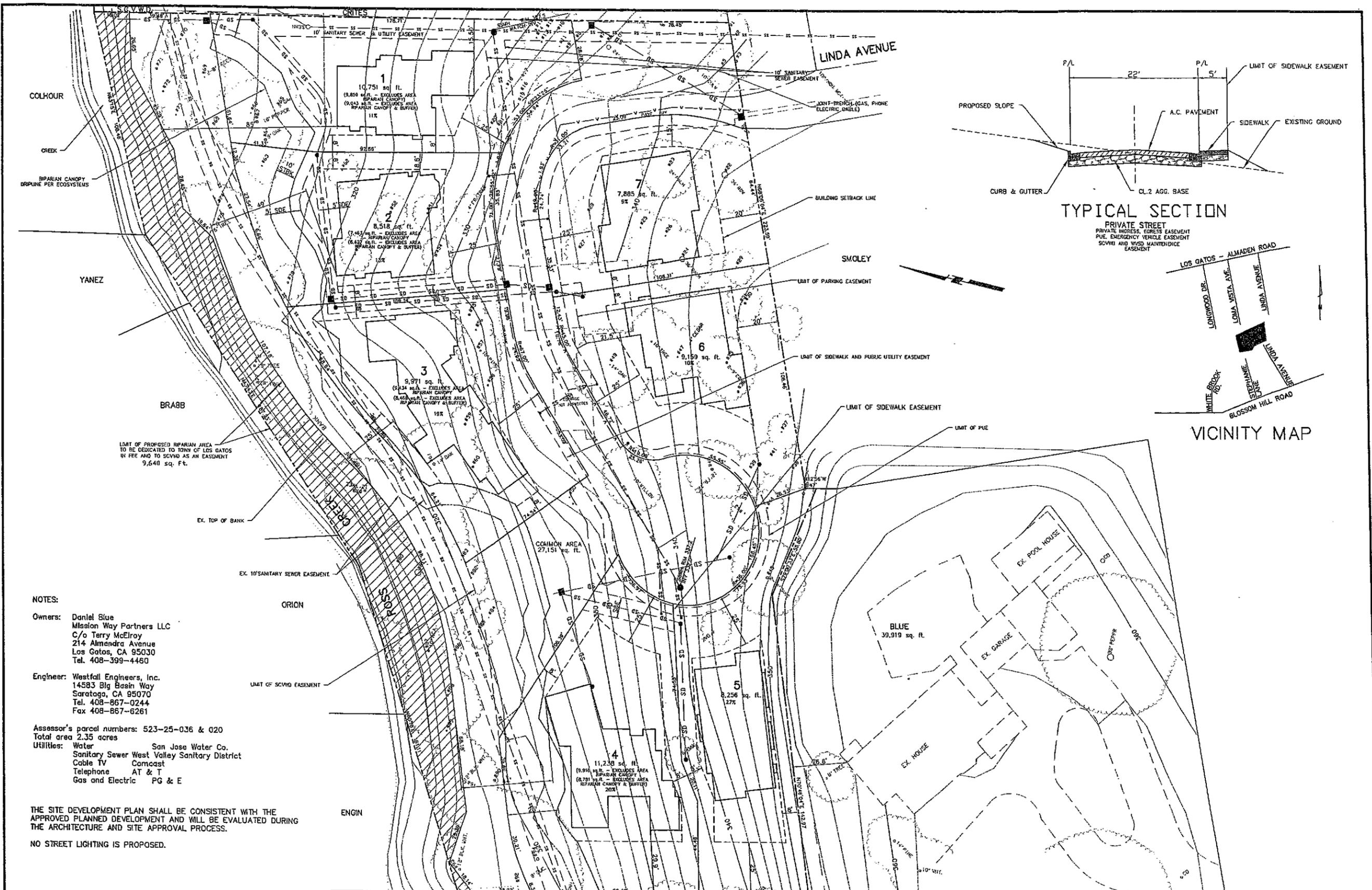
DATE: DECEMBER 9, 2009
 SCALE: HOR. 1"=20'
 VERT.
 DESIGNED: JC
 CHECKED: KC
 PROJ. ENGR: JC



WESTFALL ENGINEERS, INC.
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

IMPERVIOUS SURFACES
TRACT NO. 10012
 LINDA AVENUE, LOS GATOS

JOB NO.
2001-098
 SHEET
3
 OF
4



LIMIT OF PROPOSED RIPARIAN AREA TO BE DEDICATED TO TOWN OF LOS GATOS BY FEE AND TO SCVWD AS AN EASEMENT 9,640 sq. Ft.

NOTES:

Owners: Daniel Blue
Mission Way Partners LLC
C/o Terry McElroy
214 Alameda Avenue
Los Gatos, CA 95030
Tel. 408-399-4460

Engineer: Westfall Engineers, Inc.
14583 Big Basin Way
Saratoga, CA 95070
Tel. 408-867-0244
Fax 408-867-6261

Assessor's parcel numbers: 523-25-036 & 020
Total area 2.35 acres
Utilities: Water San Jose Water Co.
Sanitary Sewer West Valley Sanitary District
Cable TV Comcast
Telephone AT & T
Gas and Electric PG & E

THE SITE DEVELOPMENT PLAN SHALL BE CONSISTENT WITH THE APPROVED PLANNED DEVELOPMENT AND WILL BE EVALUATED DURING THE ARCHITECTURE AND SITE APPROVAL PROCESS.

NO STREET LIGHTING IS PROPOSED.

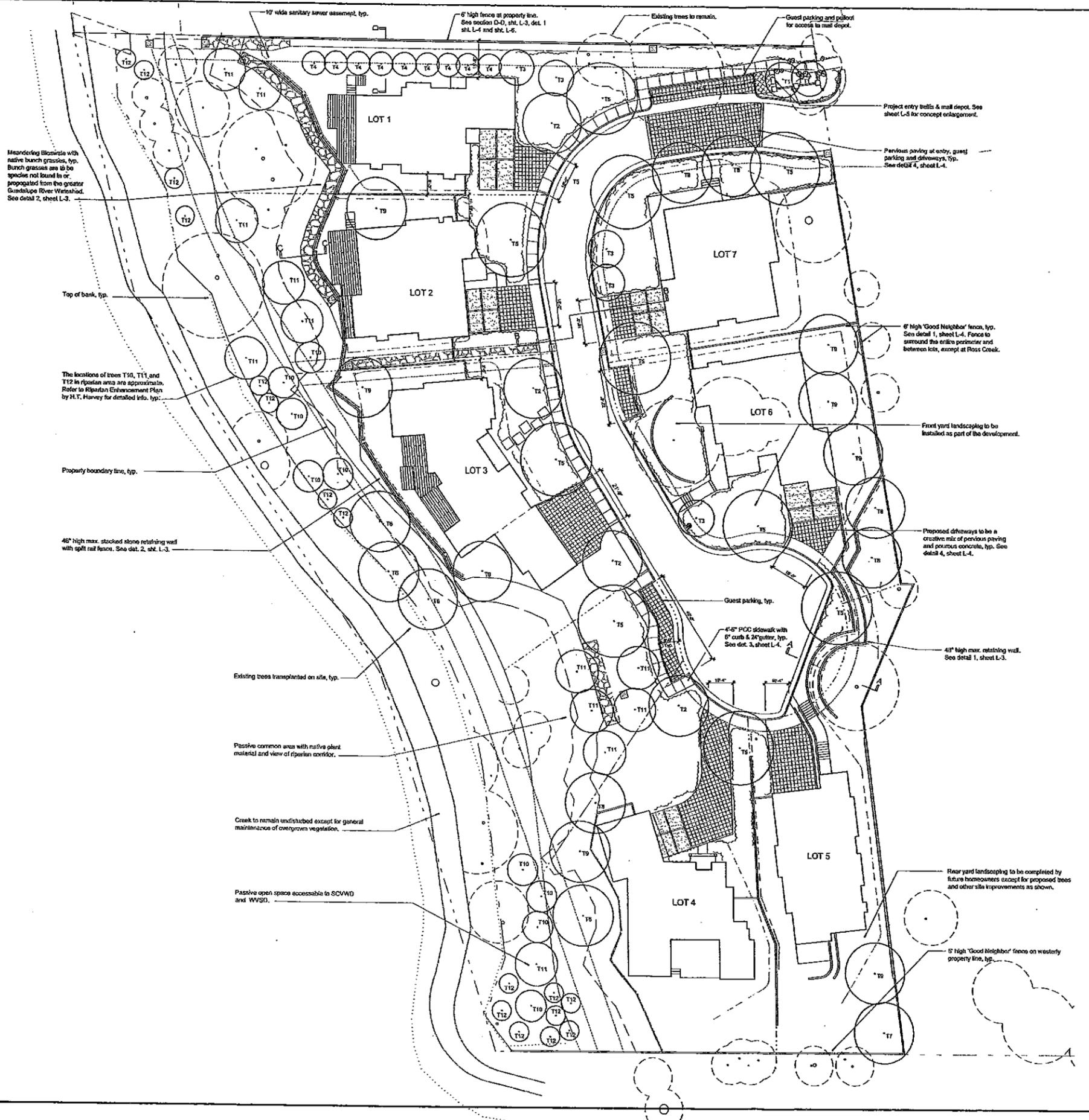
NO.	BY	DATE	REVISION	BY	DATE
5	UC	7-6-10	modification to drainage per drip lines		

DATE: DECEMBER 9, 2009
SCALE: HOR. 1"=20'
VERT.
DESIGNED: JC
CHECKED: KC
PROJ. ENGR: JC

BY: KAREL CYMBAL, RCE 34534
DATE:
WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

TENTATIVE MAP
LANDS OF DEN DAAS & BLUE
LINDA AVENUE, LOS GATOS

JOB NO.
2001-098M
SHEET
4
OF
4



PLANTING LEGEND

TREES	COMMON NAME	QTY	SIZE
T1	Acer palmatum 'Bloodgood'	2	36" box
T2	Cercis canadensis 'Forest Pansy'	4	36" box
T3	Laurea nobilis 'Savoye'	5	36" box
T4	Myrica californica	8	36" box
T5	Quercus parviflora	10	48" box
T6	Quercus agrifolia (Transplanted)	4	36" box
T7	Sequoia sempervirens	1	36" box
T8	Taxodium distichum	5	36" box
T9	Tibetanus celtis	8	48" box
T10	Asusua californica (H.T. Harvey)	7	treepot
T11	Quercus agrifolia (H.T. Harvey)	12	treepot
T12	Salix lasiolepis (H.T. Harvey)	18	treepot

SHRUBS AND GROUND COVER	COMMON NAME	QTY	SIZE
Ceanothus 'Julia Phelps'	Wild Lilac	5 gal	
Dodonaea v. 'Purplea'	Purple Leafed Hop Bush	5 gal	
Myrica californica	Pacific Wax Myrtle	5 gal	
Arctostaphylos 'Howard McMiller'	McMiller Manzanita	5 gal	
Ceanothus californicus	Bush Anemone	5 gal	
Barberry (unbranded)	Barberry	5 gal	
Laurencia s. 'Olio Coast'	Lavender	5 gal	
Phoradendron 'Broom's Baby'	New Zealand Flax	5 gal	
Salvia 'Olea's Choice'	Sage	5 gal	
Mis drupifera	Douglas Iris	1 gal	
Heuchera 'Santa Ana Cardinal'	Small Flowered Alum Root	1 gal	
Teucrium 'humansis'	Germander	1 gal	
Ceanothus griseus horizontalis	Carmel Creeper	1 gal	
Arctostaphylos 'Pied Rover'	Groundcover Manzanita	1 gal	
Galium salvifolius	Sageleaf Rock Rose	1 gal	

PLANTING NOTES

The contractor shall locate and verify the existence of all utilities prior to starting work.

All plant material shall conform to the guidelines established by the current American Standard of Nursery Stock, published by The American Association of Nurserymen.

The plant count is for contractor's convenience. In case of discrepancy, the plan shall govern.

All trees to be staked plainly unless otherwise noted.

The landscape contractor shall guarantee all trees for a period of one year and all shrubs for a period of six months.

Protect existing trees and shrubs as necessary.

All planted areas and plant pits shall be free from rocks and debris greater than 2" in diameter.

* Pursuant to the request by the Santa Clara Valley Water District, cuttings shall be taken from tree #77 and used to replant and enhance the riparian corridor. The work shall be performed under the direction and supervision of a biological consultant. Consider cuttings from other specimens from the greater Guadalupe River Watershed if the overall condition of tree #77 is not suitable for propagation.

* The size of a treepot container is approximately 4" x 4" x 14". The treepot sized containers meet CDGF and SCVWD requirements for riparian restoration and are not intended to meet the Town of Los Gatos' riparian requirements for the trees to be removed. To the extent feasible, plant materials for propagation will be collected from on-site. Otherwise the propagules shall be from within the greater Guadalupe River Watershed. This will provide local genetic plant material that are more adapted to the environmental conditions on the project site. For additional information, refer to the Linda Avenue Riparian Enhancement Plan by H.T. Harvey & Associates.

** No street lighting is proposed for this site.

H•L•D Group
Landscape Architecture

555 N. Santa Cruz Avenue, Los Gatos, CA 95030
(408) 354-9509, Fax # (408) 354-9100

Landscape Plan

SHEET NO: L-1

REVISIONS: 1. _____ 2. _____ 3. _____	DATE: _____
--	----------------

Proposed Residence at:
Linda Court
Los Gatos, California
For: McElroy Properties

Scale: 1" = 20'-0"	Project #:	DWG: L-SITE	Date: July 2010
Drawn by: ch	Checked by: th		



EXISTING TREE LEGEND

SYM	TREE SPECIES	SIZE	CONDITION	DISPOSITION
#1	Coast Live Oak	10"	Fine	Retain
#2	Coast Live Oak	6"	Fair	Remove
#3	Coast Live Oak	12"	Fair	Retain
#4	Coast Live Oak	14"	Fine	Remove
#5	Norway Maple	6"	Fair	Remove
#6	Silver Dollar Gum	19"	Marginal	Remove
#7	Coast Live Oak	5"	Fair	Retain
#8	Coast Live Oak	5"	Fine	Retain
#9	Coast Live Oak	5"	Exceptional	Retain
#10	Coast Live Oak	11"	Exceptional	Retain
#11	Coast Live Oak	3"	Fine	Retain
#12	Coast Live Oak	5"	Exceptional	Retain
#13	Coast Live Oak	9"	Fair	Retain
#14	Coast Live Oak	6"	Fine	Retain
#15	Coast Live Oak	11"	Fine	Retain
#16	Coast Live Oak	8"	Exceptional	Transplant
#17	Lombardy Poplar	5"	Poor	Remove
#18	Lombardy Poplar	4"	Poor	Remove
#19	Coast Live Oak	4"	Fine	Remove
#20	Coast Live Oak	5"	Fine	Transplant
#21	Southern Magnolia	5"	Poor	Remove
#22	Coast Redwood	39"	Fine	Retain
#23	Canary Island Date Palm	31"	Exceptional	Remove
#24	Canary Island Date Palm	32"	Exceptional	Remove
#25	Coast Redwood	6"	Exceptional	Remove
#26	European Olive	6"	Fair	Remove
#27	Karo	6"	Fine	Remove
#28	California Black Walnut	5"	Poor	Remove
#29	Coast Live Oak	7"	Fine	Remove
#30	Coast Live Oak	11"	Fine	Remove
#31	Coast Live Oak	5"	Fine	Remove
#32	Coast Live Oak	11"	Exceptional	Retain
#33	Tawbuh	5"	Fine	Retain
#34	Coast Live Oak	11"	Exceptional	Retain
#35	Juniper	11"	Fair	Remove
#36	Apricot	10"	Poor	Remove
#37	Apricot	6"	Poor	Remove
#38	Wild Plum	4"	Poor	Remove
#39	Apricot	5"	Poor	Remove
#40	Apricot	14"	Poor	Remove
#41	Apple	4"	Exceptional	Remove
#42	Coast Live Oak	15"	Fine	Retain
#43	Coast Live Oak	6"	Exceptional	Transplant
#44	Coast Live Oak	9"	Exceptional	Transplant
#45	Coast Live Oak	16"	Exceptional	Retain
#46	Weeping Willow	14"	Fine	Remove
#47	Southern Magnolia	7"	Fine	Remove
#48	Coast Live Oak	15"	Fine	Retain
#49	Weeping Willow	6"	Marginal	Remove
#50	Weeping Willow	8"	Fine	Remove
#51	Almond	8"	Marginal	Remove
#52	Almond	10"	Marginal	Remove
#53	Peach	6"	Marginal	Remove
#54	English Walnut	10"	Fair	Remove
#55	Allego Pine	10"	Fine	Remove
#56	Weeping Willow	6"	Marginal	Remove
#57	Italian Stone Pine	15"	Fine	Remove
#58	Italian Stone Pine	5"	Fine	Remove
#59	English Walnut	10"	Marginal	Remove
#60	English Walnut	13"	Dead	Remove
#61	Coast Live Oak	14"	Fine	Remove
#62	California Black Walnut	6"	Marginal	Remove
#63	California Black Walnut	6"	Fine	Retain
#64	Coast Live Oak	8"	Exceptional	Retain
#65	Coast Live Oak	8"	Exceptional	Retain
#66	Coast Live Oak	5.5"	Fine	Retain
#67	California Pepper	10"	Poor	Retain
#68	Cherry	4"	Poor	Retain
#69	Willow	7"	Marginal	Retain
#70	Willow	6"	Fine	Retain
#71	Willow	10"	Fine	Retain
#72	Willow	8"	Fine	Retain
#73	Willow	5"	Fine	Retain
#74	Willow	10"	Marginal	Retain
#75	Willow	21"	Marginal	Retain
#76	Willow	12"	Marginal	Retain
#77	Willow	35"	Poor	Retain
#78	Willow	8"	Marginal	Retain
#79	Willow	12"	Poor	Remove
#80	Silver White	14"	Fair	Remove
#81	Blue Oak	33"	Poor	Retain
#82	California Buckeye	4"	Fine	Retain
#83	Japanese Privet	3.5"	Marginal	Remove
#84	Coast Live Oak	5.5"	Fine	Retain
#85	Coast Live Oak	4.5"	Fine	Retain
#86	Coast Live Oak	5.5"	Fine	Retain
#87	Silver Wattle	15"	Poor	Remove
#88	Willow Species	12"	Poor	Retain
#89	Willow Species	8"	Poor	Retain
#90	Willow Species	15"	Poor	Retain
#91	Willow Species	16"	Marginal	Retain
#92	Tasmanian Blue Gum	14"	Fair	Remove
#93	Coast Live Oak	6"	Fine	Retain
#94	Coast Live Oak	6"	Fine	Retain
#95	Coast Live Oak	5"	Fine	Retain
#96	Coast Live Oak	6"	Fine	Retain
#97	Coast Live Oak	5"	Fine	Retain
#98	Coast Live Oak	5"	Fine	Retain
#99	Coast Live Oak	6"	Fine	Retain
#100	Coast Live Oak	14"	Fine	Retain
#101	Holly Leafed Cherry	6"	Fine	Retain
#102	Willow	8"	Poor	Retain
#103	Coast Live Oak	43"	Fine	Retain
#104	Coast Live Oak	5"	Fine	Remove

* See sheet L-1 for new locations of transplanted trees.

* See Arboricultural Report for tree protection instructions.

* Pursuant to the request by the Santa Clara Valley Water District, cuttings shall be taken from tree #77 and used to replant and enhance the riparian corridor. The work shall be performed under the direction and supervision of a biological consultant. Consider cuttings from an other specimen from the greater Guadalupe River Water shed if the overall condition of tree #77 is not suitable for propagation.

H.O.D Group
Landscape Architecture

555 N. Santa Clara Avenue, Los Gatos, CA 95030
(408) 354-9502, Fax # (408) 354-9040

LANDSCAPE ARCHITECT
STATE OF CALIFORNIA

DATE: _____

REVISIONS: _____

Proposed Residence at:
Linda Court
Los Gatos, California
For: McElroy Properties

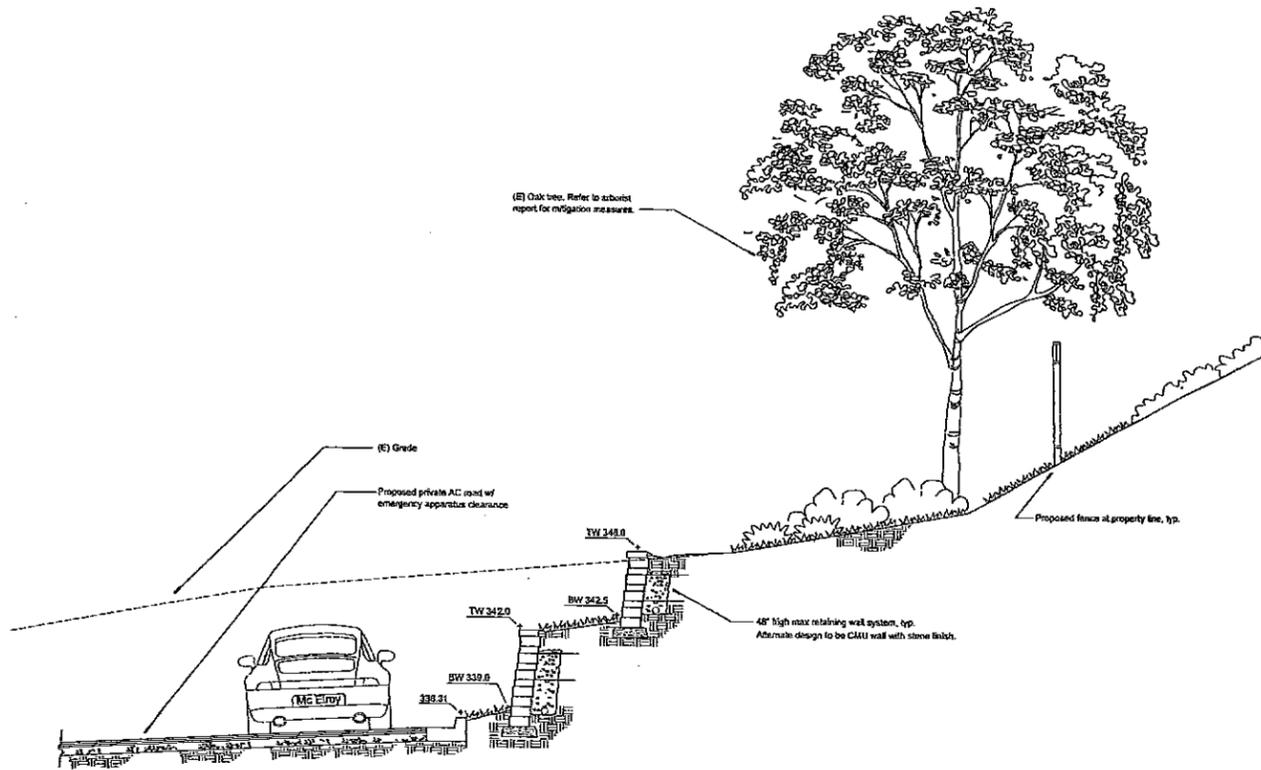
Drawn by: ch
Checked by: th
Date: July 2010

Scale: 1" = 20'-0"
Project #: _____
DWG: L-002
L-002

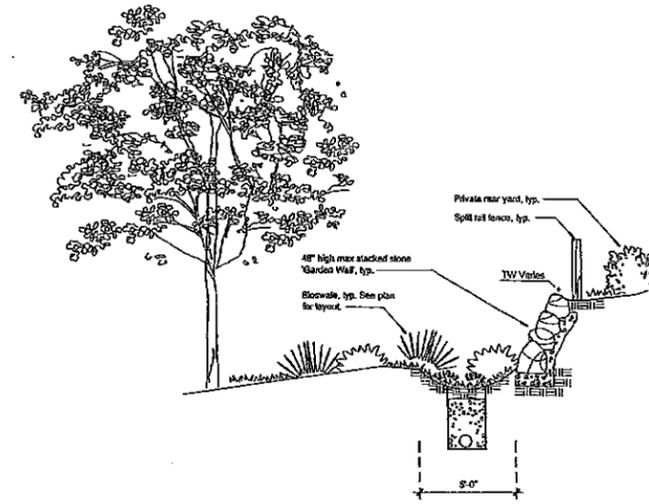
Existing Tree Plan

SHEET TITLE:
L-2

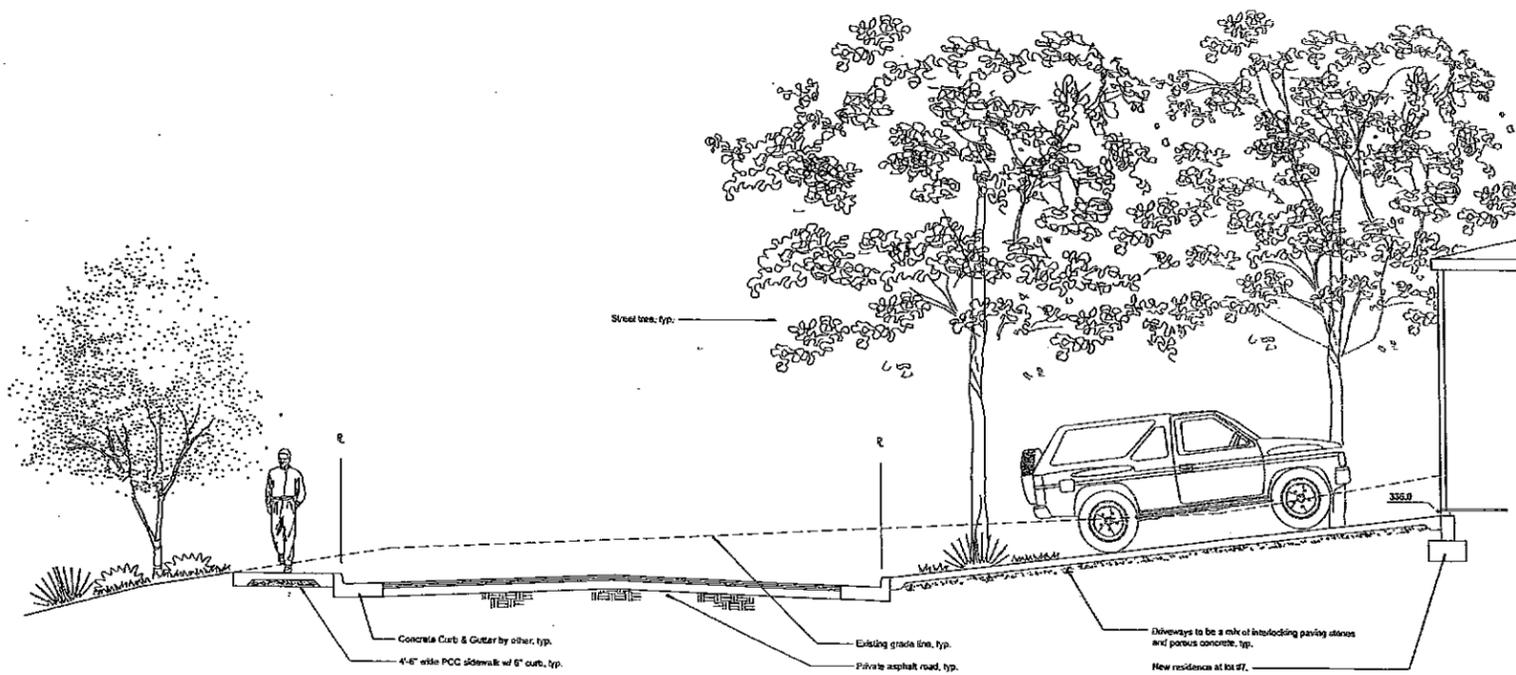
SHEET NO:
L-2



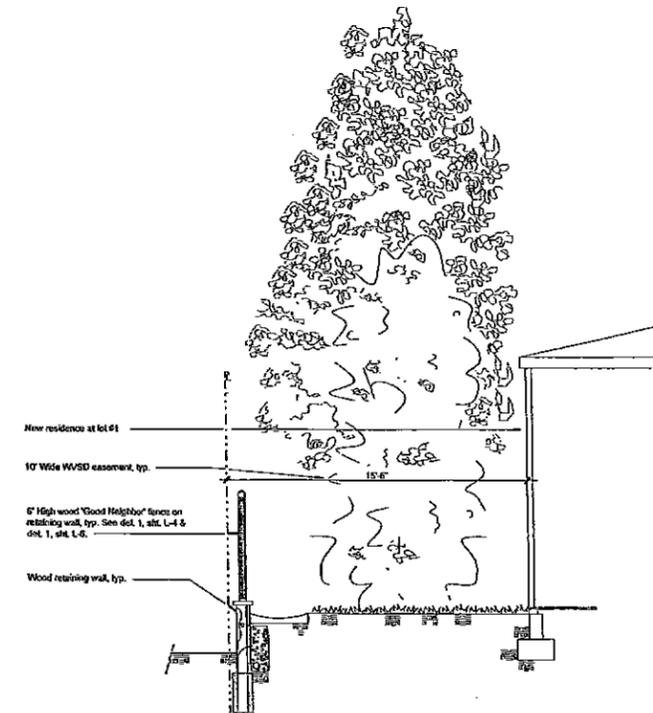
1 Section A-A: Mortarless Retaining Wall at Cul de Sac
1/4" = 1'-0"



2 Section C-C: Bioswale, Garden Wall and Split Rail Fence
1/4" = 1'-0"



3 Section B-B: Private Road at Lot 7
1/4" = 1'-0"



4 Section D-D: Screening at Lot 1
1/4" = 1'-0"

H.L.O.D. Group
Landscape Architecture

555 N. Santa Cruz Avenue, Los Gatos, CA 95030
(408) 354-9509, Fax # (408) 354-9040

REGISTERED LANDSCAPE ARCHITECT
No. 2164
STATE OF CALIFORNIA

DATE: _____

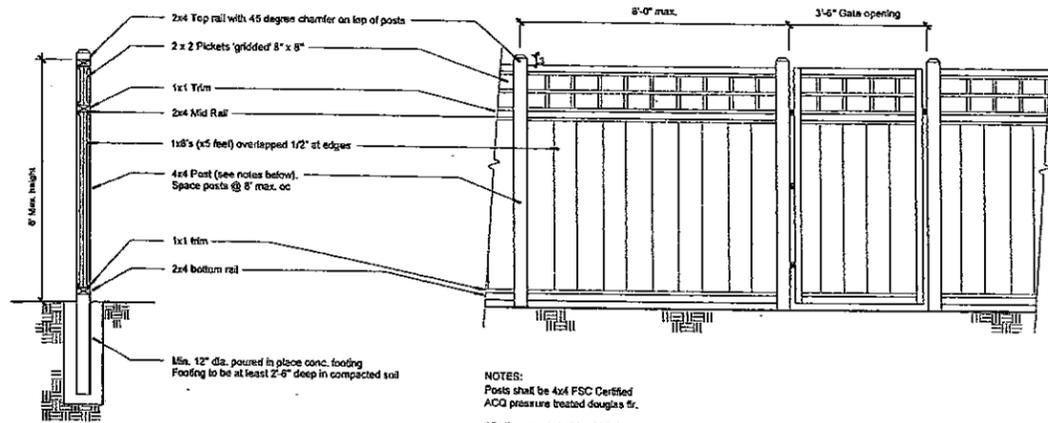
REVISIONS:

DRAWN BY: ch	CHECKED BY: th
DATE: June 2010	

Proposed Residence at:
Linda Court
Los Gatos, California
For: McEroy Properties

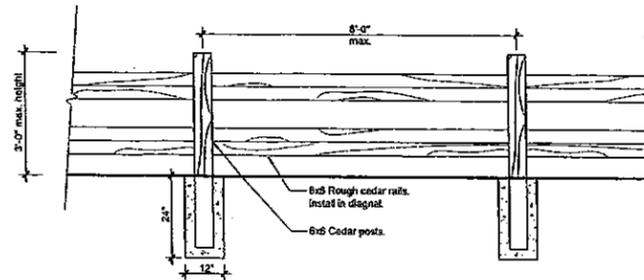
SHEET TITLE:
Site Sections

SHEET NO:
L-3

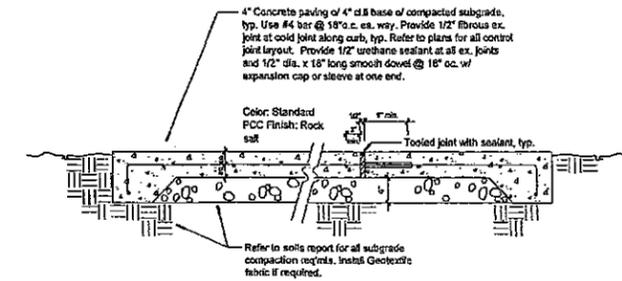


NOTES:
 Posts shall be 4x4 FSC Certified
 ACQ pressure treated douglas fir.
 All other wood shall be FSC Certified
 rough crest, heart redwood.
 Use hot dipped galvanized fasteners.
 Top of fence will step with grade.

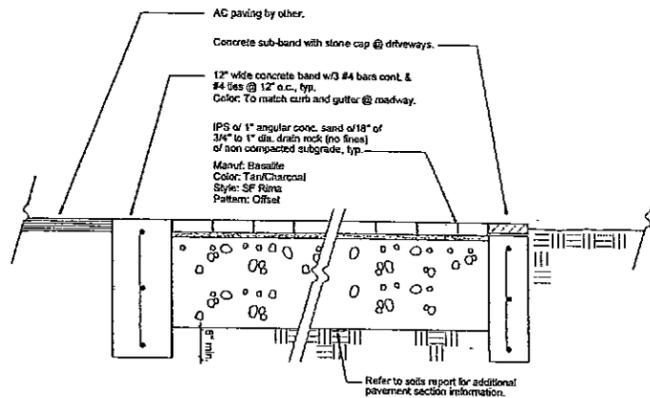
1 6' High Good Neighbor Fence
 1/2" = 1'-0"



2 Split Rail Fence on Garden Wall
 1/2" = 1'-0"



3 Concrete Paving - Sidewalk
 3/4" = 1'-0"



4 Permeable Pavers at Driveways
 3/4" = 1'-0"

H.O.L.D. Group
 Landscape Architecture
 555 N. Santa Cruz Avenue, Los Gatos, CA 95030
 (408) 354-9509, Fax # (408) 354-9040



REVISIONS:

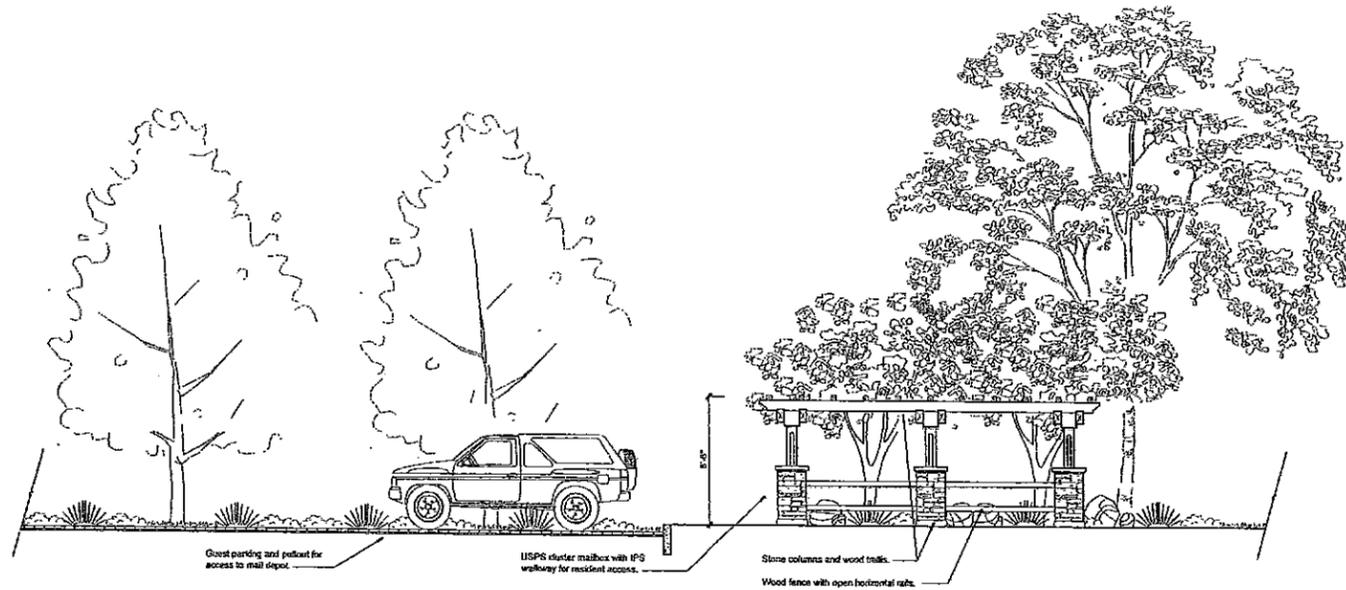
DATE:

Proposed Residence at:
Linda Court
 Los Gatos, California
 For: McElroy Properties

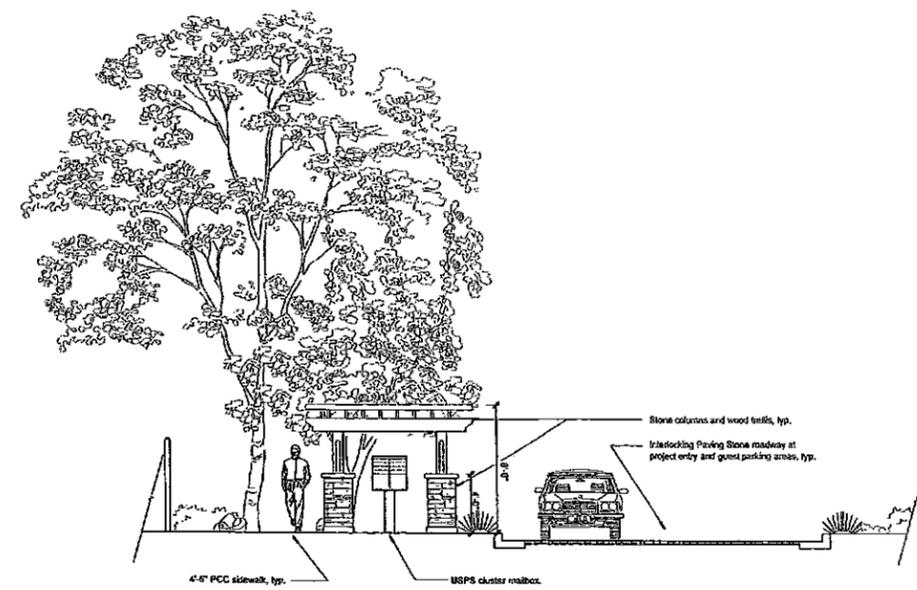
Drawn by: ch	Checked by: lh	Date: June 2010
Scale: As Shown	Project #:	DWG: L-DET1

SHEET TITLE:
**Fence and Site
 Details**

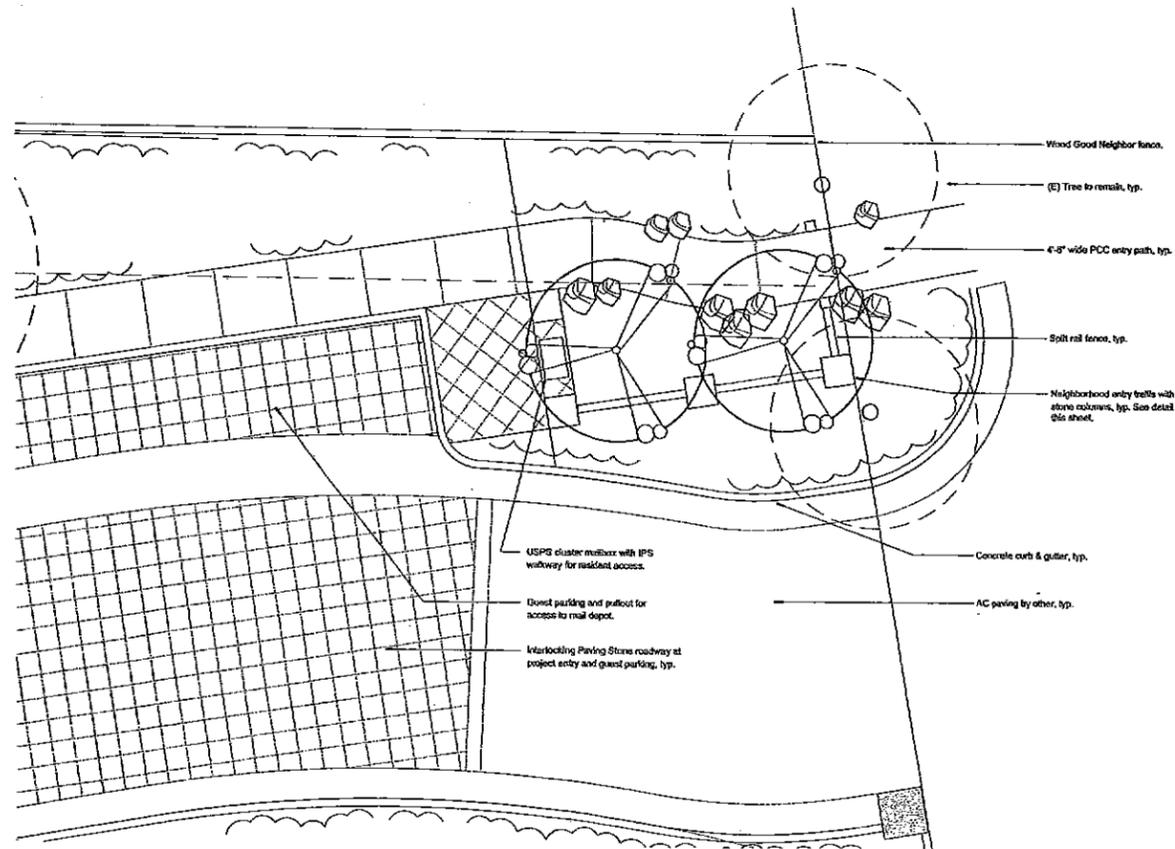
SHEET NO:
L-4



① Neighborhood Entry Feature - Front Elevation
3/16" = 1'-0"



② Neighborhood Entry Feature - Side Elevation
3/16" = 1'-0"



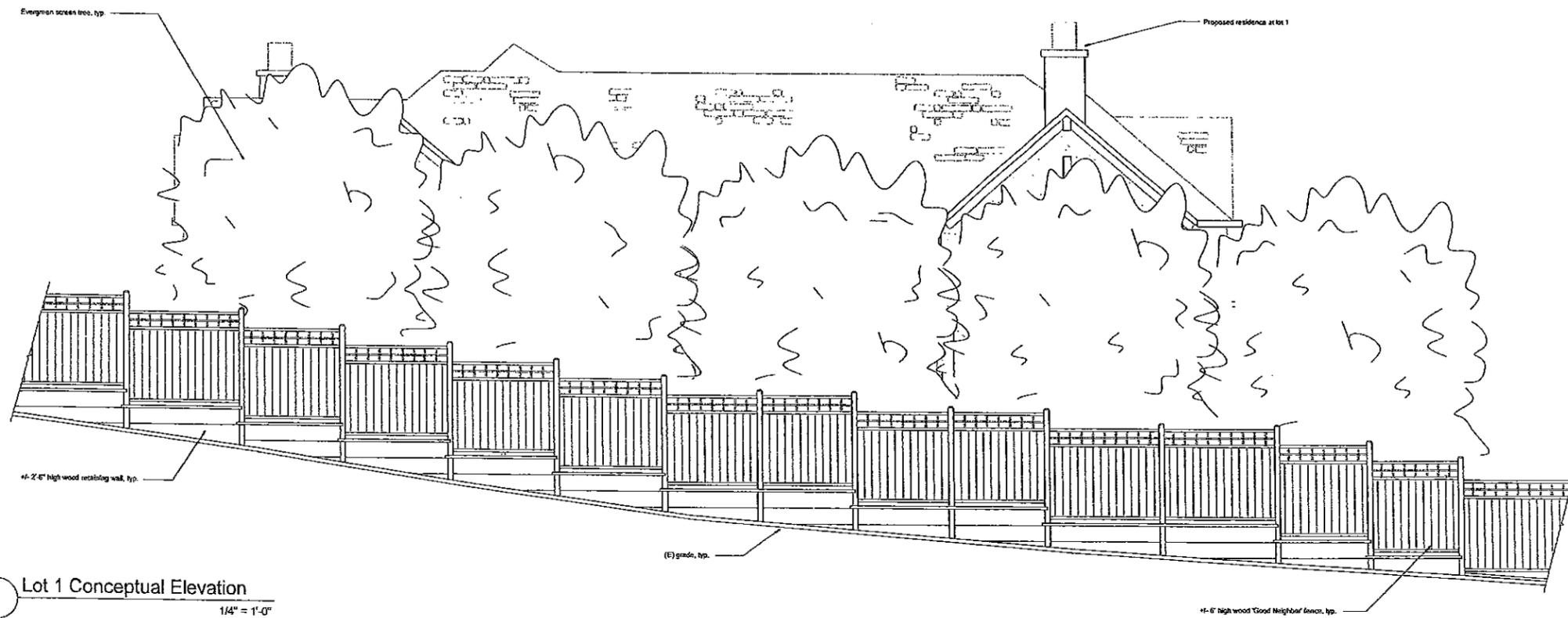
③ Neighborhood Entry Feature - Plan View
3/16" = 1'-0"

H•L•D Group
Landscape Architecture

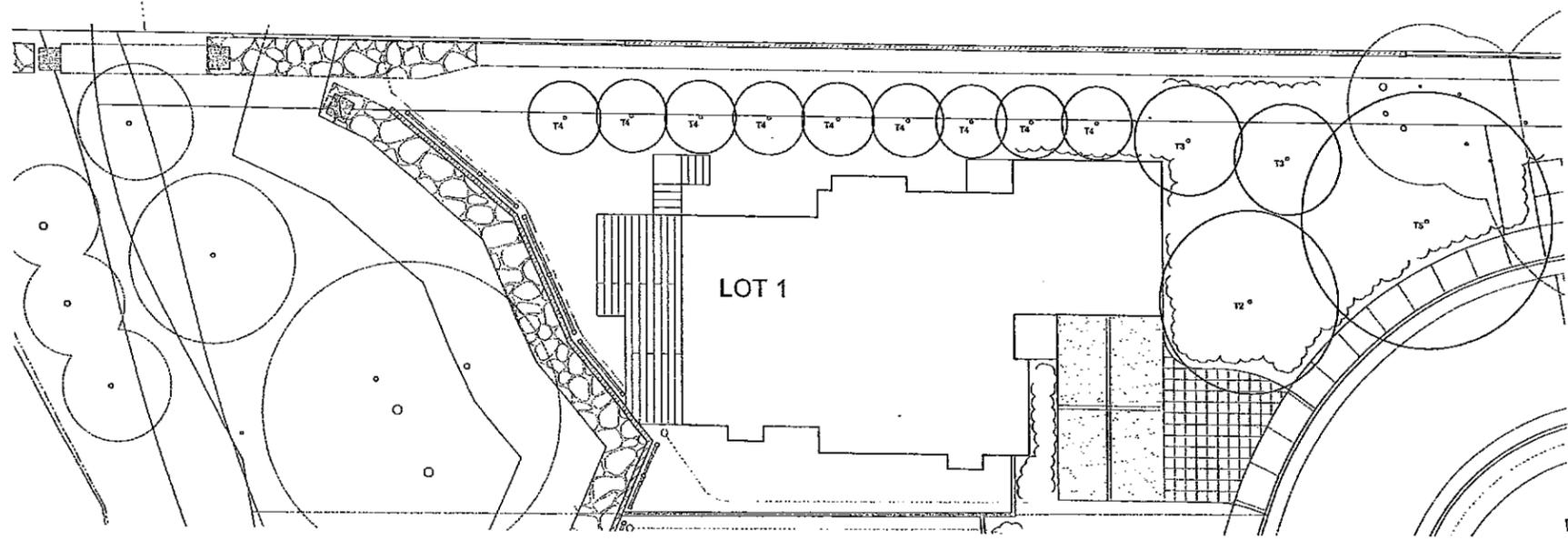
555 N. Santa Cruz Avenue, Los Gatos, CA 95030
(408) 354-9909; Fax # (408) 354-9940

LANDSCAPE ARCHITECT
STATE OF CALIFORNIA

REVISIONS: DATE:	
Proposed Residences at: Linda Court Los Gatos, California For: McElroy Properties	
Drawn by: ch Scale: As Shown Project #:	Checked by: th Date: June 20/00 DWG: L-DET1
Project Entry Details	
SHEET NO: L-5	



1 Lot 1 Conceptual Elevation
1/4" = 1'-0"



2 Lot 1 Screen Planting
1" = 10'-0"

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE
T2	<i>Cercis canadensis</i> 'Forest Pansy'	Eastern Redbud	1	36" box
T3	<i>Laurus nobilis</i> 'Saratoga'	Sweet Bay	2	36" box
T4	<i>Myrica californica</i>	Pacific Wax Myrtle	9	36" box
T5	<i>Geijera parviflora</i>	Australian Willow	1	36" box



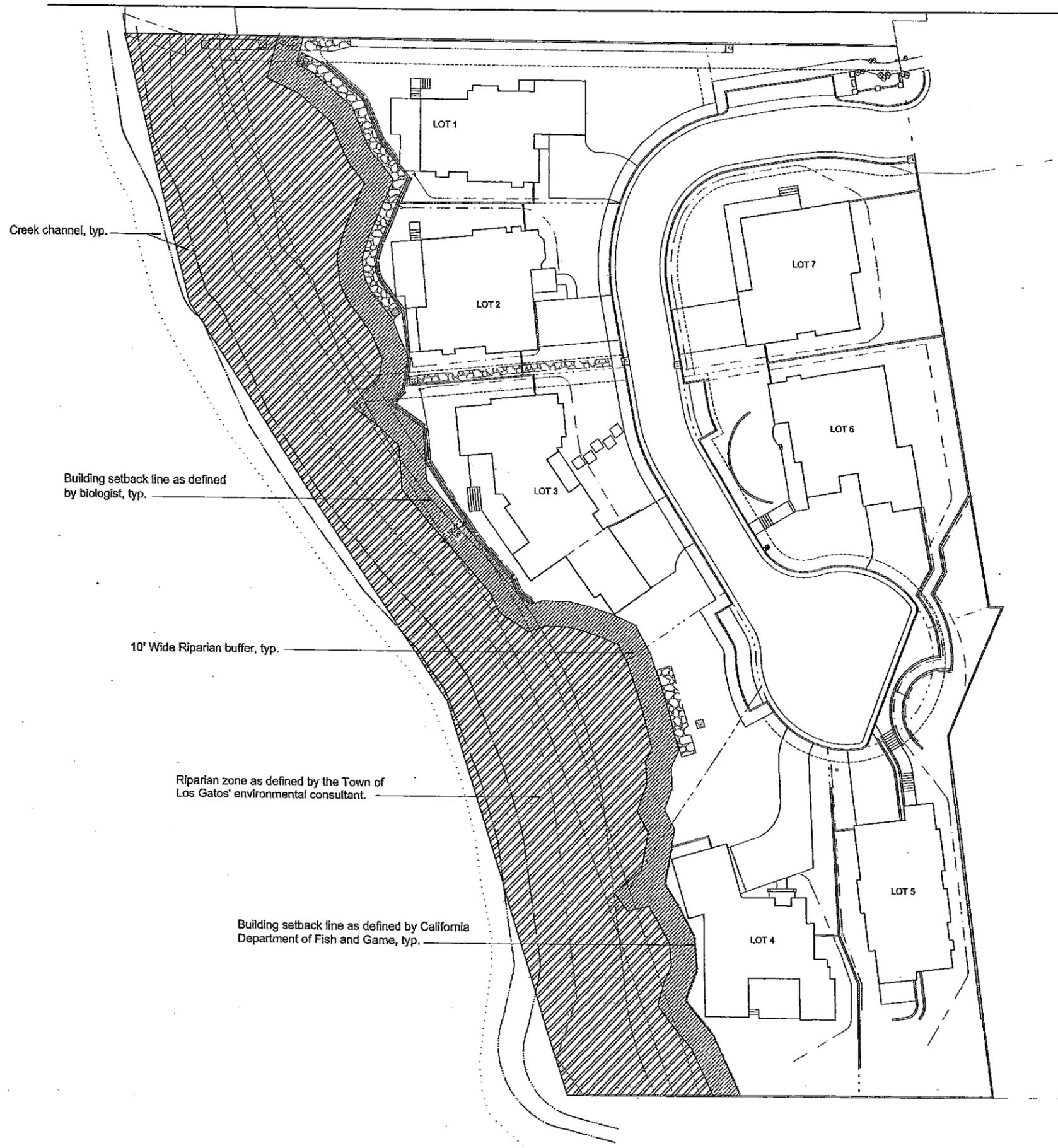
H.O.L.D. Group
 Landscape Architecture
 555 N. Santa Cruz Avenue, Los Gatos, CA 95030
 (408) 354-9509, Fax # (408) 354-9000

REVISIONS: _____ DATE: _____
 Proposed Residence at:
Linda Court
 Los Gatos, California
 For: McElroy Properties

Drawn by: ch	Checked by: th	Date: July 2010
Scale: As Shown	Project #:	DWG: L-ELEV

SHEET TITLE:
Lot 1 Screening

SHEET NO.:
L-6



ROSS CREEK RIPARIAN ZONES

	RIPARIAN ZONE AS DEFINED BY THE TOWN OF LOS GATOS' ENVIRONMENTAL CONSULTANT
	RIPARIAN BUFFER AS DEFINED BY CALIFORNIA DEPARTMENT OF FISH AND GAME
	BUILDING SETBACK AS DEFINED BY BIOLOGIST

Creek channel, typ.

Building setback line as defined by biologist, typ.

10' Wide Riparian buffer, typ.

Riparian zone as defined by the Town of Los Gatos' environmental consultant.

Building setback line as defined by California Department of Fish and Game, typ.



 <p style="font-size: small;">H.O.D. Group Landscape Architecture 855 N. Santa Cruz Avenue, Los Gatos, CA 95030 (408) 354-9500, Fax # (408) 354-9040</p>										
										
REVISIONS: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 45%;">DESCRIPTION</th> <th style="width: 50%;">DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE							Proposed Residence at: <p style="text-align: center;">Linda Court Los Gatos, California For: McElroy Properties</p>
NO.	DESCRIPTION	DATE								
Scale: 1" = 20'-0" Project #: L-ROSS-CREEK DWG:	Drawn by: [blank] Checked by: [blank] Date: July 2010									
SHEET TITLE: <p style="font-size: large;">Ross Creek Riparian Zones</p>										
SHEET NO.: <p style="font-size: large;">L-7</p>										

BR

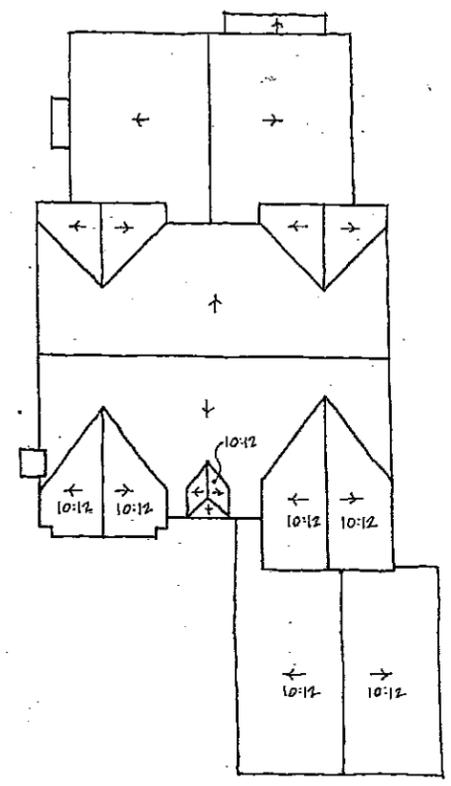
Britt • Rowe

108 N. Santa Cruz Ave.
Los Gatos, CA 95030

408 354 6224 (office)
408 354 6514 (fax)

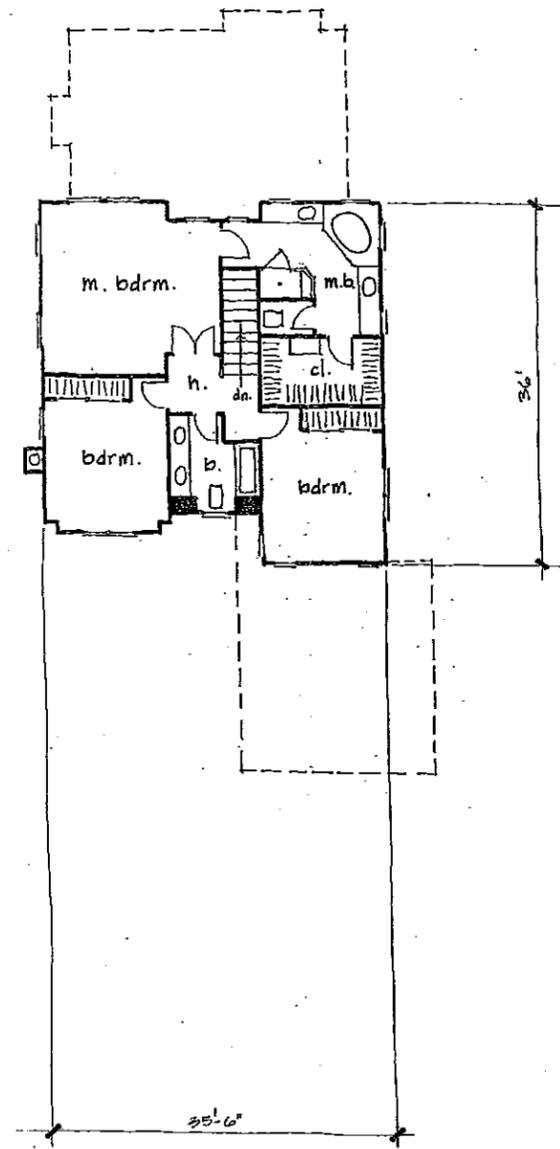
BRITT • ROWE retains all rights and ownership to all drawings and specifications. The contents of the drawings and specifications may not be used on any other project without the written consent of BRITT • ROWE

**LINDA COURT
RESIDENCES**
Los Gatos, California



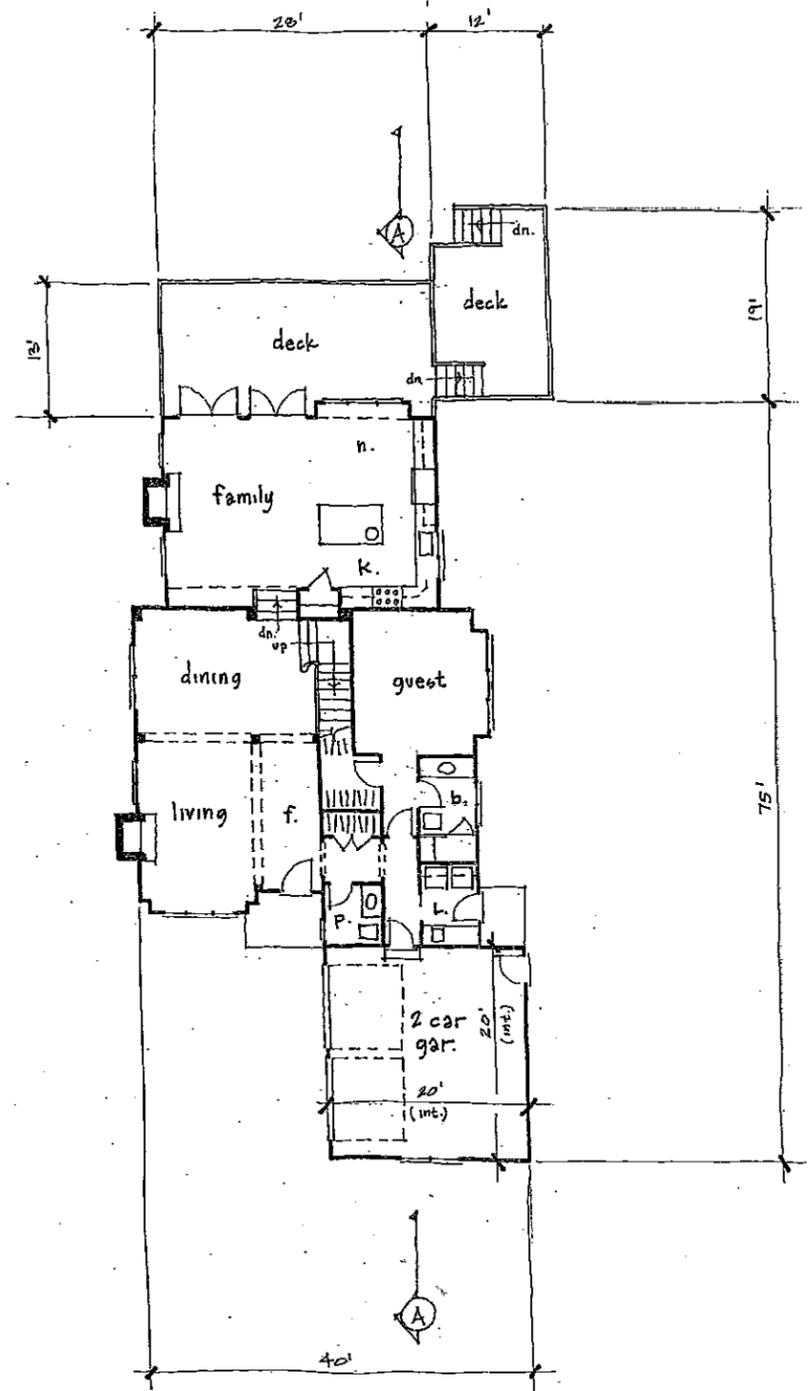
ROOF PLAN

7:12 roof slope v.n.o. 1/8"=1'-0"



SECOND FLOOR PLAN

1,060.b 1/8"=1'-0"



FIRST FLOOR PLAN

1,620.b + 440 garage.b 1/8"=1'-0"

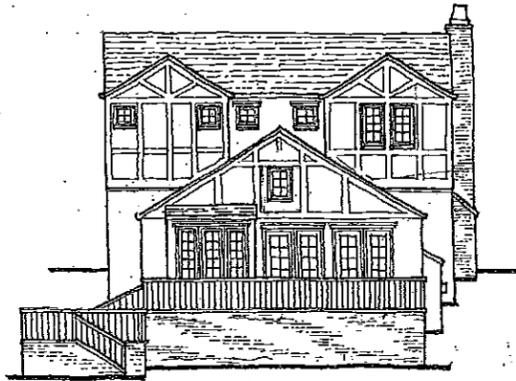
SHEET: floor plans / roof plan
SCALE: noted
DATE: July 29, 2009
DRAWN:

1A



LEFT SIDE ELEVATION

1/8"=1'-0"



REAR ELEVATION

1/8"=1'-0"



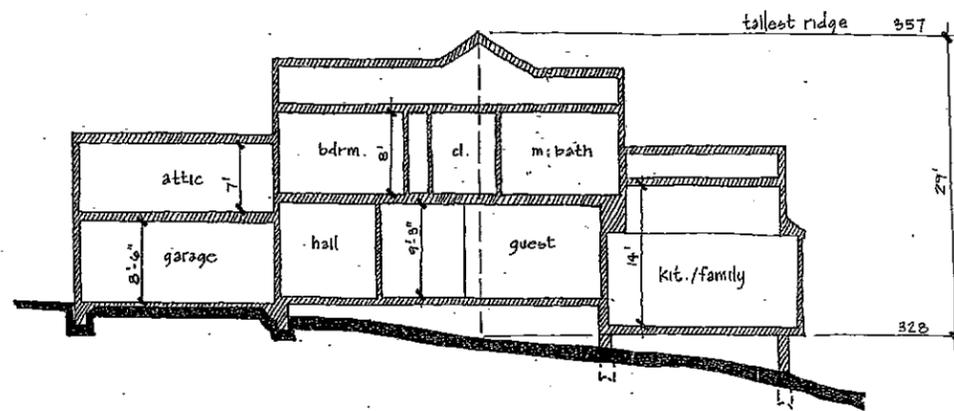
RIGHT SIDE ELEVATION

1/8"=1'-0"



FRONT ELEVATION

1/4"=1'-0"



DESIGN SECTION A

1/8"=1'-0"

REVISIONS	BY

BR

Britt Rowe

106 N. Santa Cruz Ave.
Los Gatos, CA 95030

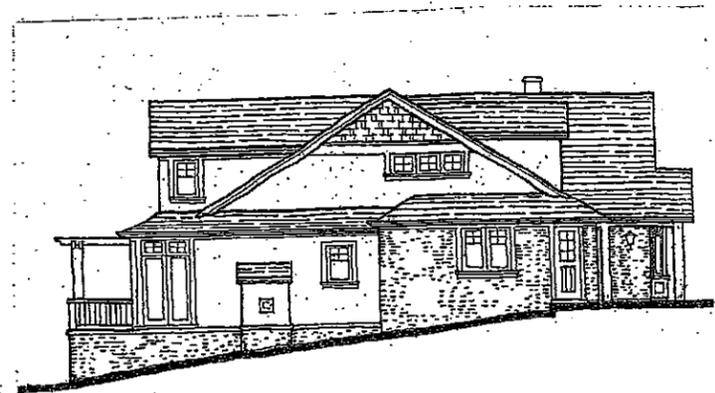
408.254.6224 (office)
408.353.6514 (fax)

BRITT ROWE retains all rights and ownership to all drawings and specifications. The contents of the drawings and specifications may not be used on any other project without the expressed, written consent of BRITT ROWE.

**LINDA COURT
RESIDENCES**
Los Gatos, California

SHEET: elevations / section
SCALE: noted
DATE: July 27, 2007
DRAWN:

1B



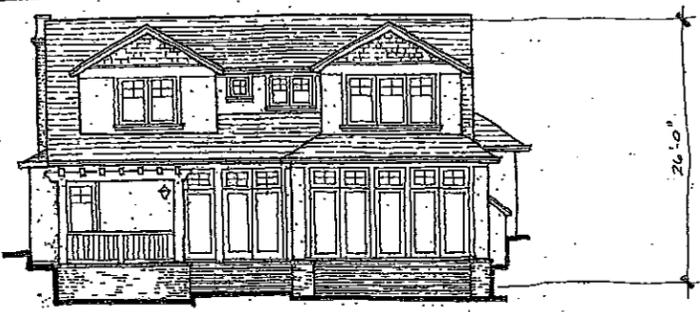
LEFT SIDE ELEVATION

1/8"=1'-0"



FRONT ELEVATION

1/4"=1'-0"



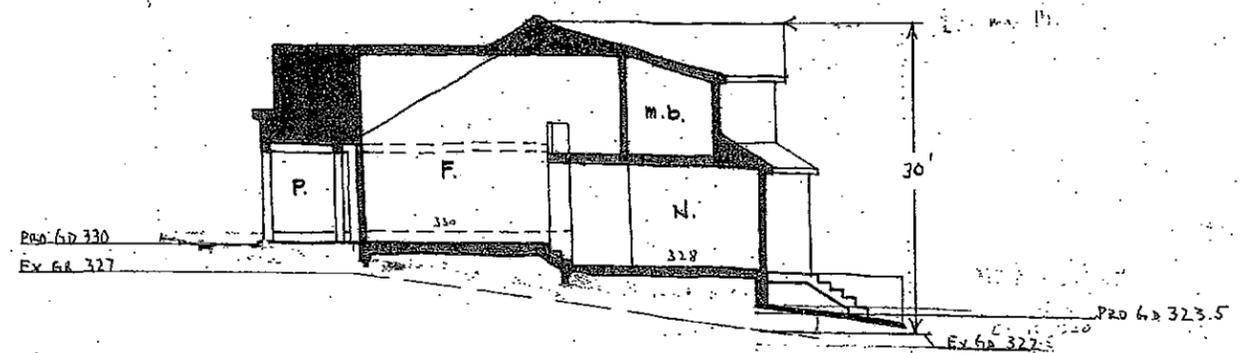
REAR ELEVATION

1/8"=1'-0"



RIGHT SIDE ELEVATION

1/8"=1'-0"



DESIGN SECTION A

1/8"=1'-0"

REVISIONS BY

BR
 Britt + Flowe
 105 W. Santa Ana Ave.
 Los Gatos, CA 95030
 408.554.1024 (office)
 408.554.8514 (fax)

BRITT + FLOWE, INC. reserves all rights in this drawing. The contents of this drawing and specifications may not be used for any other project without the written consent of BRITT + FLOWE, INC.

**LINDA COURT
 RESIDENCES**
 Los Gatos, California

SHEET: lot two elev./sect.
 SCALE: noted
 DATE: 8/1/06
 DRAWN

2B

REVISIONS	BY
6.24.08	db
10.9.08	db
6.17.10	db

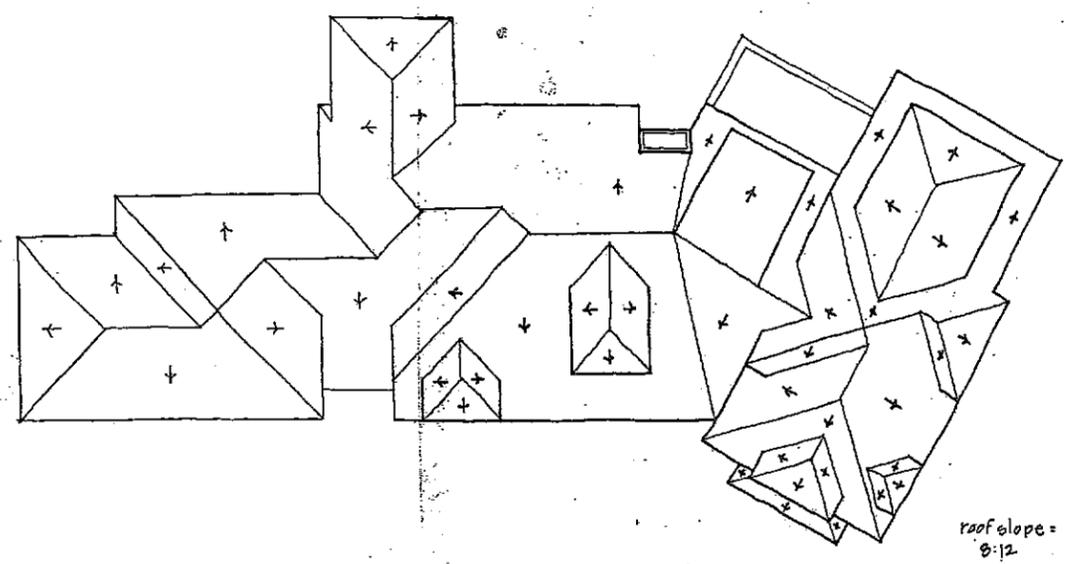
BR
 Britt • Rowe
 103 F. Santa Cruz Ave.
 Los Gatos, CA 95030
 408.354.6224 (office)
 408.351.8614 (cell)

BRITT • ROWE retains all rights and all ownership in all drawings and specifications. The contents of the drawings and specifications may not be used on any other project without the expressed, written consent of BRITT • ROWE

**LINDA COURT
 RESIDENCES**
 Los Gatos, California

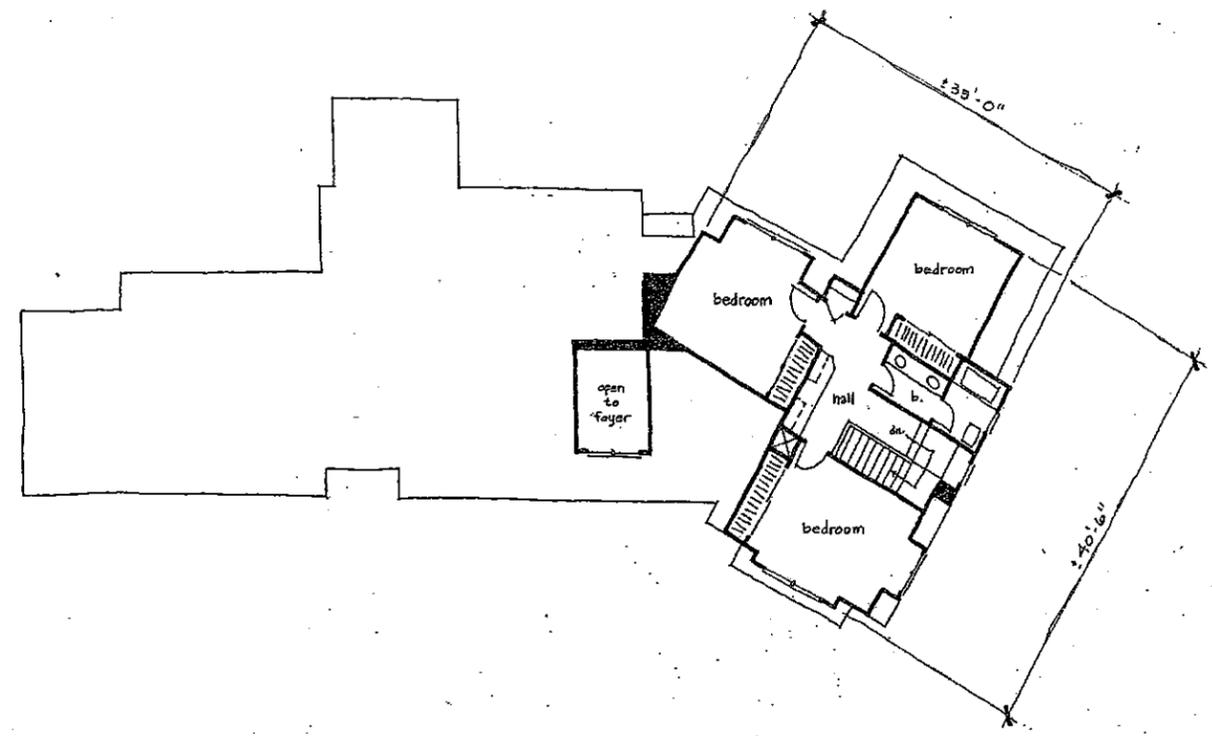
SHEET: lot three plans
 SCALE: noted
 DATE: 1.27.08
 DRAWN:

3A



ROOF PLAN

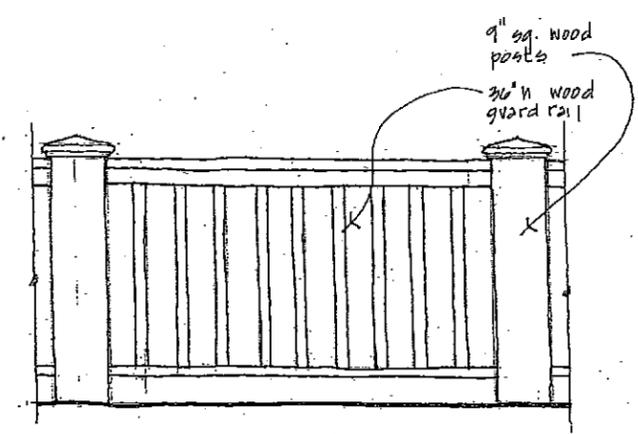
1/8"=1'-0"



SECOND LEVEL FLOOR PLAN

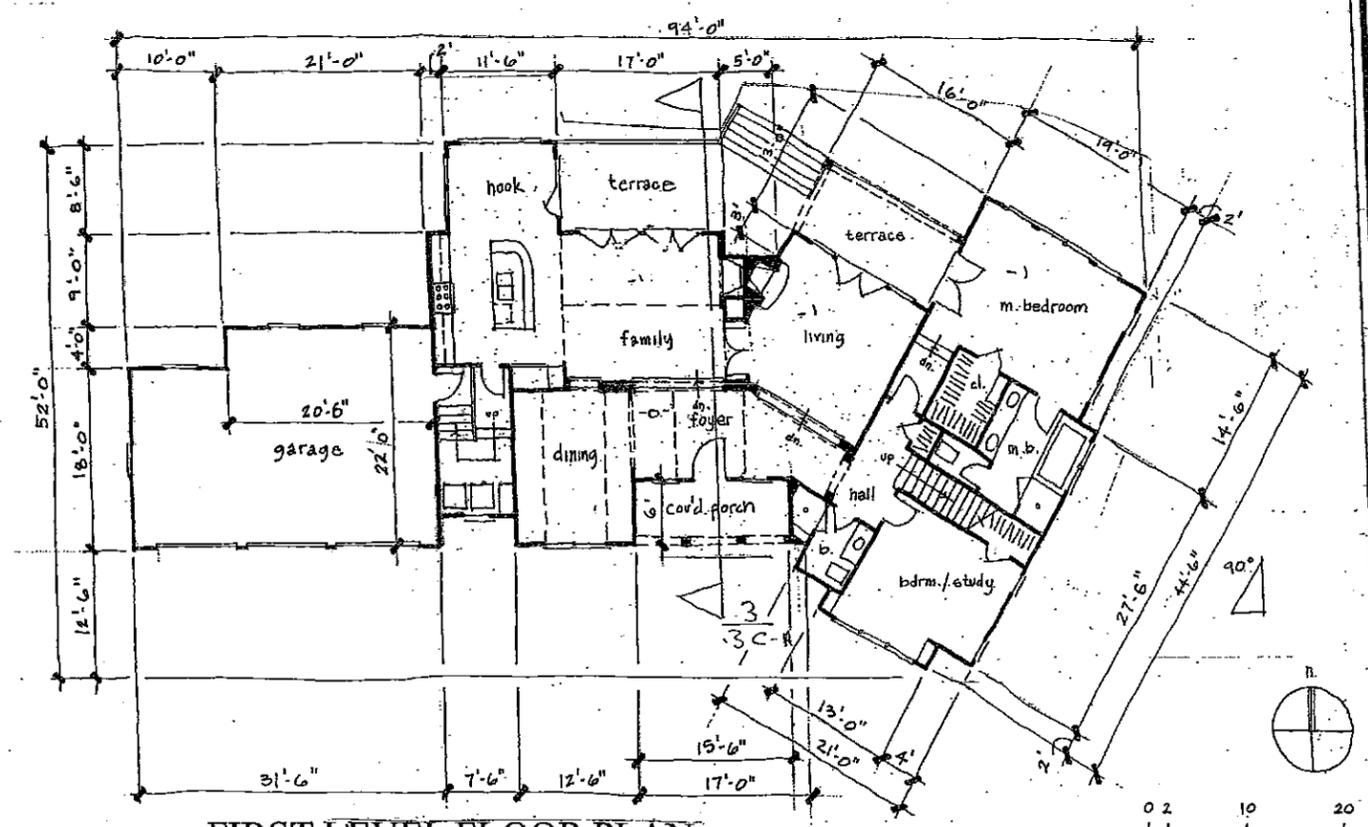
± 860 b

1/8"=1'-0"



WOOD RAILING DETAIL

1"=1'-0"



FIRST LEVEL FLOOR PLAN

± 2,130 b + 651 b garage

1/8"=1'-0"

**LOT THREE
 RESIDENCE**

REVISIONS	BY
10.9.08	db
6.17.10	db

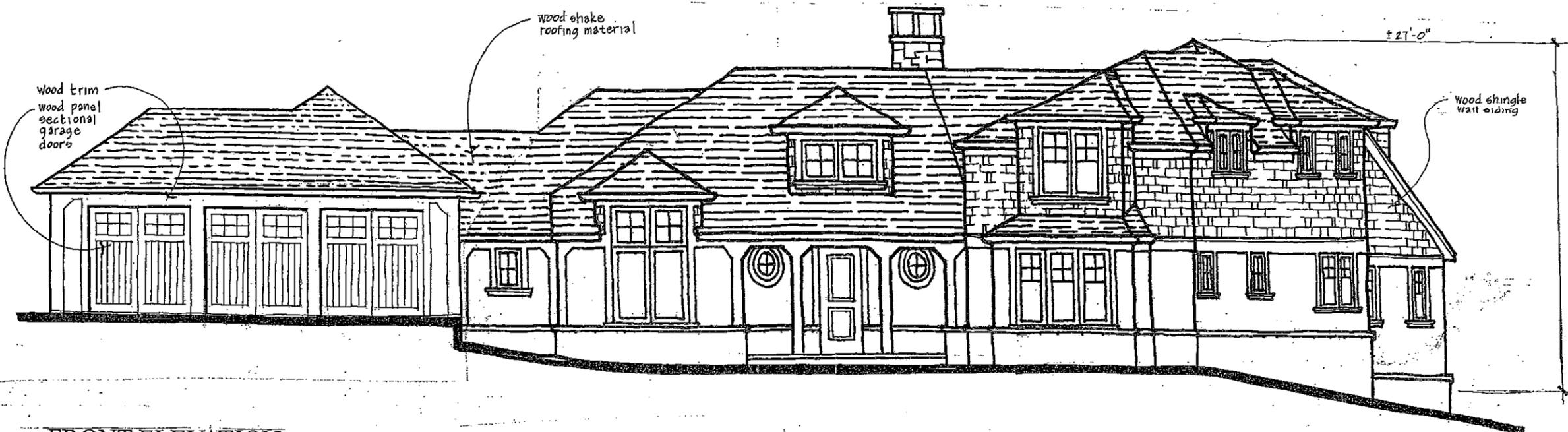
BR
 Britt + Rowe
 108 N. Santa Cruz Ave.
 Los Gatos, CA 95030
 408.331.6224 (office)
 408.354.6714 (fax)

BRITT+ROWE retains all rights and liability to all drawings and specifications. The contents of the drawings and specifications may not be used on any other project without the expressed, written consent of BRITT+ROWE.

**LINDA COURT
 RESIDENCES**
 Los Gatos, California

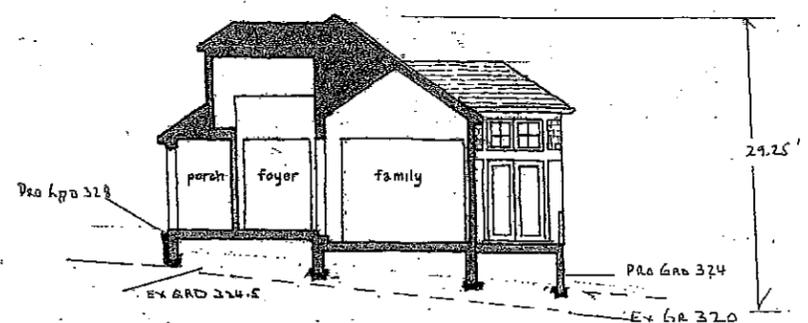
SHEET: elevations / sections
 SCALE: Noted
 DATE: 1.29.08
 DRAWN:

3B



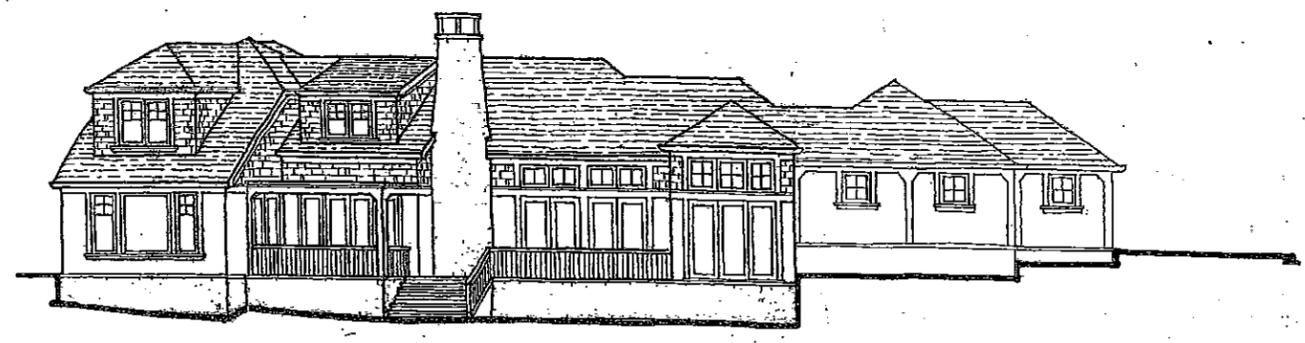
FRONT ELEVATION

1/4"=1'-0"



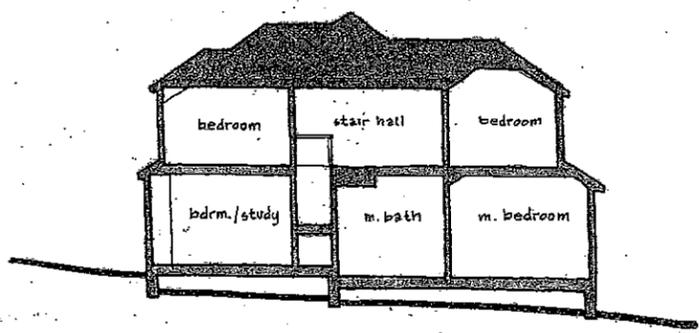
DESIGN SECTION A

1/8"=1'-0"



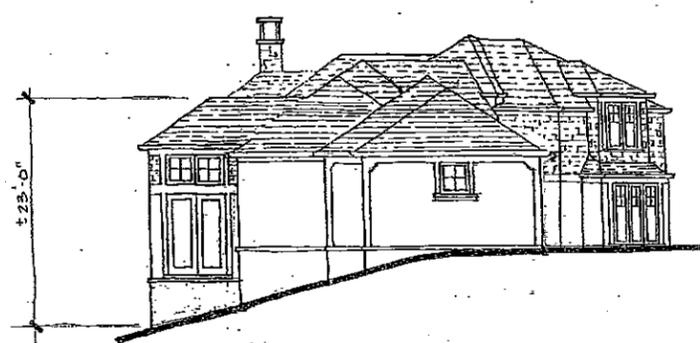
REAR ELEVATION

1/8"=1'-0"



DESIGN SECTION B

1/8"=1'-0"



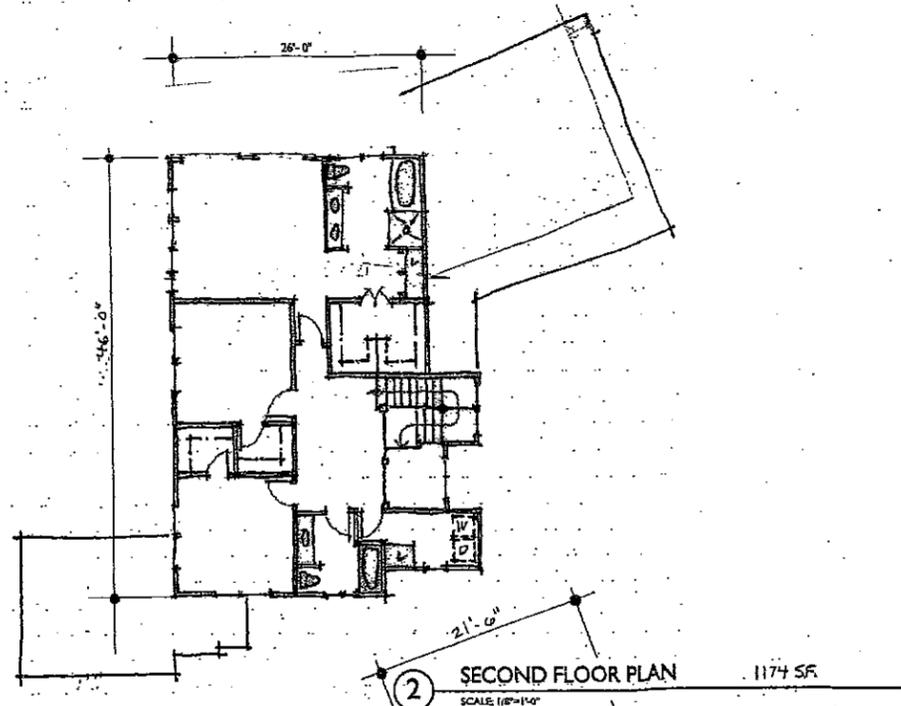
LEFT SIDE ELEVATION

1/8"=1'-0"

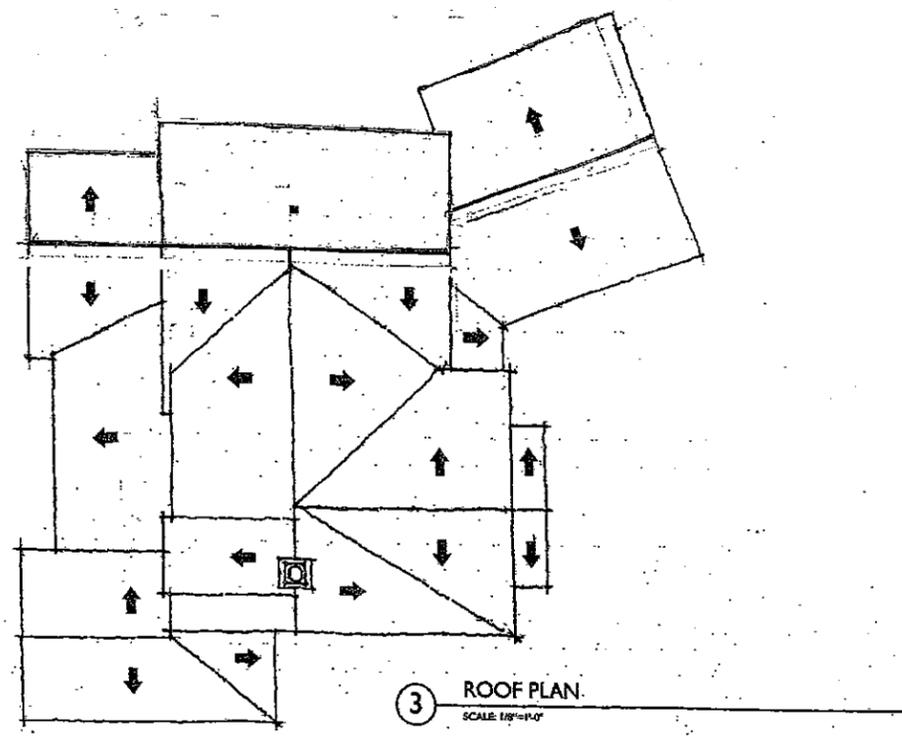


RIGHT SIDE ELEVATION

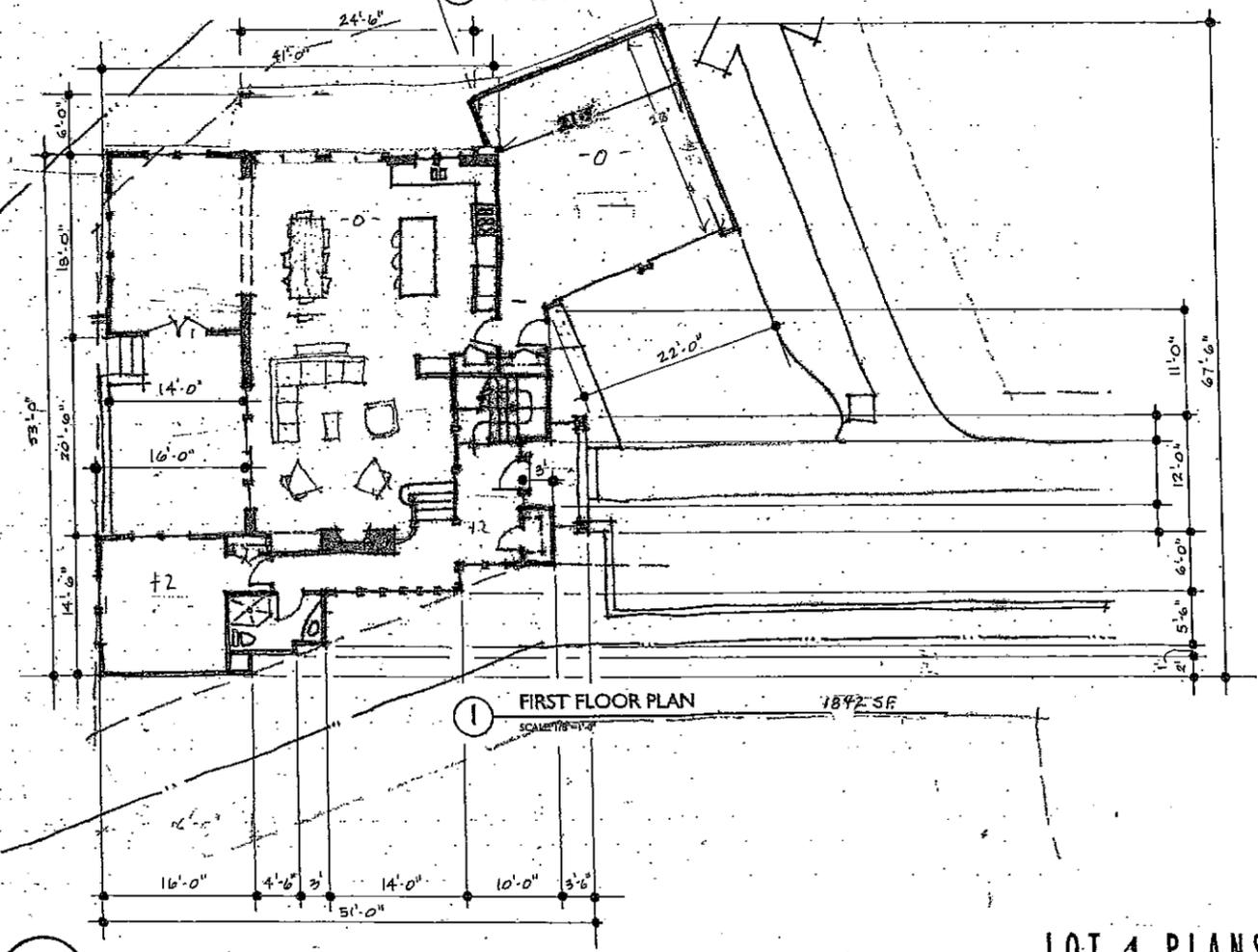
1/8"=1'-0"



② SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

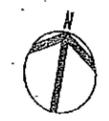


③ ROOF PLAN
SCALE: 1/8"=1'-0"

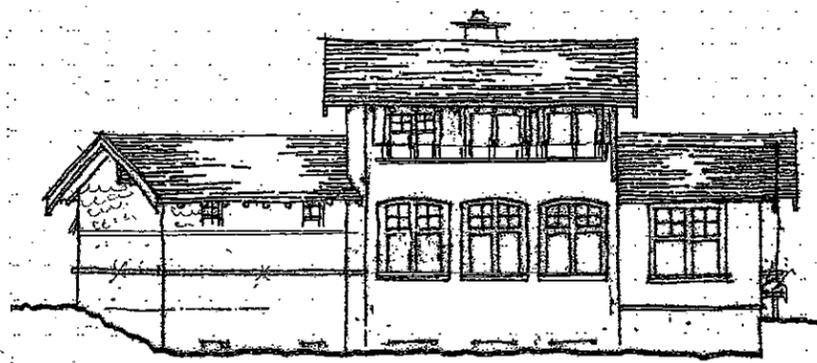


① FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

LOT 4 PLANS
MCELROY - LINDA COURT



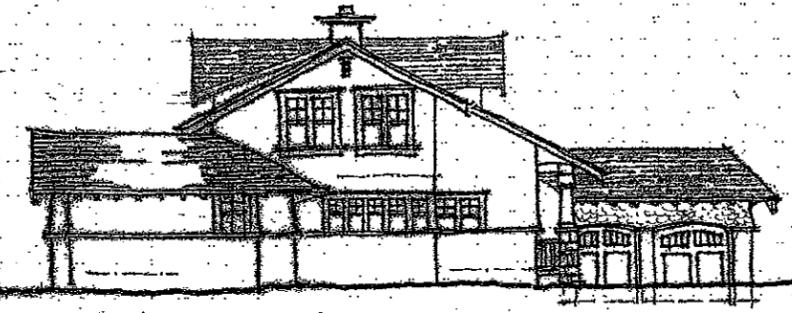
THACHER &
THOMPSON
ARCHITECTS
MAY 26, 2006



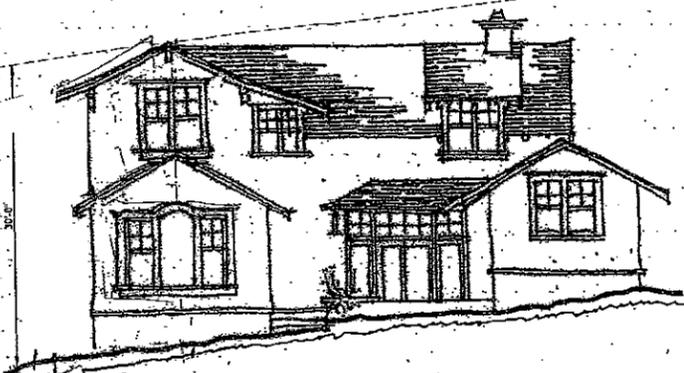
1 NORTH ELEVATION
SCALE 1/8"=1'-0"



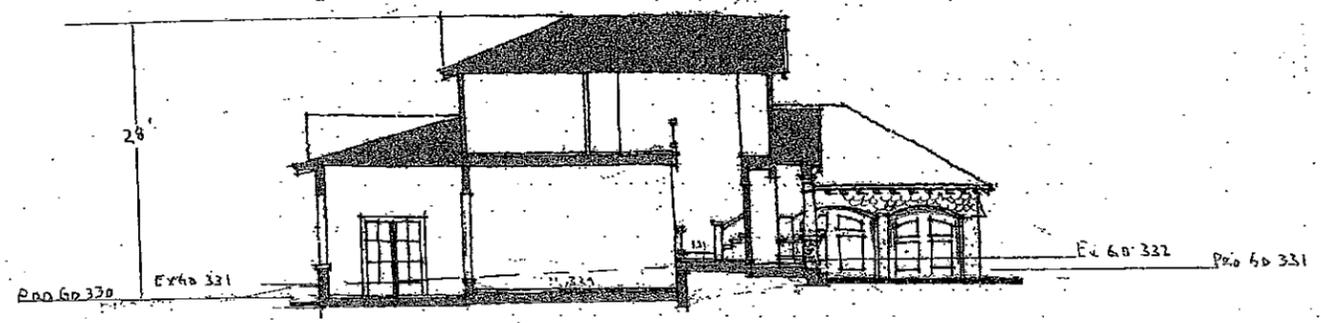
4 EAST ELEVATION
SCALE 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE 1/8"=1'-0"



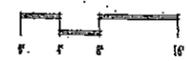
3 WEST ELEVATION
SCALE 1/8"=1'-0"



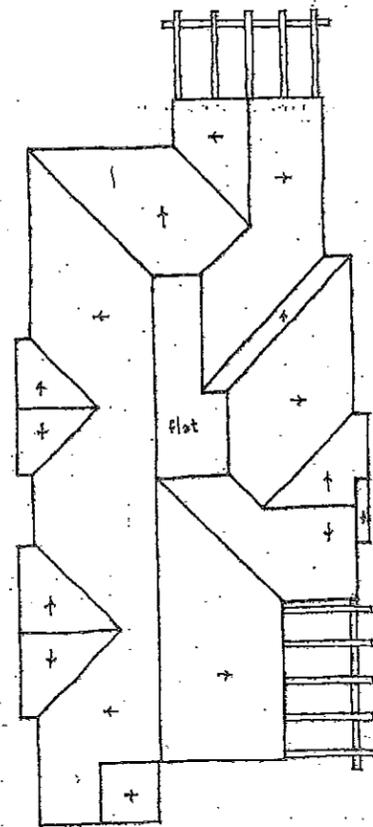
5 SECTION
SCALE 1/8"=1'-0"

F

LOT 4 ELEVATIONS
MCELROY - LINDA COURT

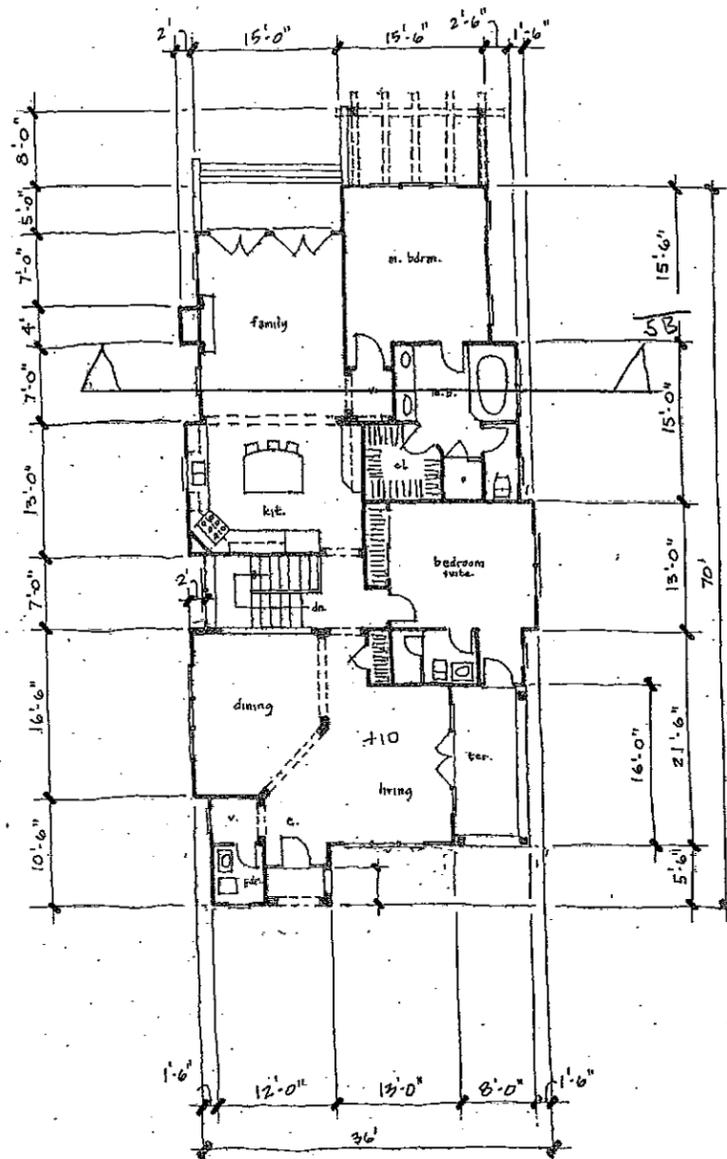


THACHER &
THOMPSON
ARCHITECTS
FEBRUARY 10, 2006



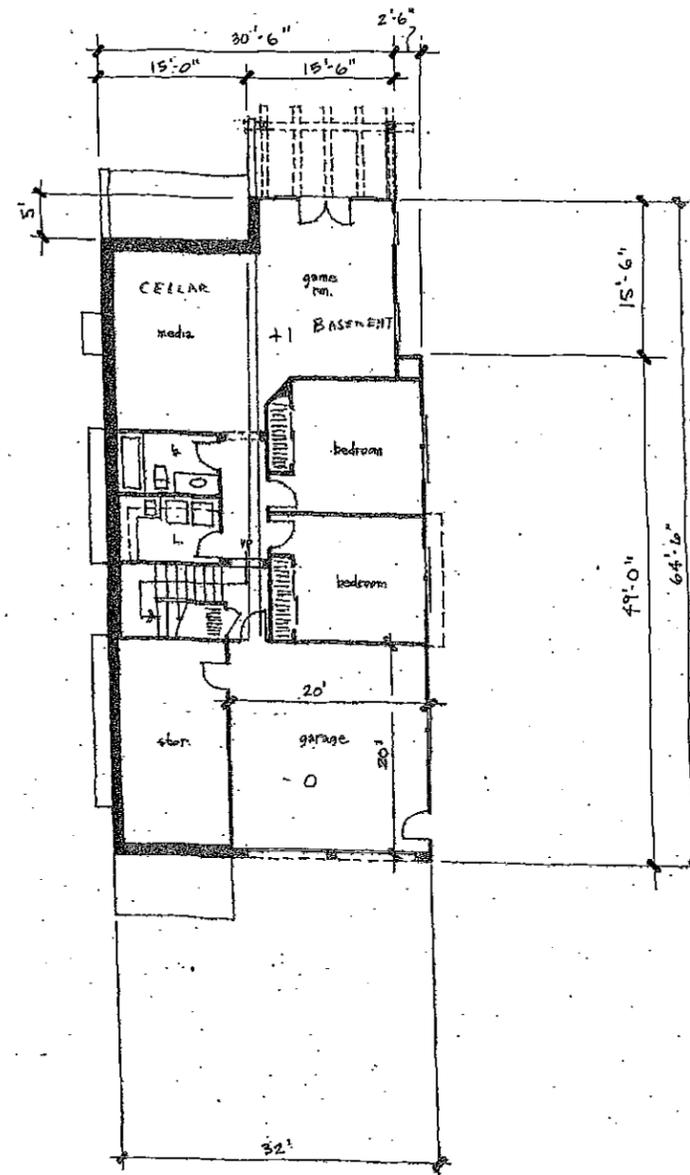
ROOF PLAN

pitch = 9:12



FIRST LEVEL PLAN

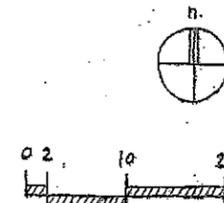
1/8" = 1'-0"



LOWER LEVEL PLAN

CELLAR 570 sq ft + 675 sq gar.
Living Area 644

LOT 5



1/8" = 1'-0"

REVISIONS	BY



BRITTT ROWE retains all rights and ownership to all drawings and specifications. The contents of this drawing and specification project are not to be reproduced, without consent of BRITTT ROWE.

Preliminary Residence Designs for:
LINDA COURT PARTNERS
15950 Stephanie Lane and 15881 Linda Ave.
Los Gatos, California

SHEET: _____
SCALE: noted
DATE: 1.10.06
DRAWN: _____

5A

REVISIONS	BY

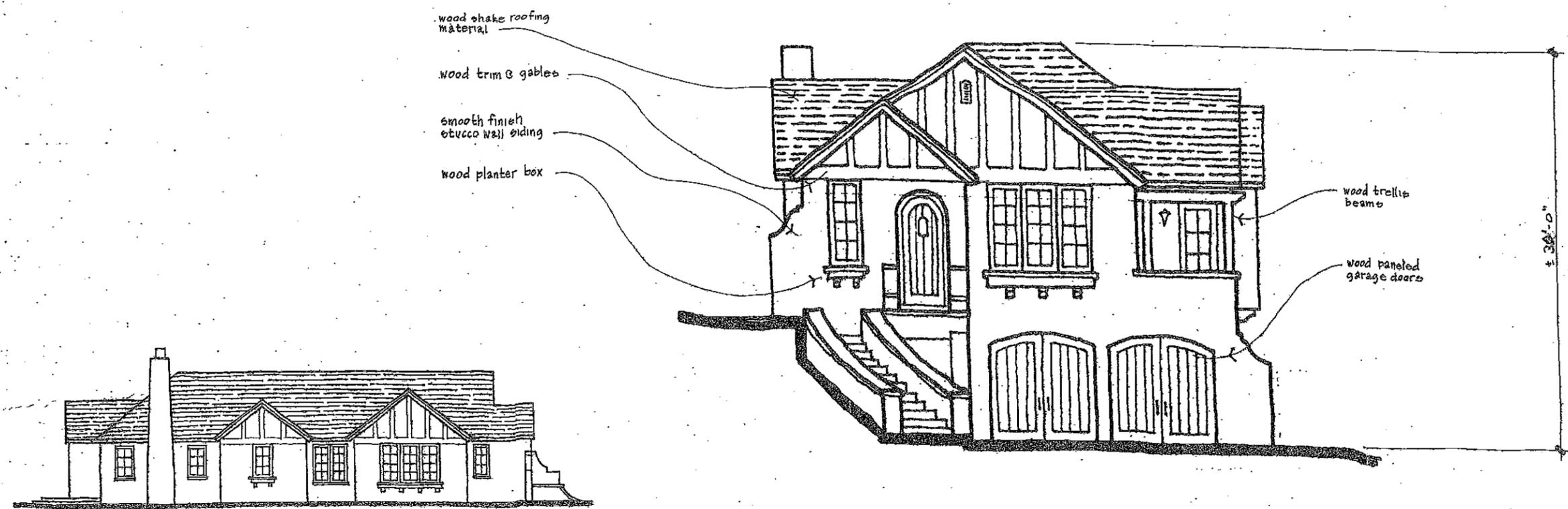


BRITT & ROWE retains all rights and ownership to all drawings and specifications. The concept of the drawings and plans for this project without the expressed, written consent of BRITT & ROWE.

Preliminary Residence Designs for:
LINDA COURT PARTNERS
 15950 Stephanie Lane and 15881 Linda Ave.
 Los Gatos, California

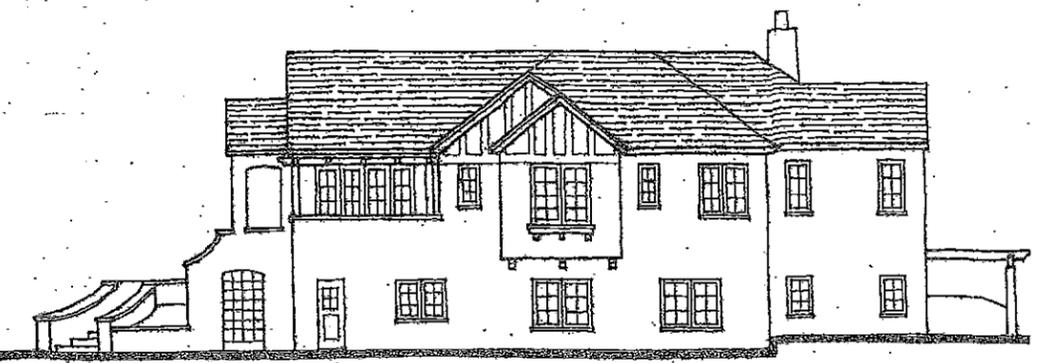
SHEET: 5B
 SCALE: noted
 DATE: 1. 10. 06
 DRAWN:

5B

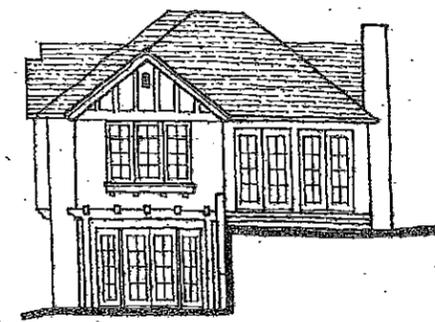


FRONT ELEVATION

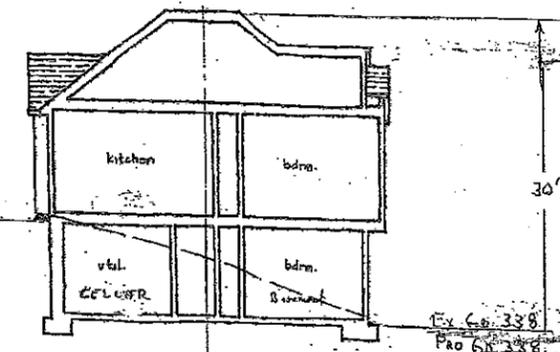
SIDE ELEVATION (LEFT)



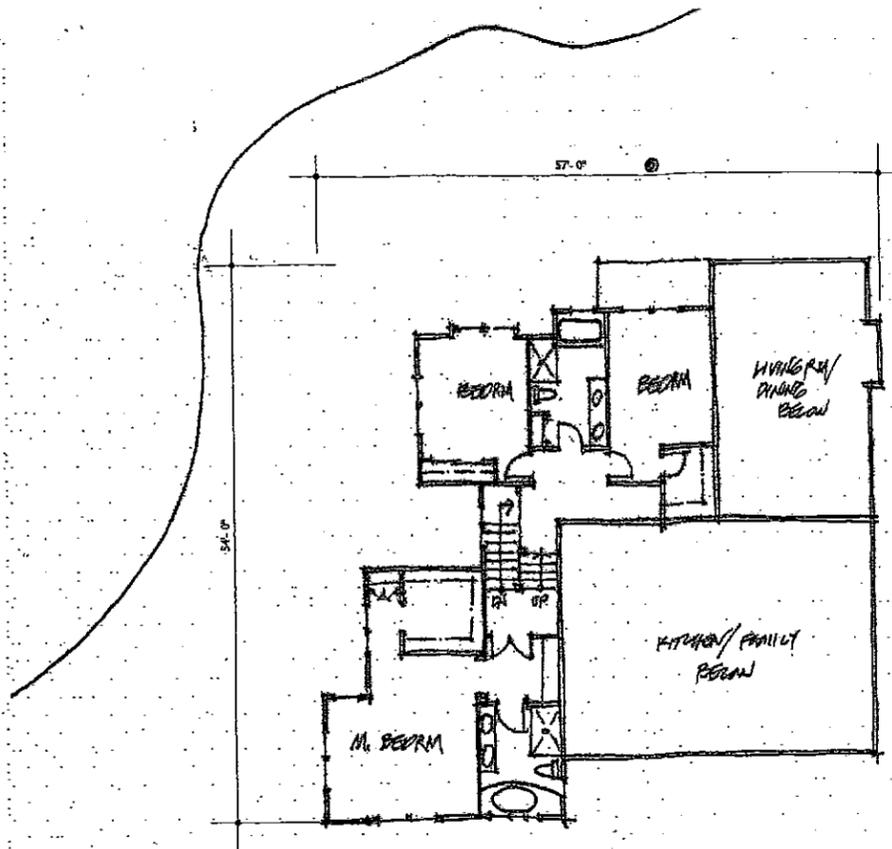
SIDE ELEVATION (RIGHT)



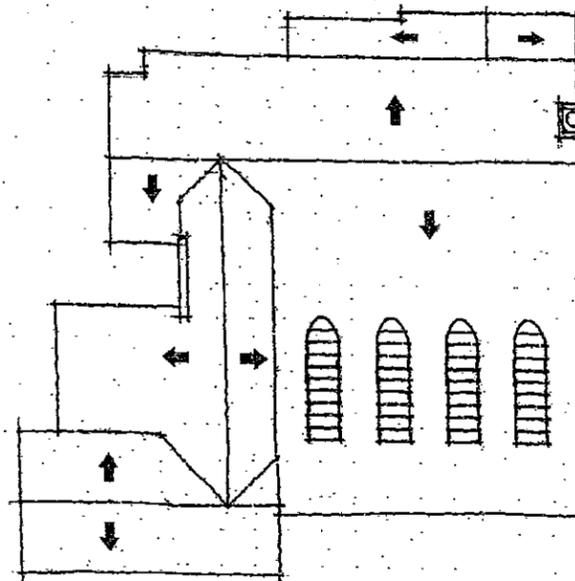
REAR ELEVATION



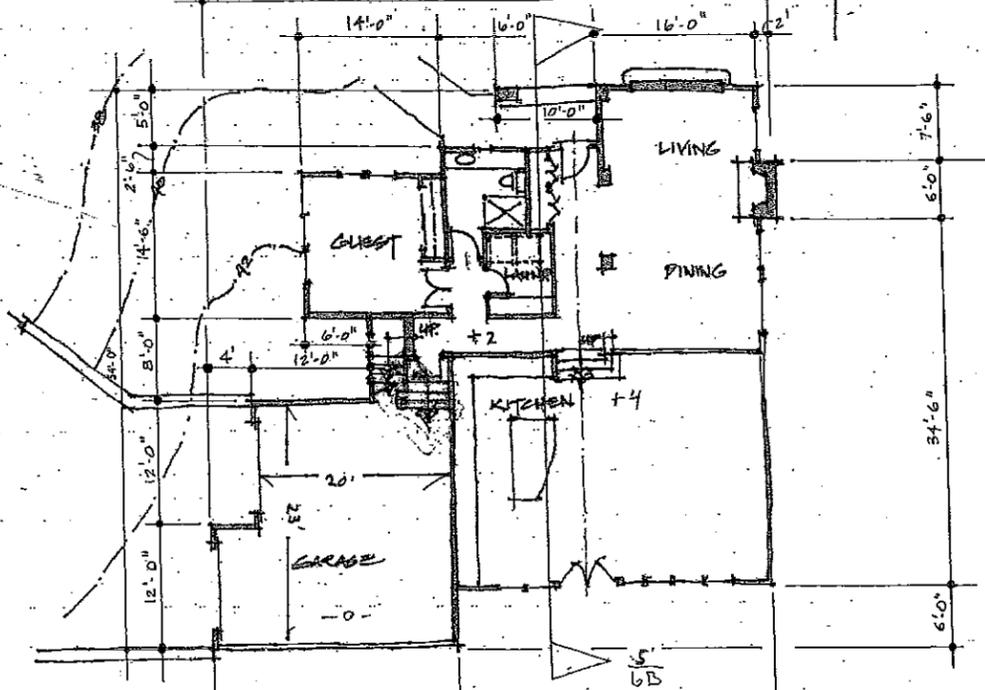
SECTION



② SECOND FLOOR PLAN 1160 SF.
SCALE 1/8"=1'-0"



③ ROOF PLAN
SCALE 1/8"=1'-0"



① FIRST FLOOR PLAN 1730 SF.
450 SF. GARAGE
SCALE 1/8"=1'-0"

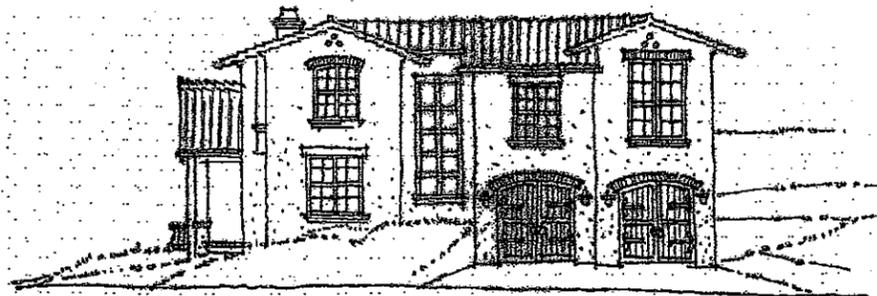
LOT 6 PLANS
MCELROY - LINDA COURT



THACHER &
THOMPSON
ARCHITECTS

MAY 26, 2006

6A



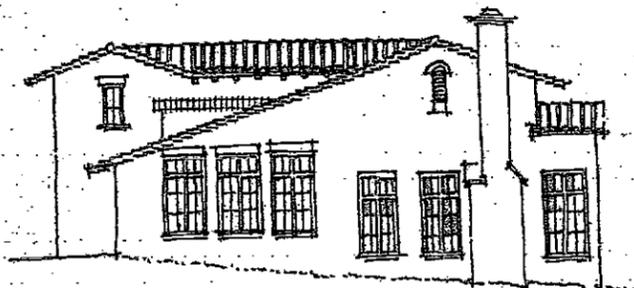
1 WEST ELEVATION
SCALE 1/8"=1'-0"



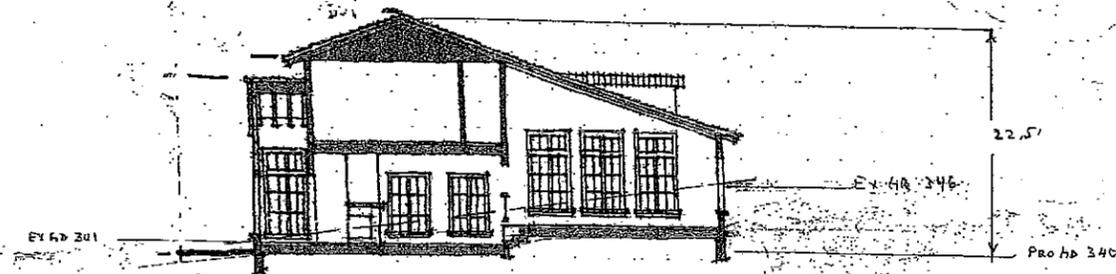
4 NORTH ELEVATION
SCALE 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE 1/8"=1'-0"



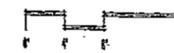
3 EAST ELEVATION
SCALE 1/8"=1'-0"



5 SECTION
SCALE 1/8"=1'-0"

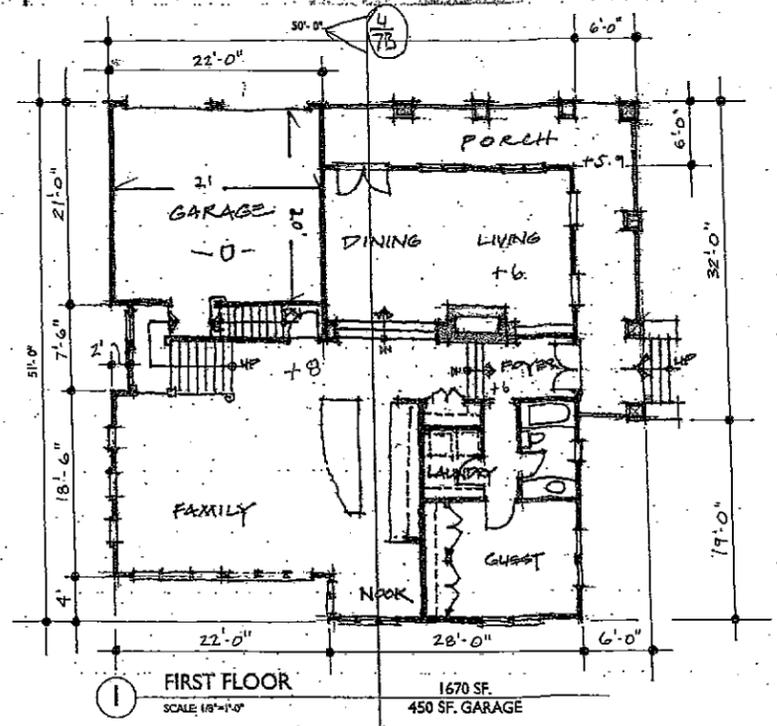
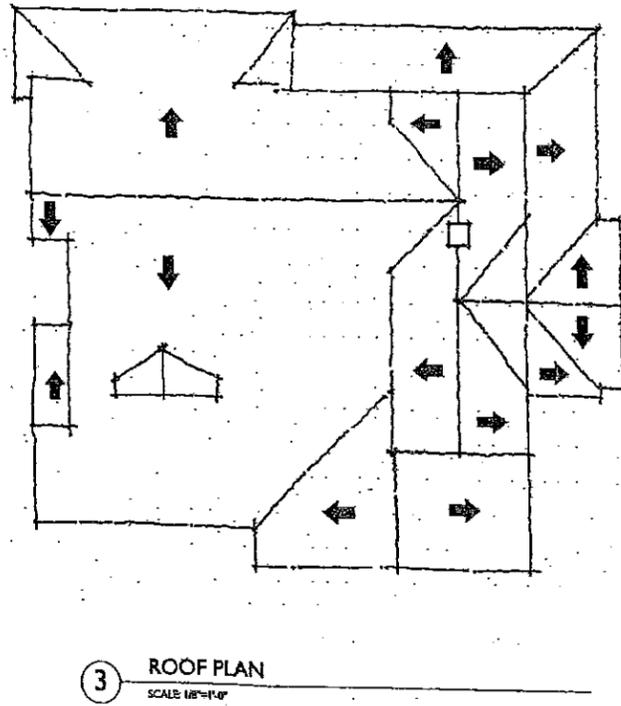
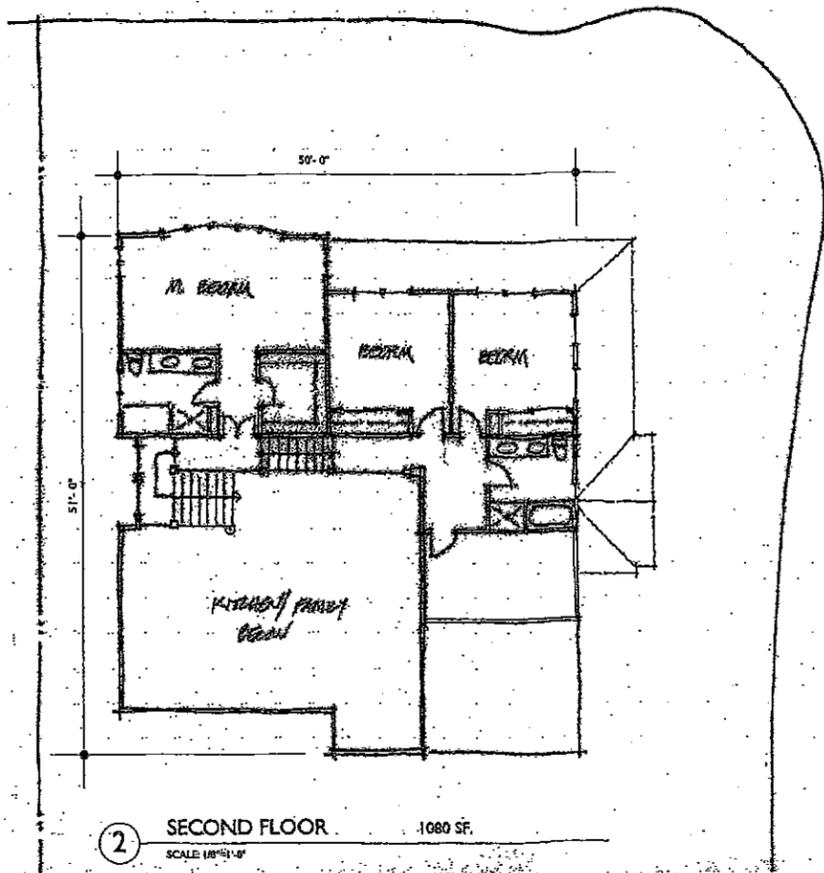
H

LOT 6 ELEVATION
MCELROY - LINDA COURT



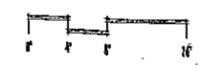
THACHER &
THOMPSON
ARCHITECTS
MAY 26, 2008

6B



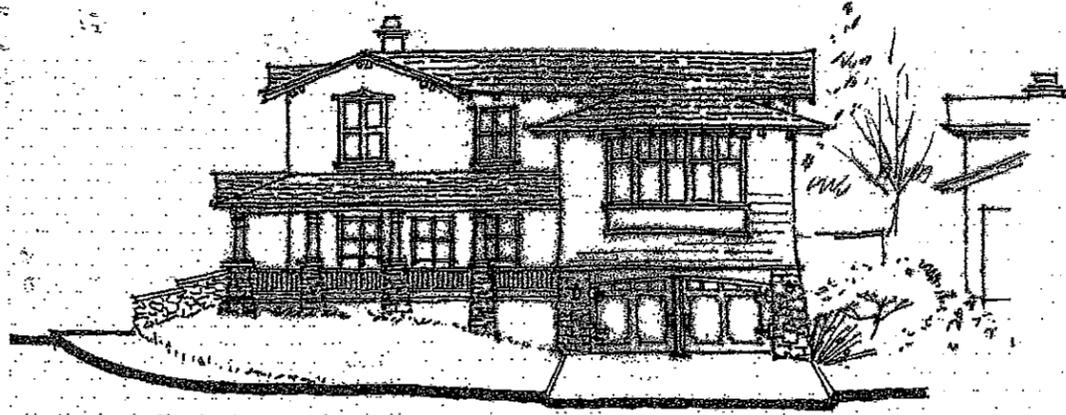
1

LOT 7 PLANS
MCELROY - LINDA COURT

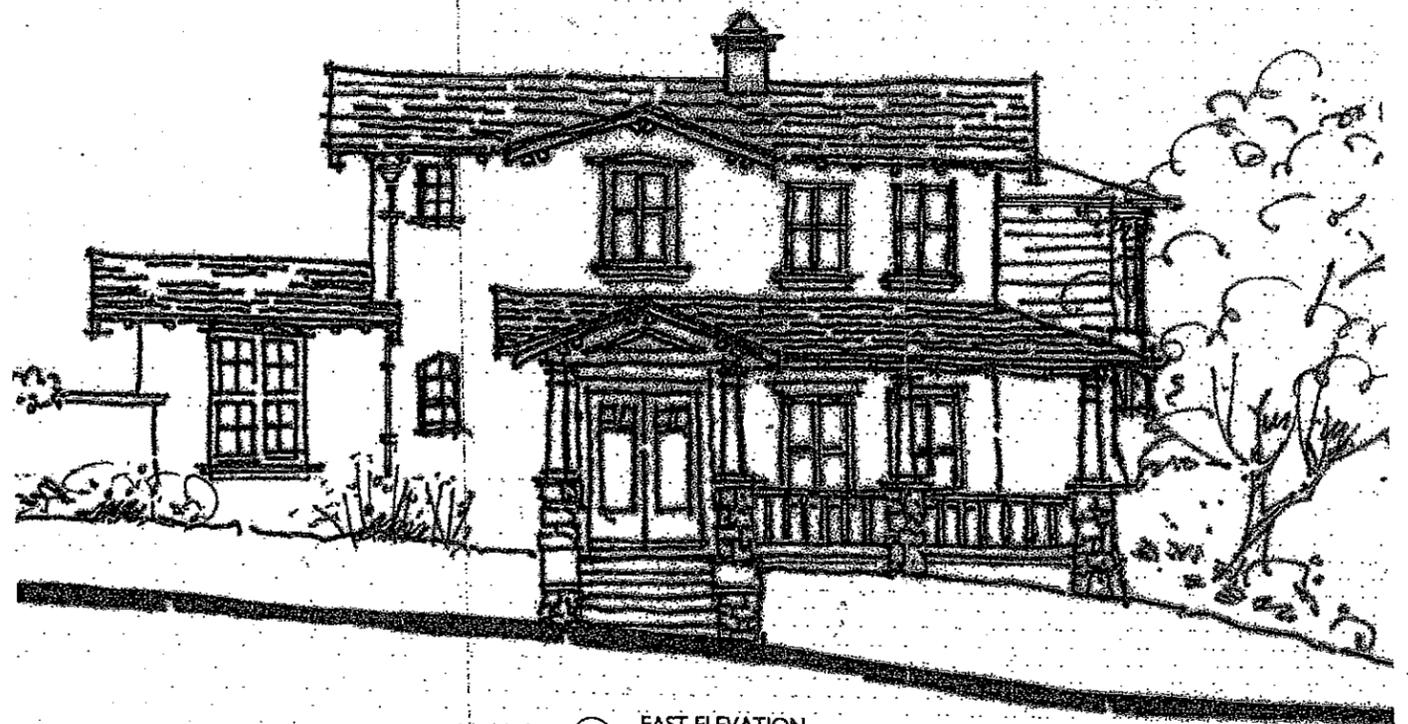


THACHER &
THOMPSON
ARCHITECTS
JUNE 8, 2006

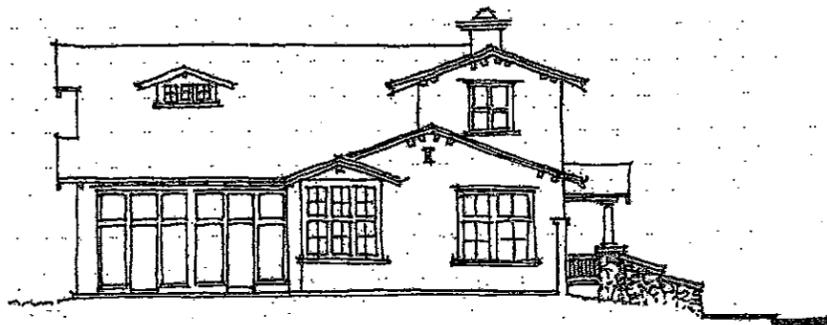




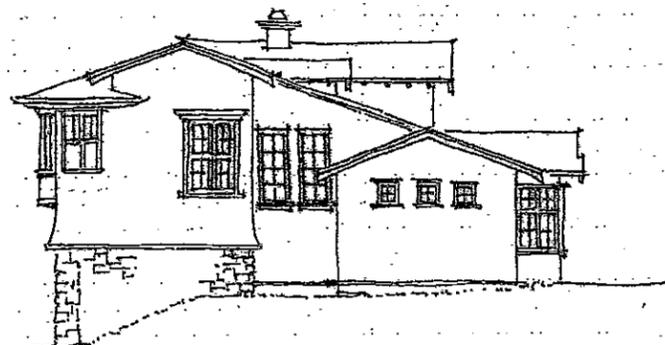
3 NORTH ELEVATION
SCALE 1/8"=1'-0"



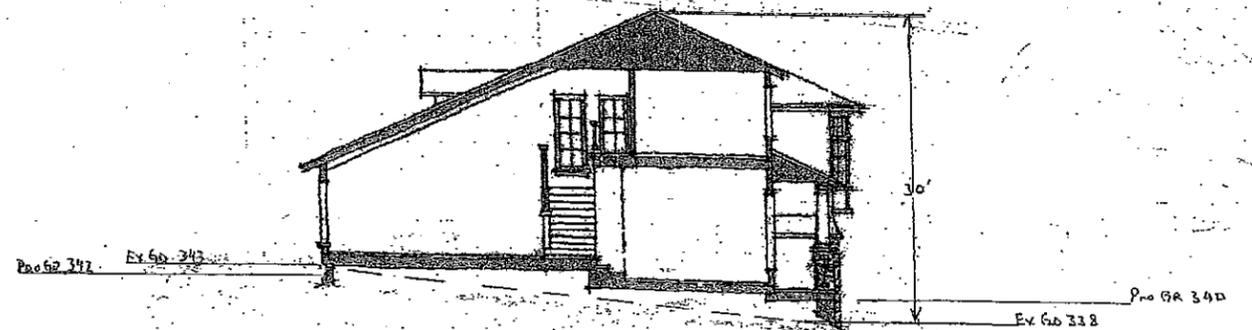
5 EAST ELEVATION
SCALE 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE 1/8"=1'-0"



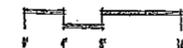
1 WEST ELEVATION
SCALE 1/8"=1'-0"



4 SECTION
SCALE 1/8"=1'-0"

1

LOT 7 ELEVATIONS
MCELROY - LINDA COURT



THACHER &
THOMPSON
ARCHITECTS
JUNE 8, 2006